

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE CHAIRMAN
R. KELLER HOPKINS
HOLLY WINGATE
J. BRUCE MEARS



2 THE CIRCLE | PO BOX 417
GEORGETOWN, DE 19947
(302) 855-7878 T
(302) 854-5079 F
sussexcountyde.gov

Sussex County Planning & Zoning Commission

AGENDA

February 28, 2019

6:00 P.M

Call to Order

Approval of Agenda

Approval of Minutes – None.

Old Business

C/U 2157 Country Lawn Care & Maintenance, LLC (C/O Herald and Stephania Dougherty) HW

An Ordinance to grant a Conditional Use of land in an AR-1 Agricultural Residential District for a landscaping business to be located on a certain parcel of land lying and being in Indian River Hundred, Sussex County, containing 4.26 acres, more or less. The property is lying on the north side of Hollymount Rd., approximately 0.42 mile east of Beaver Dam Rd. 911 Address: 30435 Hollymount Rd., Harbeson. Tax Parcel: 234-11.00-78.07.

2018-26 Sweetbay – Gary C. and Anna. G Meiklejohn HW

A cluster/ESDDOZ subdivision to divide 43.81 acres +/- into 65 single family lots to be located on a certain parcel of land lying and being in Baltimore Hundred, Sussex County. The properties are lying on the north side of Zion Church Rd, approximately 1,750 ft. west of Bayard Rd. Tax Parcels: 533-11.00-81.00 and 533-11.00-82.01. Zoning District. AR-1 (Agricultural Residential District).

C/U 2158 Millsboro Solar, LLC HW

An Ordinance to grant a Conditional Use of land in an AR-1 Agricultural Residential District for a solar array facility to be located on a certain parcel of land lying and being in Dagsboro Hundred, Sussex County, containing 91.304 acres, more or less. The property is lying on the north side of Nine Foot Rd., approximately 0.27 mile west of Gum Tree Rd., and on the south side of Nine Foot Rd., approximately 0.2 mile west of Gum Tree Rd. 911 Address: N/A. Tax Parcels: 233-15.00-57.01 & 57.02



Public Hearings

2018-28 Ocean Meadows – Estates at Cedar Grove, LLC

KS

A cluster subdivision to divide 70.23 acres +/- into 136 single family lots to be located on a certain parcel of land lying and being in Indian River Hundred, Sussex County. The property is lying on the northwest side of Beaver Dam Rd., approximately 477 ft. south of Kendale Rd. Tax Parcels: 234-2.00-2.00 and 234-2.00-2.02. Zoning District. AR-1 (Agricultural Residential District).

2018-30 Janet R. Swain

KH

A standard subdivision to divide 4.034 acres +/- into 2 single family lots with residual to be located on a certain parcel of land lying and being in Cedar Creek Hundred, Sussex County. The property is lying on the north side of Sherman Ave., approximately 775 ft. east of North Old State Rd. and on the south side of Susquehanna Ave., approximately 625 ft. east of North Old State Rd. Tax Parcel: 330-15.13-1.00. Zoning District. AR-1 (Agricultural Residential District).

C/U 2160 Procino-Wells, & Woodland, LLC

KS

An Ordinance to grant a Conditional Use of land in an AR-1 Agricultural Residential District for a professional office to be located on a certain parcel of land lying and being in Lewes and Rehoboth Hundred, Sussex County, containing 0.91827 acre, more or less. The property is lying on the north side of Savannah Rd., approximately 878 ft. west of Dove Rd. 911 Address: 1519 Savannah Rd., Lewes. Tax Parcel: 335-12.06-3.00.

C/U 2161 Howard Weston Development Company, LLC

HW

An Ordinance to grant a Conditional Use of land in an AR-1 Agricultural Residential District for a professional office for accounting, tax preparation, and bookkeeping services to be located on a certain parcel of land lying and being in Lewes and Rehoboth Hundred, Sussex County, containing 0.9468 acre, more or less. The property is lying on the north side Lewes-Georgetown Hwy. (Rt. 9), approximately 0.38 mile west of Sweetbriar Rd. 911 Address: 29065 Lewes-Georgetown Hwy. (Rt. 9), Lewes. Tax Parcel: 334-4.00-80.00.

C/Z 1872 T.S. Smith & Sons, Inc.

KH

An Ordinance to amend the Comprehensive Zoning Map of Sussex County from an AR-1 Agricultural Residential District to a C-3 Heavy Commercial District for a certain parcel of land lying and being in Northwest Fork Hundred, Sussex County, containing 25.6694 acres, more or less. The property is lying on the west side of Sussex Hwy. (Rt. 13), south side of Fawn Rd, east side of Main Street, and north side of Redden Rd. 911 Address: 8899 Redden Rd., Bridgeville. Tax Parcel: 131-10.00-89.00.

Other Business

2018-3 Fox Haven II – Phase 1

HW

Final Subdivision Plan

S-19-06 Southern Delaware Therapeutic & Recreational Horseback Riding, Inc

KS

Final Site Plan

Canal Point MR-RPC KS
Revised Site Plan

S-17-35 Coastal Station – Phase II BM
Preliminary Site Plan

S-19-07 Fenwick Light HW
Preliminary Site Plan

Lands of Thompson KS
Minor Subdivision off a 50' easement

Lands of Savage KS
Minor Subdivision off a 50' easement

Lands of Lankford HW
Minor Subdivision off a 50' easement

Planning and Zoning Commission meetings can be monitored on the internet at
www.sussexcountyde.gov.

In accordance with 29 Del. C. §10004(e)(2), this Agenda was posted on February 21, 2019, at 4:15 p.m., and at least seven (7) days in advance of the meeting.

This Agenda is subject to change to include the addition or deletion of items, including Executive Sessions, which arise at the time of the Meeting.

Agenda items listed may be considered out of sequence.

####

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Sussex County Planning & Zoning Commission

PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET
Planning Commission Public Hearing Date February 28, 2019.

Application: 2018-28 Ocean Meadows

Applicant: Stonemark Ventures LLC (Attn: Megan Conner)
5950 Symphony Wood Road, Suite 408
Columbia, MD 21044

Owner: Estates at Cedar Grove (Attn: Megan Conner)
5950 Symphony Wood Road, Suite 408
Columbia, MD 21044

Site Location: On the northwest side of Beaver Dam Road, approximately 477 feet south
of Kendale Road.

Zoning: AR-1 (Agricultural Residential Cluster Zoning District)

Current Use: Farm (Agricultural Land)

Proposed Use: 136 Single-Family Lots (Cluster Subdivision)

Comprehensive Land Use Plan Reference: Low Density Area (adjacent to Mixed Residential Area)

Councilmatic District: Mr. Burton

School District: Cape Henlopen School District

Fire District: Lewes Fire District

Sewer: Tidewater Utilities Inc.

Water: Tidewater Utilities Inc.

Site Area: 70.23 acres

Tax Map ID: 234-2.00-2.00 and 234-2.00-2.02



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 417
GEORGETOWN, DELAWARE 19947



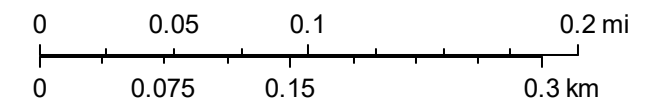
Sussex County



PIN:	234-2.00-2.00
Owner Name	ESTATES AT CEDAR GROVE LLC
Book	4802
Mailing Address	5950 SYMPHONY WOODS
City	COLUMBIA
State	MD
Description	RD/285
Description 2	N/A
Description 3	N/A
Land Code	

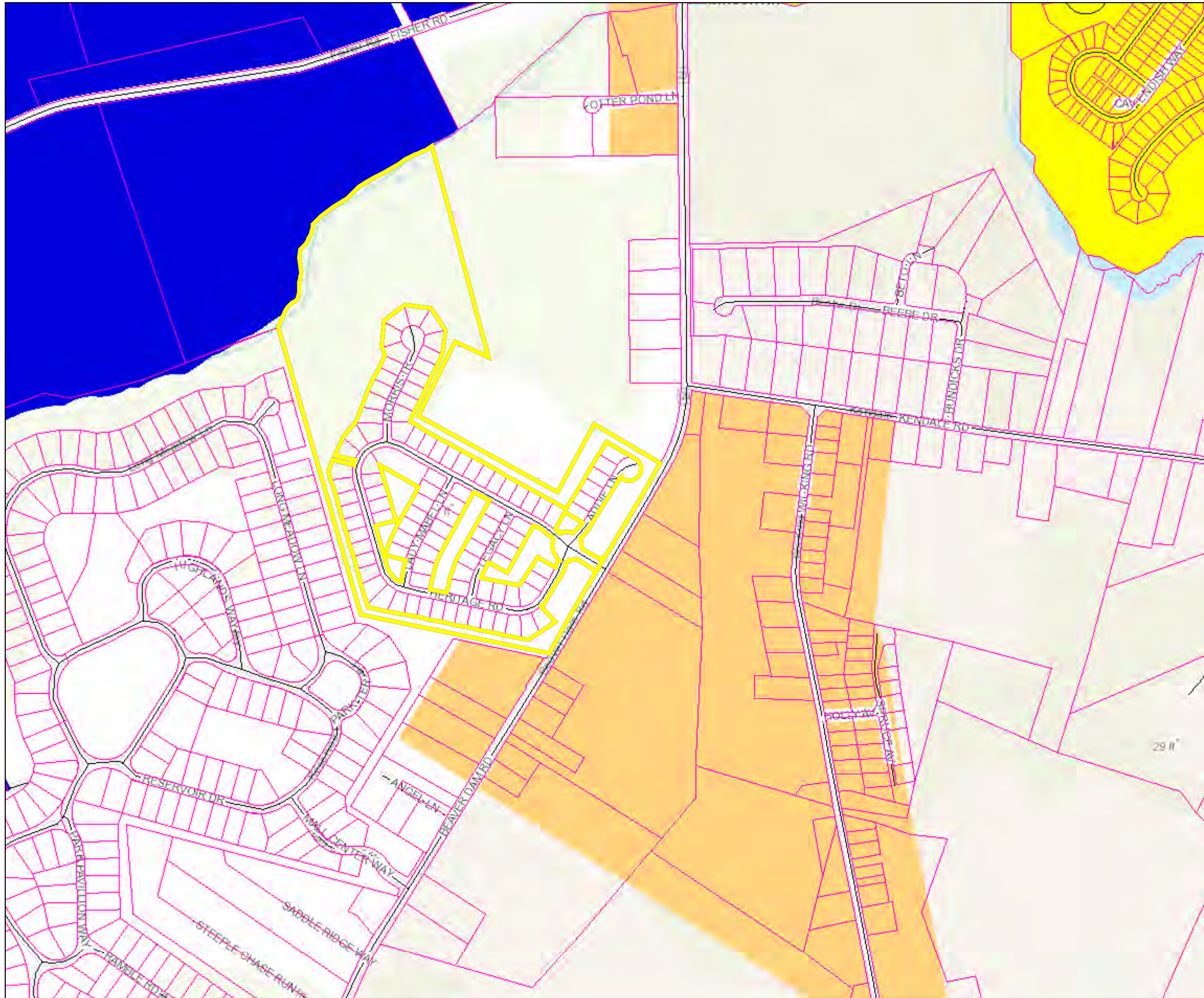
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Override 1
- polygonLayer**
Override 1
- Tax Parcels
- Streets
- County Boundaries

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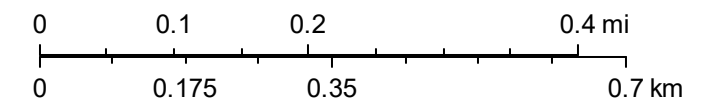
Sussex County



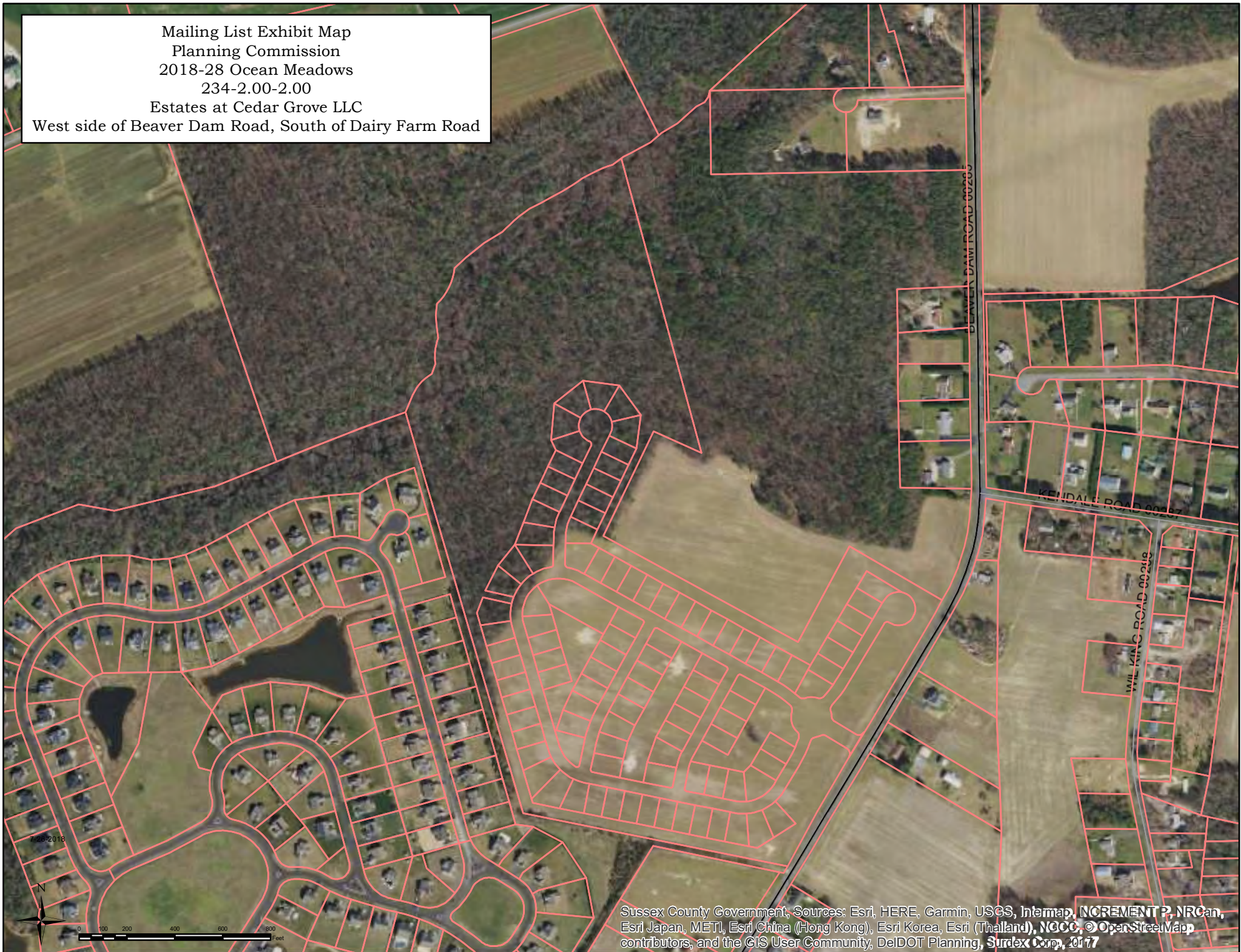
PIN:	234-2.00-2.00
Owner Name	ESTATES AT CEDAR GROVE LLC
Book	4802
Mailing Address	5950 SYMPHONY WOODS
City	COLUMBIA
State	MD
Description	RD/285
Description 2	N/A
Description 3	N/A
Land Code	

- polygonLayer**
Override 1
- polygonLayer**
Override 1
- Tax Parcels
 - Streets
- Zoning**
- Agricultural Residential - AR-1
 - Agricultural Residential - AR-2
 - Medium Residential - MR
 - General Residential - GR
 - High Density Residential - HR-1
 - High Density Residential - HR-2
 - Vacation, Retire, Resident - VRP
 - Neighborhood Business - B-1
 - General Commercial - C-1
 - Commercial Residential - CR-1
 - Marine - M
 - Limited Industrial - LI-1
 - Limited Industrial - LI-2
 - Heavy Industrial - HI-1

1:9,028



Mailing List Exhibit Map
Planning Commission
2018-28 Ocean Meadows
234-2.00-2.00
Estates at Cedar Grove LLC
West side of Beaver Dam Road, South of Dairy Farm Road



Sussex County Government, Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, © OpenStreetMap contributors, and the GIS User Community, Surdex Corp., 2017

SUSSEX COUNTY ENGINEERING DEPARTMENT
UTILITY PLANNING DIVISION
C/U & C/Z COMMENTS

TO: **Janelle Cornwell**

REVIEWER: **Chris Calio**

DATE: **2/5/2019**

APPLICATION: **2018-28 Ocean Meadows**

APPLICANT: **Stonemark Ventures LLC (Attn: Megan Conner)**

FILE NO: **NCPA-5.03**

TAX MAP &
PARCEL(S): **234-2.00-2.00 & 2.02**

LOCATION: **On the northeast side of Beaver Dam Road, approximately 477 feet south of Kendale Road.**

NO. OF UNITS: **136**

GROSS
ACREAGE: **70.23**

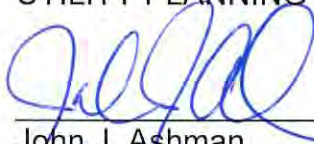
SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: **4**

SEWER:

- (1). Is the project in a County operated and maintained sanitary sewer and/or water district?
Yes No
- a. If yes, see question (2).
b. If no, see question (7).
- (2). Which County Tier Area is project in? **Tier 3**
- (3). Is wastewater capacity available for the project? **N/A** If not, what capacity is available? **N/A**.
- (4). Is a Construction Agreement required? **No** If yes, contact Utility Engineering at (302) 855-7717.
- (5). Are there any System Connection Charge (SCC) credits for the project? **No** If yes, how many? **N/A**. Is it likely that additional SCCs will be required? **N/A** If yes, the current System Connection Charge Rate is **\$6,360.00** per EDU. Please contact **N/A** at **302-855-7719** for additional information on charges.

- (6). Is the project capable of being annexed into a Sussex County sanitary sewer district? **N/A**
- Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.
- (7). Is project adjacent to the Unified Sewer District? **No**
- (8). Comments: **The proposed subdivision is not in an area where the Sussex County Engineering Department has a plan or schedule to provide sanitary sewer service.**
- (9). Is a Sewer System Concept Evaluation required? **No**
- (10). Is a Use of Existing Infrastructure Agreement Required? **No**

UTILITY PLANNING APPROVAL:



John J. Ashman
Director of Utility Planning

Xc: Hans M. Medlarz, P.E.
Jayne Dickerson
No Permit Tech Assigned



October 22, 2018

Ms. Christin Headley
Sussex County Planning & Zoning Commission
PO Box 417
Georgetown, DE 19947

Re: Sussex County Technical Advisory Committee

Dear Ms. Headley:

The Division of Public Health Office of Engineering is in receipt of the following application:

1. **Application:** *2018-28 Ocean Meadows*

This application indicates central water will be supplied by Tidewater Utilities, Inc. *This project requires an Approval to Construct and an Approval to Operate from the Office of Engineering when constructing a new water system or altering an existing water system.* In order to obtain an Approval to Construct, plans and specifications must be prepared by a registered Delaware professional engineer. Plans for the system, including water mains or extensions thereto, storage facilities, treatment works, and all related appurtenances, must be approved by the Office of Engineering prior to construction. It is the owner's responsibility to ensure as-built drawings are maintained throughout all phases of construction.

Prior to receiving an Approval to Operate for these projects, the Office of Engineering requires one set of as-built drawings, including profile markups, for all plans approved for construction. Approvals to Operate will be issued after all applicable requirements are met.

Please do not hesitate to contact me at 302-741-8646 with questions or comments.

Sincerely,

A handwritten signature in black ink that reads "William J. Milliken, Jr." with a stylized flourish at the end.

William J. Milliken, Jr.
Engineer III
Office of Engineering

Amended 11/17/17: Zone 6,8 and 9 off line for repairs and additional 101 dwellings connected.

State Permit #: 359286-04
Effective Date: August 27, 2014
Amended Date: November 17, 2017
Expiration Date: August 26, 2019
Page 1 of 14



AUTHORIZATION TO OPERATE AND MAINTAIN
UNDER THE LAWS OF THE
STATE OF DELAWARE

1. Pursuant to the provisions of 7 Del. C., 6003

Tidewater Environmental Services, Inc.
7500 South Little Creek Road
Dover, DE 19973

is herein authorized to operate and maintain an on-site wastewater treatment and disposal system to service:

225 dwellings and a clubhouse at the Ridings of Rehoboth Development and 101 dwellings from the Dell Wood subdivision

Located (tax map #2-34-18-24):

22615 Ramble Road
Lewes, DE 19958

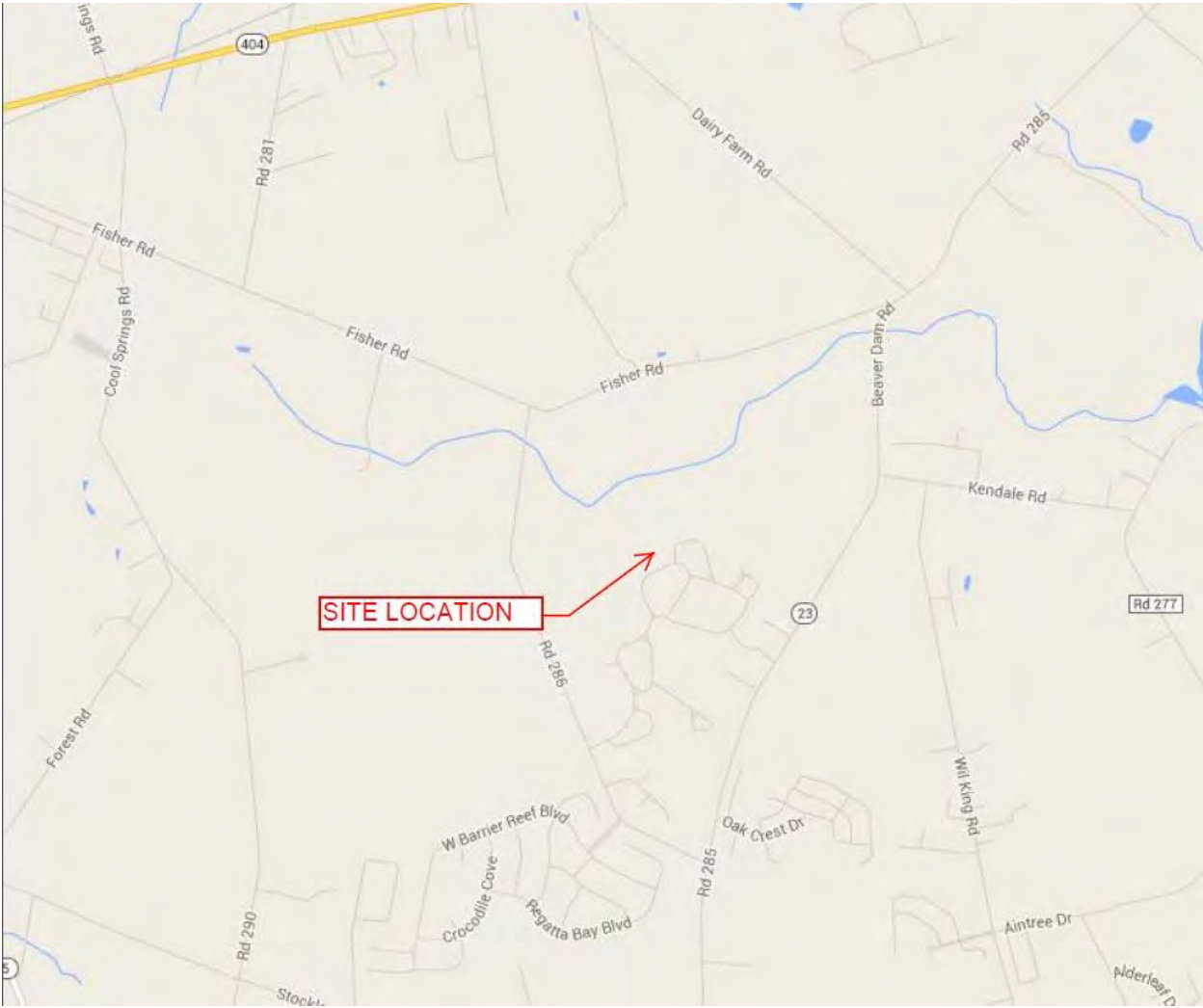
2. The effluent limitations, monitoring requirements and other permit conditions are set forth in Part I, II and III hereof.

Derrick P. Caruthers, Environmental Engineer
Ground Water Discharges Section
Department of Natural Resources &
Environmental Control

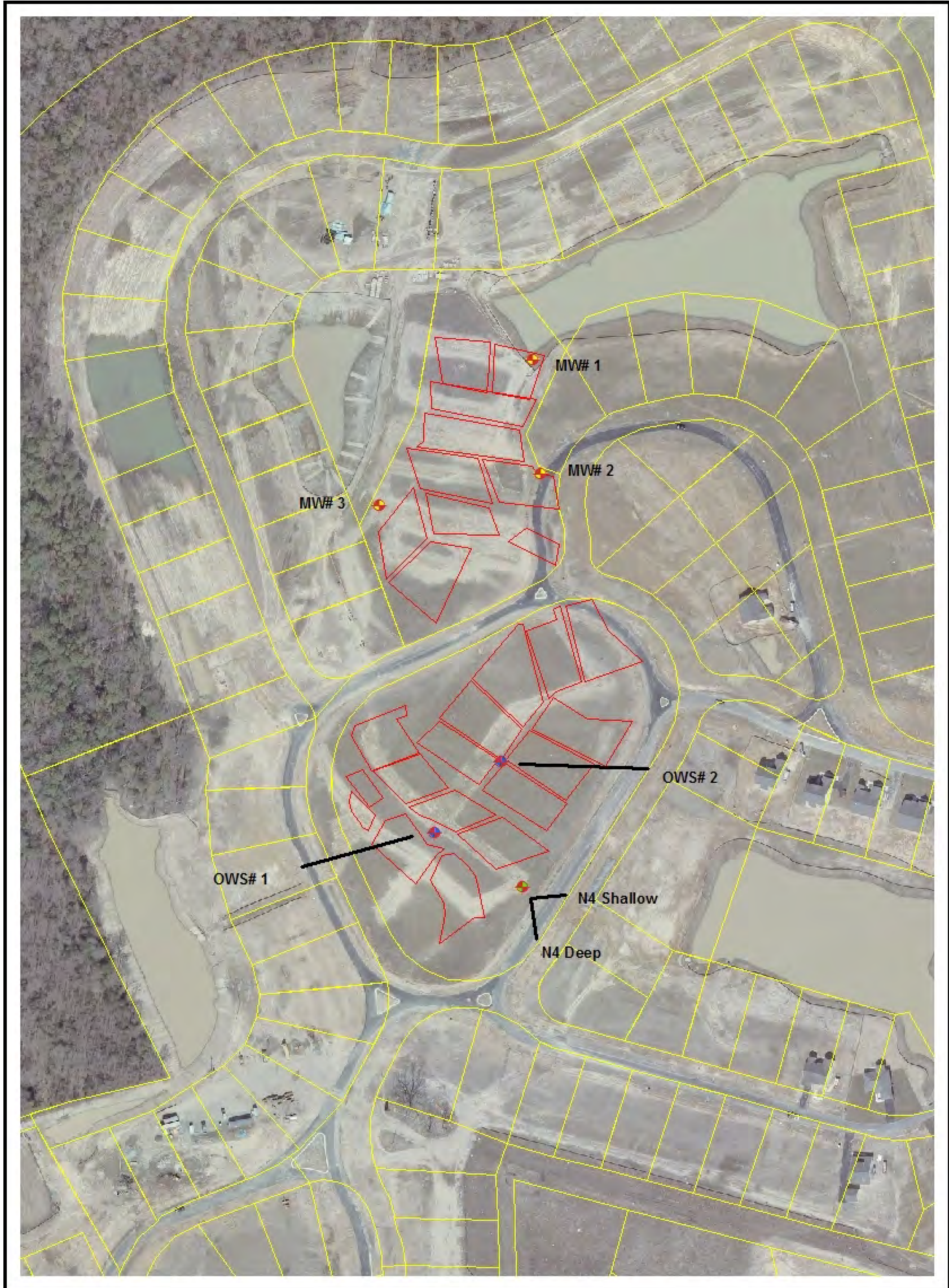
11-17-17

Date

State Permit #: 359286-04
Effective Date: August 27, 2014
Amended Date: November 17, 2017
Expiration Date: August 26, 2019
Page 2 of 14

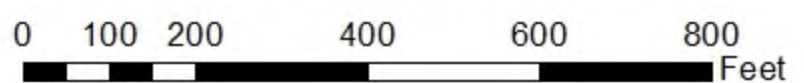


The Ridings



Legend

- Monitoring Well
- Observation Well
- Nested Well
- Tax Parcel Boundary
- Drip Disposal Areal Boundary



Part 1

A. General Description of Discharges

The discharge shall be residential waste that is generated by 225 dwellings and a clubhouse located within the Ridings at Rehoboth Subdivision and 101 dwellings located within the Dell Wood Subdivision. The influent flows from the dwellings may not exceed a daily monthly average of 50,795 gallons per day (gpd). The wastewater shall be treated by a dual Aqua Aerobics Sequencing Batch Reactor Wastewater Treatment Plant (WWTP). The wastewater shall be disposed of into nine (9) drip dispersal fields. Field 6, 8, and 9 shall be off line temporarily while repairs to the fields are made.

B. Effluent Limitations

Beginning on the effective date and lasting through the expiration date of this permit, the permittee is authorized to treat and discharge to the drip dispersal system identified above the quantity and quality of effluent specified below:

1. The daily monthly average of influent flow shall not exceed 50,795 gpd.
2. The Total Nitrogen concentration of the effluent shall not exceed 10 mg/L on an average annual basis.
3. The monthly average BOD concentration of the effluent shall not exceed 30 mg/L.
4. The total monthly average of Total Suspended Solids (TSS) concentration of the effluent shall not exceed 30 mg/L, and the daily maximum shall not exceed 45 mg/L.
5. Fecal coliform limits of ≤ 200 col/100 mL

C. Monitoring Requirements

During the period beginning on the effective date and lasting through the expiration date of this permit, the permittee is authorized to discharge to the system. Such discharge shall be monitored by the permittee as specified below:

1. Influent and Effluent Samples

Influent to the wastewater treatment plant and effluent monitoring requirements from the wastewater treatment plant prior to discharge to the drip dispersal system shall be sampled for the following parameters:

Parameter	Unit Measurement	Monitoring Frequency	Sample Type	
			Influent	Effluent
Flow	Gallons Per Day	Continuous	Recorded	Recorded
BOD ₅	mg/L	2 x Month	Grab	Composite
TSS	mg/L	2 x Month	Grab	Composite
Total Dissolved Solids	mg/L	Quarterly	NA	Grab
Fecal Coliform	Col/100 ml	Quarterly	NA	Grab
Total Nitrogen	mg/L	2 x Month	Grab	Composite
Ammonia Nitrogen	mg/L	Monthly	Grab	Composite
Nitrate/Nitrite as Nitrogen	mg/L	Monthly	Grab	Composite
pH	S.U.	3 x per week	Grab	Composite
Total Phosphorus	mg/L	Monthly	Grab	Composite
Chloride	mg/L	Quarterly	Grab	Composite

2. Monitoring Well

The following monitoring wells:

DNREC ID
218990
218992
218993

shall be sampled by the permittee for the following parameters:

Parameter	Unit Measurement	Monitoring Frequency	Sample Type
pH	S.U.	Quarterly	Field Test
Temperature	°F	Quarterly	Field Test
Specific Conductance	µS/cm	Quarterly	Field Test
Dissolved Oxygen	mg/L	Quarterly	Field Test
Depth to Water Table	Hundredth of a foot	Quarterly	Field Test
Ammonia	mg/L	Quarterly	Grab

Nitrogen			
Nitrate + Nitrite Nitrogen	mg/L	Quarterly	Grab
Total Nitrogen	mg/L	Quarterly	Grab
Total Coliforms	Col/100 ml	Quarterly	Grab
Fecal Coliform	Col/100 ml	Quarterly	Grab
Total Phosphorus	mg/L	Quarterly	Grab
Sodium	mg/L	Quarterly	Grab
Chloride	mg/L	Quarterly	Grab
Total Dissolved Solids	mg/L	Quarterly	Grab

Should water levels in the wells rise above the minimum isolation distance of two (2) feet, the discharge shall be reduced at the area of concern and the Department shall be notified within 24 hours.

Samples taken in compliance with the monitoring requirements specified above shall be taking at each monitoring well and observation well in accordance with procedures approved by the Department and listed in the State of Delaware Field Manual for Groundwater Sampling (Custer, 1988).

D. Monitoring Reporting

The permittee shall submit to the Department an annual report summarizing operations, management, administration and maintenance of the facility for the calendar year. The annual report must be submitted to the Department on or before February 28th of each year.

Monitoring results obtained during the previous one (1) month/quarter shall be summarized for each month/quarter and reported on an approved On-Site Effluent/Groundwater Monitoring Report Form postmarked no later than the 28th day of the month following the completed reporting period. Signed copies of these, and all other reports required herein shall be submitted to the Department at the following address:

Delaware Department of Natural Resources and Environmental Control
 Groundwater Discharges Section
 89 Kings Highway
 Dover, DE 19901

Telephone: (302) 739-9948
 Fax: (302) 739-7764

E. Representative Samples

Samples and measurements taken has required herein shall be representative of the volume and nature of the monitored discharge.

F. Test Procedures

Test procedures for the analysis of pollutants shall conform to the applicable test procedures identified in 40 C.F. R. Part 136, unless otherwise specified in this permit.

G. Records Retention

All records and information resulting from the monitoring activities required by this permit including all records of analyses performed and calibration and maintenance of instrumentation and recording from continuous monitoring instrumentation shall be retained for five (5) years. This period of retention shall be extended automatically during the course of any unresolved litigation regarding the regulated activity or regarding control standards applicable to the permittee, or as requested by the Department.

H. Additional Monitoring by Permittee

If the permittee monitors any pollutant at the location(s) designated herein more frequently than required by this permit, using approved analytical methods specified herein, then the results of such monitoring shall be included in the calculation and reporting of the values required in the appropriate Monitoring Report Form. Such increased frequency shall also be indicated.

I. Schedule of Compliance

1. The permittee shall submit information needed for proper operation of the on-site wastewater treatment and disposal system in accordance with the following schedule:
 - i. Within 120 days following completion of construction, the permittee shall submit to the Department an "as-built" set of plans of the facility bearing the seal and signature of a DNREC Class C Licensed Professional Engineer registered in the State of Delaware. The as-built shall contain the following: all permit modifications made; identify all equipment changes; provide new equipment specifications.

Part II

A. MANAGEMENT REQUIREMENTS

a. Facilities Operation

The permittee shall at all times maintain in good working order and operate as efficiently as possible all collection, treatment and disposal system components installed or used by the permittee to achieve compliance with the terms and conditions of this permit.

Operation of this wastewater disposal facility requires a Class (2) Licensed Operator. The operator is responsible for operation, maintenance, and sampling of the facility. The operator shall perform site checks at a minimum of once every two weeks or as needed to adequately operate the facility.

An operator log must be kept on site at all times. All records and reports shall also be kept on site at all times. This log shall, at a minimum, include the following:

- i. Time spent at the treatment facility on any date
- ii. Details of the operation and maintenance performed on the system on any date
- iii. The volume of wastewater treated and disposed of
- iv. Identification of and description of any portions of the disposal system that were ponding
- v. A record of any deviations from the operation and maintenance manual
- vi. General daily weather conditions
- vii. A record of all actions taken to correct violations of this permit and the Department's regulations
- viii. Record of all site management activities undertaken such as planting, reseeding
- ix. Record the date and volumes, and destination of biosolids removed from the facility. A copy of the biosolids hauling receipts with

amounts removed shall be kept on file at the site

b. Change in Discharge

Any usage authorized herein shall be consistent with the terms and conditions of this permit. Any anticipated facility expansions, production increases, or process modifications which will result in new, different, or increased discharges must be reported by submission of a written report to the Department with the following time lines:

- i. Thirty (30) days before any planned physical alteration or addition to the permitted facility or activity if that alteration or addition would result in any change in information that was submitted to the Department.
- ii. Thirty (30) days before any anticipated change which would result in noncompliance with any permit condition or the regulations.
- iii. Immediately after the permittee becomes aware of relevant facts not submitted or incorrect information submitted in a permit application or any report to the Department. Those facts or the correct information shall be submitted as soon as possible and be included as part of the report.

c. Noncompliance Notification

If, for any reason, the permittee does not comply with or will be unable to comply with any limitations specified in this permit, the permittee shall contact the Ground Water Discharges at 739-9948, within 24 hours of noncompliance issue occurring. During non-business hours, weekends or holidays, the permittee shall call the Department's Enforcement Section at (800) 662-8802.

The permittee shall also provide the Ground Water Discharges Section with the following information, in writing, within five (5) days of becoming aware of such condition:

- i. A description of, and cause of noncompliance with any such limitation or condition; and
- ii. The period of noncompliance, including exact dates and times; or, if not corrected, the anticipated time the noncompliance is expected to continue, and steps being taken to reduce, eliminate and prevent recurrence of the noncomplying condition; and

iii. Steps taken or planned to reduce or eliminate reoccurrence of the noncompliance.

d. Facilities Operation

The permittee shall at all times properly maintain and operate as efficiently as possible all structures, systems and equipment for treatment control and monitoring which are used by the permittee to achieve compliance with the terms and conditions of this permit. Proper operation and maintenance includes, but is not limited to, effective performance based on designed facility removals, adequate funding, effective management, adequate operator staffing and training, and adequate laboratory and process controls including appropriate quality assurance procedures.

e. Adverse Impact

The permittee shall take all reasonable steps to minimize any adverse impact to waters of the State resulting from this permit, including such accelerated or additional monitoring as necessary to determine the nature and impact of the noncomplying discharge.

f. Removed Substances

Solids, sludges, filter backwash or other pollutants removed in the course of treatment or control of wastewater shall be disposed of in a manner such as to prevent any pollutant from entering the surface water or ground water and to comply with applicable federal or state laws and regulations.

g. Power Failures

An alternative power source, which is sufficient to operate the wastewater treatment and disposal facilities, shall be available. If such alternative power source is not available, the permittee shall halt, reduce or otherwise control production and/or all discharges upon the reduction, loss, or failure of the primary source of power to the wastewater facilities.

B. RESPONSIBILITIES

a. Reapplication for a Permit

At least 180 days before the expiration date of this permit, the permittee shall submit a new application for a permit, along with applicable fees, or notify the Department of the intent to cease discharging by the expiration

date. In the event that a timely and complete application has been submitted as determined by the Department, and the Department is unable, through no fault of the permittee, to issue a new permit before the expiration date of this permit, the terms and conditions of this permit are automatically continued and remain fully effective and enforceable until a decision is made on the new application.

b. Right of Entry

The permittee shall allow, at reasonable times, the Secretary of the Department of Natural Resources and Environmental Control, or his authorized representatives, upon the presentation of credentials and such other documents as may be required by law:

- i. To enter upon the permittee's premises where the on-site wastewater treatment and disposal system is located or where any records are required to be kept under the terms and conditions of this permit;
- ii. To have access to and copy any records required to be kept under the terms and conditions of this permit;
- iii. To inspect any facility, equipment, monitoring method, monitoring equipment, practice or operation permitted or required under this permit; and
- iv. d. To sample or monitor for the purpose of assuring permit compliance with any condition of this permit, the regulations or 7 Del C., Chapter 60.

c. Transfer of Ownership and Control

No person shall transfer a permit from one location to another or from one piece of equipment to another. No person shall transfer a permit from one person to another unless thirty days written notice is given to the Department, indicating the transfer is agreeable to both persons, and approval of such transfer is obtained in writing from the Department, and any conditions of the transfer approved by the Department are complied with by the transferor and the transferee.

The notice to the Department shall contain a written agreement between the transferor and the transferee, indicating the specific date of proposed transfer of permit coverage and acknowledging responsibilities of current and new permittees for compliance with and liability for the terms and

conditions of this permit. The notice shall be signed by both the transferor and the transferee.

d. Availability of Reports

All reports prepared in accordance with the terms of this permit shall be available for public inspection at the offices of the Department of Natural Resources and Environmental Control. Monitoring data shall not be considered confidential. Knowingly making any false statement on any such report may result in the imposition of criminal penalties as provided for in 7 Del. C., §6013.

e. Permit Modification, Revocation and Termination

After notice and opportunity for a hearing, this permit may be modified, terminated, or revoked in whole or in part during its term for cause including, but not limited to, any of the following:

- i. Violation of any terms of conditions of this permit, the regulations, 7 Del. C., Chapter 60 or failure to pay applicable Department fees;
- ii. Obtaining this permit by misrepresentation or failure to disclose fully all relevant facts;
- iii. A change in any condition that requires either a temporary or permanent reduction or elimination of the authorized discharge; or
- iv. If the Department finds that the health, safety or welfare of the public requires emergency action, the Department shall incorporate findings in support of such action in a written notice of emergency revocation issued to the permittee. Emergency revocation shall be effective upon receipt by the permittee. Thereafter, if requested by the permittee in writing, the Department shall provide the permittee a revocation hearing and prior notice thereof. Such hearings shall be conducted in accordance with 7 Del. C., Chapter 60.

f. State Laws

This permit shall not be construed to preclude the institution of any legal action or relieve the permittee from any responsibilities, liabilities, or penalties established pursuant to any applicable state law or regulation.

g. Property Rights

The issuance of this permit does not convey any property rights of either real or personal property, or any exclusive privileges, nor does it authorize any injury to private property or any invasion of personal rights, nor any infringement of federal, state or local laws or regulations.

h. Severability

The provisions of this permit are severable. If any provision of this permit, or the application of any provision of this permit to any circumstances, is held invalid, the application of such provision to other circumstances, and the remainder of this permit, shall not be affected thereby.

PART III

A. SPECIAL CONDITIONS

- a. Connections or additions to the on-site wastewater treatment and disposal system other than those indicated on the approved plans will not be allowed without prior approval of the Department.
- b. Roof downspouts, foundation drains, area drains, storm sewers, combined sewers or appurtenances thereto or any sewer or device carrying storm water shall not be connected to the on-site wastewater treatment and disposal system.
- c. In the event that the permittee installs new monitoring wells/observation wells, the permittee shall submit to the Department new elevation details relative to the common benchmark previously established.
- d. The spare area shall be left open and undisturbed.
- e. A valid sludge hauling contract shall be maintained for the life of the system. A copy of the waste manifest shall be made available to the Department during the annual compliance inspection or upon request. Any changes in the sludge haulers shall be reported to the Department immediately.
- f. This permit does not relieve the permittee of complying with any other applicable Federal, State or local regulations.

- g. The Department will conduct annual compliance inspection with the facility's operator of the on-site wastewater treatment and disposal system. An inspection fee will be charged.
- h. No industrial or commercial wastewater may be discharged to the Ridings at Rehoboth OWTDS unless the Department has reviewed and approved the discharge in writing through a wastewater management plan. Any additions to the wastewater management plan must be approved by the Department prior to the connection being completed.
- i. The permittee shall report to the Department the number of units connected to the wastewater treatment facility quarterly, in accordance with Part I, E. of this permit.
- j. Zone 6, 8 and 9 of the drip disposal area shall be temporarily taken off line for repairs. The permittee shall submit a construction schedule to the Department that details a timeline of when the repairs will be made and completed. Upon completion of the repairs, the permittee must demonstrate that the zones are working in accordance with the Design Engineer Report.

Agency Name: DNREC

Project Name: 2018-28 Ocean Meadows

Date: 11/13/2018

Division: Waste and Hazardous Substances/ SIRS
Meghan.Crystall@state.de.us (302)-395-2600

Contact Person: Meghan Crystall

Regulations/Code Requirements

DNREC's Site Investigation and Restoration Section (SIRS) has reviewed the proposed project.

- If it is determined by the Department that there was a release of a hazardous substance on the property in question and the Department requires remediation pursuant to the Hazardous Substance Cleanup Act, the provisions of 7 Del.C. Chapter 91, Delaware Hazardous Substance Cleanup Act and the Delaware Regulations Governing Hazardous Substance Cleanup shall be followed.”
- There are no SIRS sites found within a ½-mile radius of the proposed project.

Suggestions

- SIRS strongly recommends that the land owner performs appropriate environmental due diligence as necessary of the property.
- Additional remediation may be required if the project property or site is re-zoned by the county or state.
- Should a release or imminent threat of a release of hazardous substances be discovered during the course of development (e.g., contaminated water or soil), construction activities should be discontinued immediately and DNREC should be notified at the 24-hour emergency number (800-662-8802). SIRS should also be contacted as soon as possible at 302-395-2600 for further instructions.

ENGINEERING DEPARTMENT

ADMINISTRATION	(302) 855-7718
AIRPORT & INDUSTRIAL PARK	(302) 855-7774
ENVIRONMENTAL SERVICES	(302) 855-7730
PUBLIC WORKS	(302) 855-7703
RECORDS MANAGEMENT	(302) 854-5033
UTILITY ENGINEERING	(302) 855-7717
UTILITY PERMITS	(302) 855-7719
UTILITY PLANNING	(302) 855-1299
FAX	(302) 855-7799



Sussex County

DELAWARE
sussexcountyde.gov

HANS M. MEDLARZ, P.E.
COUNTY ENGINEER

November 30, 2018

REF: **OCEAN MEADOWS
NORTH COASTAL PLANNING AREA
SUSSEX COUNTY ENGINEERING DEPARTMENT
T. A. C. COMMENTS
SUBDIVISION NO. 2016-2
SUSSEX COUNTY TAX MAP NUMBER
234-2.00 PARCEL 2.00
PROJECT CLASS-3
AGREEMENT NO. 1054**

The following comments are the result of the Sussex County Engineering Department's review of the preliminary site plan for the above referenced project:

PUBLIC WORKS DIVISION COMMENTS

1. Proposed developments with private roads or projects required by the County to conform to or exceed the County street design requirements shall be regulated by and conform to Sussex County Code and the comments here listed.
2. This project is not located within the limits of a Ground Water Management Zone (GMZ). Projects located within a GMZ will be forwarded to the County Engineer for review and comment.
3. Project Construction Drawings shall show, in detail, the proposed improvements. The work required includes preparation and delivery of an AutoCAD 2012 digitized plan showing existing and proposed lines, grades, topography and features in a given area, which was utilized in preparing plans for construction. The individual sheet types will be in a separate design to show plan views on sheets separate from profile views. In addition, each sheet of the plans shall be submitted in a PDF format.
4. All work shall be geo-referenced to the Delaware State Grid System NAD-83 (HARN) and provided in an AutoCAD 2012 format. North will always be shown in an up direction on all plans.
5. Topographic contours at one-foot intervals shall be shown and referenced to United States Geological Survey Mean Sea Level Datum NAVD 1988 Datum.
6. The plans shall be provided on 24" x 36" drawing sheets at a scale of 1" = 50'.

The plans shall show and address the following items at minimum:



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 589
GEORGETOWN, DELAWARE 19947

7. The project requires professional land surveying services to accurately delineate, and show the following items but is not limited to the following: all property and right-of-way lines, established at a minimum, two (2) horizontal and vertical control concrete project benchmarks, survey monuments, easements, existing and proposed topographic contours at 1-foot vertical intervals and spot elevations as necessary to establish grades, the locations of all existing structures, highway and roadway pavements, shoulders, curbs, driveways, sidewalks, lighting structures, traffic control signs, and all public and private utilities, including, but not limited to, electric power and telephone lines, poles and boxes, underground electric, telephone, and communication lines, potable water lines, fire hydrants and valve boxes, gas lines, wells, sanitary sewers including septic systems, rim and invert elevations of manholes and cleanouts, and the rims and invert elevations and type of storm water structures, drainage ditches, ponds, streams and waterways, flood zones and flood zone boundaries and elevations, and State and Federal wetlands, trees, cemeteries and historic features, and the finished floor elevations of buildings.
8. Plans shall show the seal and signature of a registered Delaware land surveyor or registered Delaware professional engineer.
9. The plan requires a Certification Signature and/or a Certification Block for the Delaware Professional Engineer or Delaware Land Surveyor.
10. The plan requires a Certification Signature and/or a Certification Block for the Owner or Representative of the Owner.
11. The plan requires a Certification Signature and/or a Certification Block for the Professional Wetlands Delineator.
12. The name, address, phone number and contact person's name of the Owner of Record, the Developer and the Engineer or Surveyor preparing the plan.
13. Indicate the location of all wetlands, both state and federal, to facilitate compliance with County, State and Federal requirements.
14. Define the courses and distances of the property perimeter and the approximate acreage contained therein. Establish and set in the field two (2) CONCRETE MONUMENT project bench marks, preferably at property perimeter corners, geo-referenced to the Delaware State Plane Coordinate system NAD 83 and show the location including the North and East coordinates of the marks on the plans.
15. Indicate the development construction phases proposed showing the boundaries of each phase. Phasing boundaries shall include buildings, residential units, amenities, roads, storm water management facilities, wastewater systems and all other improvements and utilities required to service each phase.
16. Show the layout, width and names of all streets, alleys, crosswalks and easements proposed to be dedicated for private or public use. Street names shall not duplicate nor closely resemble existing street names in the same hundred or postal district, except for extensions of existing streets.
17. Provide the limits and elevations of the one-hundred (100) year flood. This may require the design engineer to complete an analysis and provide a report including the

depiction of the subject watershed(s), calculations and other technical data necessary to determine the limits and elevations base flood. The design engineer must resolve discrepancies, if any, between surveyed topography and the FEMA Flood Insurance Rate Maps.

18. For parking lots and drives, provide spot elevations at the edge of pavement, right-of-way or travel way centerline, at changes in grade, and high points and low points, to the nearest drainage facilities. Show the limits of the various surface materials and provide construction sections.
19. The proposed street cross section shall be revised to show the limits of the right-of-way placed one (1) foot behind the back of curb and/or one (1) foot behind back of sidewalk as applicable and in compliance with SSC 99-18 (8).
20. Provide and show the locations and details of all ADA compliant accessible walks and ramp features.
21. Provide a typical driveway cross section and profile to show that the sidewalks remain ADA compliant at their intersection with the driveways
22. If the site has a cemetery located on it the Developer shall contact the Delaware State Historic Preservation Office and satisfy the requirements of that Office prior to beginning any construction activity. This area shall not be disturbed by this project. Adequate access to the site and buffers to protect the site, shall be provided.
23. Private rights-of-way adjacent to and abutting parcels not part of the project shall be located and designed to provide adequate buffer so that construction activities do not encroach onto adjacent properties.
24. Provide statements explaining how and when the developer proposes to provide and install the required water supply, sewers or other means of sewage disposal, street pavement, drainage structures and any other required improvements.
25. Provide statements concerning any proposed deed restrictions to be imposed by the owner.
26. Where special physical conditions exist, which may act as constraints on normal development or may preclude development, the developer may be required to submit special technical data, studies or investigations. This information must be prepared by individuals technically qualified to perform such work. Additional information may include but is not limited to the following: on-site sanitary sewage disposal feasibility, water supply surveys, such as test well drilling, storm water runoff computations and identification of areas subject to periodic flooding.
27. If special conditions are found to exist, the Engineering Department may elect to withhold approval of a construction plan until it is determined that it is technically feasible to overcome such conditions. The Engineering Department may then require the developer to incorporate specific improvement design criteria into the plat as a condition to its approval.
28. When special studies or investigations pertain to a regulatory program of another public agency, the developer shall submit the results of these studies or investigations to said public agencies for technical review and approval. Approvals and/or written comments

from these agencies shall be supplied to Sussex County by the developer.

UTILITY PLANNING DIVISION COMMENTS

REVIEWER: **Rob Davis**

APPLICATION: **Subdivision 2018-28 -- Ocean Meadows**

APPLICANT: **Stonemark Ventures, LLC**

FILE NO: **NCPA-5.03**

TAX MAP &
PARCEL(S): **234-2.00 Parcel 2.0**

LOCATION: **West side of Beaver Dam Road, south of Dairy Farm Road.**

NO. OF UNITS: **136 single family lots**

GROSS
ACREAGE: **70.23**

SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: **2**

SEWER:

- (1). Is the project in a County operated and maintained sanitary sewer and/or water district?
Yes No
- a. If yes, see question (2).
- b. If no, see question (7).
- (2). Which County Tier Area is project in? **Tier 3**
- (3). Is wastewater capacity available for the project? **No** If not, what capacity is available?
N/A.
- (4). Is a Construction Agreement required? **No** If yes, contact Utility Engineering at (302) 855-7717.
- (5). Are there any System Connection Charge (SCC) credits for the project? **No** If yes, how many? **N/A.** Is it likely that additional SCCs will be required? **No**
If yes, the current System Connection Charge Rate is **\$6,360.00** per EDU. Please contact **N/A** at **302-855-7719** for additional information on charges.
- (6). Is the project capable of being annexed into a Sussex County sanitary sewer district? **No**

Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.

- (7). Is project adjacent to the Unified Sewer District? **No**
- (8). Comments: **The project proposes a cluster subdivision of 136 single family lots. The project is located outside of the boundary of the Sussex County Unified Sanitary Sewer District. The project is proposed to have wastewater service provided by Tidewater Utilities. The Engineering Department would support a CPCN being issued for the project.**
- (9). Is a Sewer System Concept Evaluation required? **No**
- (10). Is a Use of Existing Infrastructure Agreement Required? **No**

If the above items, as applicable, are incorporated into the development plans, then preliminary approval is recommended. However, final plan approval should be withheld pending the approval of the construction plans by the Sussex County Engineering Department.

Sussex County, Delaware
Technical Advisory Committee

Comment Sheet



DATE OF REVIEW: October 22, 2018

REVIEWING AGENCY: Delaware State Fire Marshal's Office, Sussex Office

INDIVIDUAL REVIEWERS: Duane T. Fox, CFPS, CFPE, CFI, Asst. Chief Technical Services
Dennett E. Pridgeon, CFPS, CFPE, CFI, Sr. Fire Protection Specialist
Jefferson L. Cerri, CFI, Sr. Fire Protection Specialist
Joseph Moran, CFI, Sr. Fire Protection Specialist
Desiree B. McCall, CFI, Fire Protection Specialist

AGENCY PHONE NUMBERS: 302-856-5298, Fax: 302-856-5800

RE: OCEAN MEADOWS (2018-28)

The reasons and conditions applied to this project and their sources are itemized below:

At the time of formal submittal, the applicant shall provide; completed application, fee, and three sets of plans depicting the following in accordance with the Delaware State Fire Prevention Regulation (DSFPR):

- a. **Fire Protection Water Requirements:**
 - Where a water distribution system is proposed for single-family dwellings it shall be capable of delivering at least 500 gpm for 1-hour duration, at 20-psi residual pressure. Fire hydrants with 1000 feet spacing on centers are required. (One & Two- Family Dwelling)
 - Where a water distribution system is proposed for the site, the infrastructure for fire protection water shall be provided, including the size of water mains for fire hydrants and sprinkler systems.
- b. **Fire Protection Features:**
- c. **Accessibility**
 - All premises, which the fire department may be called upon to protect in case of fire, and which are not readily accessible from public roads, shall be provided with suitable gates and access roads, and fire lanes so that all buildings on the premises are accessible to fire apparatus. This means that the access road to the subdivision from Beaver Dam Rd must be constructed so fire department apparatus may negotiate it.

- Fire department access shall be provided in such a manner so that fire apparatus will be able to locate within 100 ft. of the front door.
 - Any dead end road more than 300 feet in length shall be provided with a turn-around or cul-de-sac arranged such that fire apparatus will be able to turn around by making not more than one backing maneuver. The minimum paved radius of the cul-de-sac shall be 38 feet. The dimensions of the cul-de-sac or turn-around shall be shown on the final plans. Also, please be advised that parking is prohibited in the cul-de-sac or turn around.
 - The use of speed bumps or other methods of traffic speed reduction must be in accordance with Department of Transportation requirements.
 - The local Fire Chief, prior to any submission to our Agency, shall approve in writing the use of gates that limit fire department access into and out of the development or property.
- d. **Gas Piping and System Information:**
- Provide type of fuel proposed, and show locations of bulk containers on plan.
- e. **Required Notes:**
- Provide a note on the final plans submitted for review to read “ All fire lanes, fire hydrants, and fire department connections shall be marked in accordance with the Delaware State Fire Prevention Regulations”
 - Proposed Use
 - Alpha or Numerical Labels for each building/unit for sites with multiple buildings/units
 - National Fire Protection Association (NFPA) Construction Type
 - Maximum Height of Buildings (including number of stories)
 - Note indicating if building is to be sprinklered
 - Name of Water Provider
 - Letter from Water Provider approving the system layout
 - Provide Road Names, even for County Roads

Preliminary meetings with fire protection specialists are encouraged prior to formal submittal. Please call for appointment. Applications and brochures can be downloaded from our website:

www.statefiremarshal.delaware.gov, technical services link, plan review, applications or brochures.

THIS DOCUMENT IS INFORMATIONAL ONLY, AND DOES NOT CONSTITUTE ANY TYPE OF APPROVAL FROM THE DELAWARE STATE FIRE MARSHAL'S OFFICE



MICHAEL T. SCUSE
SECRETARY
E. AUSTIN SHORT
DEPUTY SECRETARY
KENNETH M. BOUNDS
DEPUTY SECRETARY

STATE OF DELAWARE
DEPARTMENT OF AGRICULTURE

2320 SOUTH DUPONT HIGHWAY
DOVER, DELAWARE 19901
DDA.DELAWARE.GOV

TELEPHONE (302) 698-4500
TOLL FREE (800) 282-8685
FAX (302) 697-6287

November 27, 2018

Christin Headley
Planning and Zoning Manager
Planning and Zoning Commission
2 The Circle PO Box 417
Georgetown, Delaware 19947

Subject: **2018-28-Ocean Meadows**

Dear Mr. Headley,

Thank you for submitting the site plan for Ocean Meadows Property subdivision submitted by Solutions Integrated Planning a, Engineering and Management LLC. The Sussex County Planning and Zoning Forested Buffer Ordinance Number 1984 Section 99-5 requires a forested buffer, Ocean Meadows Property has a 20 ft. forested buffer indicated.

Sussex County Planning and Zoning Forested Buffer Ordinance Number 1984 Section 99-5 also requires a planting list which is to follow 70% deciduous and 30% evergreens to be planted in the buffer strip which was not provided in the plans. A comprehensive display of plantings in the buffers should be included with species being used for review. We recommend a planting list to be provided for review as well as planting specifications.

If you have any more questions please feel free to contact me 302.659.6704 or email me at Michael.Martini@state.de.us

Sincerely,

A handwritten signature in cursive script that reads "Michael Martini".

Michael Martini
Urban Forestry Program
Delaware Forest Service

MAPPING & ADDRESSING

MEGAN NEHRBAS
MANAGER OF GEOGRAPHIC
INFORMATION SYSTEMS (GIS)
(302) 855-1176 T
(302) 853-5889 F



Sussex County

DELAWARE
sussexcountyde.gov

December 21, 2018

Solutions IPeM

Attn: Jason Palkewicz
303 N Bedford Street
Georgetown, DE 19947

RE: **Ocean Meadows**

I have received proposed street name(s) for the existing subdivision, **Ocean Meadows**, located in Lewes. In reviewing the proposed street name(s) the following have been approved:

Wentworth Way		

Use only approved road names that you have written confirmation for or you will be required to rerecord. Each street name is to be used only once.

Upon final approval of **Ocean Meadows** please forward a copy of the recorded site plan to my attention. Our office would appreciate a digital copy if at all possible for the purpose of addressing. Should you have any questions, please contact the **Sussex County Addressing Department** at 302-855-1176.

Sincerely,

Terri L. Dukes

Terri L. Dukes
Addressing Technician II

CC: Christin Headley
Planning & Zoning



Christin Headley

From: Dickerson, Troy <TDickerson@delaware.coop>
Sent: Tuesday, October 23, 2018 11:20 AM
To: Christin Headley
Subject: RE: TAC Review for 2018-28 Ocean Meadows

Christin,

This development is located within DP&L's service territory boundary, so they will be the electric service provider.

Thanks!

Troy W. Dickerson, P.E.
Assistant V.P. of Engineering
Voice: (302) 349-3125
Cell: (302) 535-9048
Fax: (302) 349-5891
tdickerson@delaware.coop



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From: Christin Headley <christin.headley@sussexcountyde.gov>

Sent: Thursday, October 18, 2018 3:21 PM

To: Brad Hawkes <bhawkes@sussexcountyde.gov>; C. Daniel Parsons <dparsons@sussexcountyde.gov>; Dean Holden - Chesapeake Electric <dholden@chpk.com>; Duane T. Fox <Duane.Fox@state.de.us>; Eileen M. Butler <Eileen.Butler@state.de.us>; Jessica Watson – Sussex Conservation <Jessica.watson@state.de.us>; John J. Ashman <jashman@sussexcountyde.gov>; John Hayes – Groundwater Discharge <john.hayes@state.de.us>; John Kennel – DE Coastal Programs <john.kennel@state.de.us>; John Martin – Watershed Stewardship <john.martin@state.de.us>; Kate Fleming – DNREC Fish & Wildlife <kate.fleming@state.de.us>; Kelley Gabbard <kgabbard@chpk.com>; Lauren.Devore@state.de.us; Meghan Crystall – DNREC <Meghan.Crystall@state.de.us>; Michael Tholstrup – Energy & Climate <Michael.Tholstrup@state.de.us>; Mike Brady <MBRADY@sussexcountyde.gov>; Milton Melendez – Dept. of Ag <Milton.melendez@state.de.us>; Rob Davis <rdavis@sussexcountyde.gov>; Steven Sisson - DelDOT <steven.sisson@state.de.us>; Subdivision mailbox email – DelDOT <Subdivision@state.de.us>; Susan Isaacs <sisaacs@sussexcountyde.gov>; Terri Dukes <tdukes@sussexcountyde.gov>; Dickerson, Troy <TDickerson@delaware.coop>; Vince Robertson <vrobertson@pgslegal.com>

Subject: TAC Review for 2018-28 Ocean Meadows

Good Afternoon,

Sussex County Planning Office has received one (1) application that requires TAC review. Attached is a memo regarding the application and a PDF of the plans submitted for 2018-28 Ocean Meadows.

Please provide comments on or before Monday, December 3, 2018.

SITE DATA:

OWNER: ESTATES AT CEDAR GROVE, LLC
5950 SYMPHONY WOODS ROAD, SUITE 408
COLUMBIA, MD 21044

APPLICANT/DEVELOPER: STONEMARK VENTURES, LLC
5950 SYMPHONY WOOD ROAD, SUITE 408
COLUMBIA, MD 21044
CONTACT: MEGAN CONNER

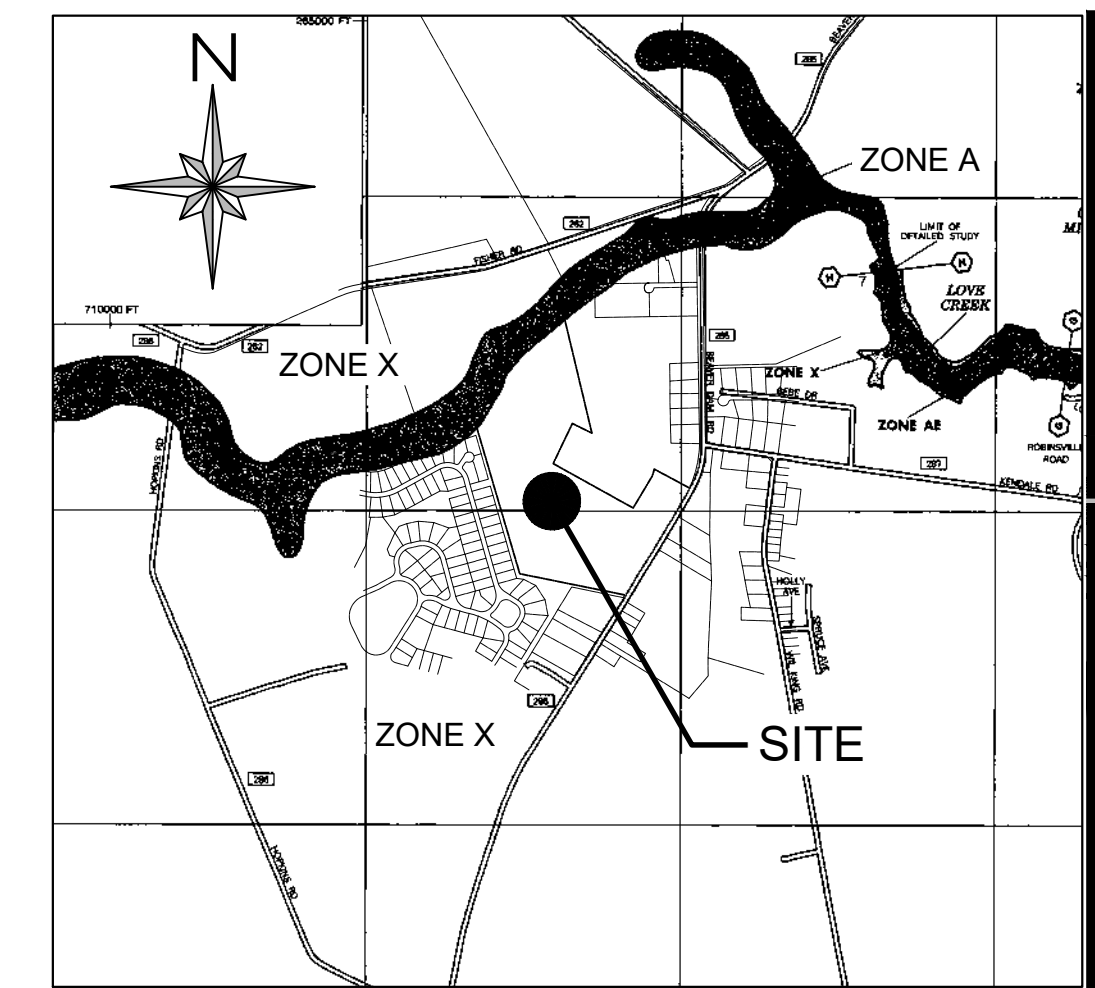
LAND PLANNER: SOLUTIONS IPEM, LLC
303 NORTH BEDFORD STREET
GEORGETOWN, DE 19947
PHONE: 302.297.9215
CONTACT: JASON PALKEWICZ, PE

- TAX MAP: 234-2,00-2,00
DEED REFERENCE: 4802/86
- EXISTING ZONING: AR-1
- PROPOSED USE: AR-1 CLUSTER
 - SINGLE FAMILY LOTS = 136 LOTS
 - MIN. LOT AREA = 7,500 S.F.
 - MIN. LOT WIDTH = 60'
 - MAXIMUM BUILDING HEIGHT: 42'
 - FRONT YARD = 25' (15' ON CORNER)
 - SIDE YARD = 10'
 - REAR YARD = 10'
 - RIGHT-OF-WAY = 50'
- FLOOD ZONE: THE PROPERTY IS LOCATED WITHIN FLOOD ZONE X. (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN); ZONE A (SPECIAL FLOOD HAZARD AREA SUBJECT TO THE FLOODING BY THE 1% ANNUAL CHANCE FLOOD - NO BASE FLOOD ELEVATIONS DETERMINED) PER FIRM MAP NUMBERS 10005C0330J REVISED JANUARY 6, 2005.
- WATER SUPPLY: TIDEWATER UTILITIES, INC
- SANITARY SEWER: TIDEWATER UTILITIES, INC
- GROSS AREA = 70.23 AC ±
ALLOWABLE UNITS = 43,560 SF / 21,780 SF * 70.23 AC = 140.46 PROPOSED UNITS = 136 (1.93 UNITS/ACRE GROSS)
- WOODLANDS: EXISTING = 31.79 AC ± (45.3%)
TO REMAIN = 14.89 AC ± (46.8%)
- OPEN SPACE: PROPOSED = 26.17 AC ± (36.0%)
- EXISTING WETLANDS = 3.95 AC ±
- SOIL CLASSIFICATIONS:
DoA - DOWNER SANDY LOAM, 0 TO 2% SLOPES, NORTHERN TIDEWATER AREA
DoGb - DOWNER SANDY LOAM, 2 TO 5% SLOPES, NORTHERN TIDEWATER AREA
EvD - EVESBORO LOAMY SAND, 5 TO 15% SLOPES
FgGa - FALLSINGTON LOAMS, 0 TO 2% SLOPES, NORTHERN TIDEWATER AREA
FhA - FORT MOTT-HENLOPEN COMPLEX, 0 TO 2% SLOPES
FhB - FORT MOTT-HENLOPEN COMPLEX, 2 TO 5% SLOPES
HnA - HAMMONTON SANDY LOAM, 0 TO 2% SLOPES
LO - LOGMARSH AND INDIANTOWN SOILS

- NOTES:**
- ALL ON-SITE STREETS (INCLUDING PAVEMENT, CURBING AND SIDEWALK) ARE PRIVATE AND SHALL BE MAINTAINED BY THE OWNER UNTIL DEDICATION TO THE HOMEOWNER'S ASSOCIATION. THE PERPETUAL MAINTENANCE OF THE STREETS SHALL BE BY THE HOMEOWNER'S ASSOCIATION.
 - STORMWATER MANAGEMENT AND STORM DRAINAGE SHALL BE IN ACCORDANCE WITH THE SUSSEX COUNTY CONSERVATION DISTRICT AND SUSSEX COUNTY ENGINEERING REQUIREMENTS. MAINTENANCE OF THE ON-SITE STORMWATER MANAGEMENT FACILITIES AND STORM DRAINAGE SYSTEM SHALL BE BY THE OWNER UNTIL DEDICATION TO THE HOMEOWNER'S ASSOCIATION. THE PERPETUAL MAINTENANCE OF THE ABOVE PROACTIVE SHALL BE BY THE HOMEOWNER'S ASSOCIATION.
 - ALL OPEN SPACE SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
 - ALL SUBDIVISION LOTS SHALL HAVE FIVE FOOT WIDE EASEMENTS ALONG ALL LOT LINES FOR A TOTAL EASEMENT WIDTH OF 10 FEET ALONG A LOT LINE COMMON TO TWO LOTS. EASEMENTS ALONG PERIMETER (RIGHT-OF-WAY AND OPEN SPACE) SHALL BE 10 FEET IN WIDTH.
 - STREETLIGHTS SHALL BE PROVIDED.
 - FOR ANY NEW DEVELOPMENT LOCATED IN WHOLE OR IN PART WITH 50 FEET OF THE BOUNDARY OF LAND USED PRIMARILY FOR AGRICULTURAL PURPOSES, NO IMPROVEMENT REQUIRING AN OCCUPANCY APPROVAL FOR A RESIDENTIAL TYPE USE SHALL BE CONSTRUCTED WITHIN 50 FEET OF THE BOUNDARY OF THE LANDS USED PRIMARILY FOR AGRICULTURAL PURPOSES.

PRELIMINARY SUBDIVISION PLAT FOR OCEAN MEADOWS

LEWES-REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE



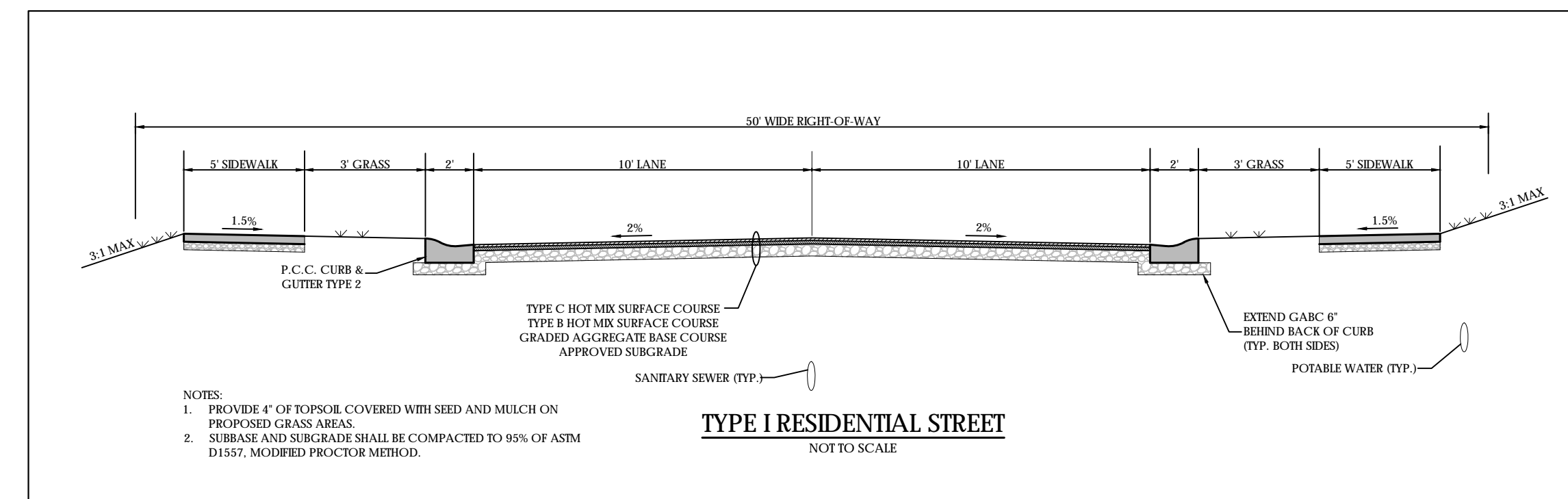
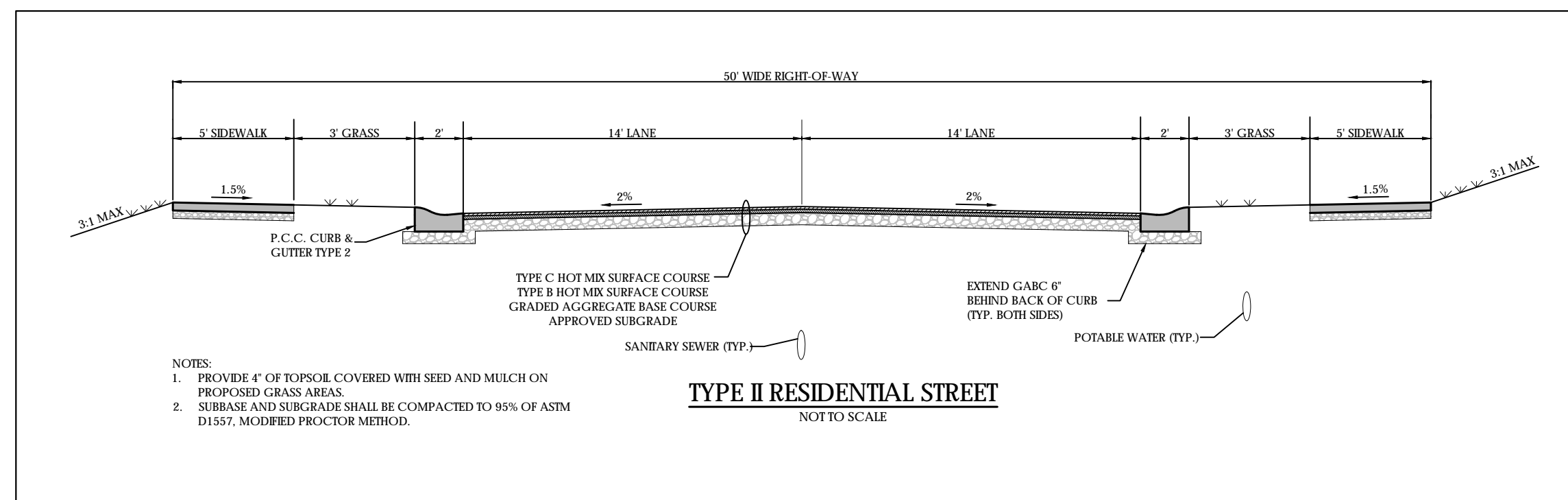
LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
EASEMENT/BUFFER LINE	---	---
SETBACK LINE	---	---
R.O.W. LINE	---	---
CONCRETE MONUMENT FOUND	CMF □	CMS □
IRON PIPE FOUND	IPF ●	N/A
SPOT ELEV. LABEL	N/A	19.25
MAJOR CONTOUR	---	N/A
MINOR CONTOUR	---	N/A
ROAD CENTERLINE	---	---
EDGE OF CONCRETE	---	---
EDGE OF PAVEMENT	---	---
CURB	---	---
SIDEWALK	---	---
SIDEWALK HATCH	---	---
EDGE OF POND	N/A	---
STORM MANHOLE	⊙	⊙
CURB INLET	⊞	⊞
STORM PIPE	SD	SD
SANITARY MANHOLE	⊙	⊙
SANITARY PIPE	SS	SS
WATER PIPE	W	W
NATURE TRAIL / WALKING TRAIL	N/A	---
NON-TIDAL WETLANDS	ψ	N/A
FLOOD PLAIN	---	N/A
LIGHTPOLE	N/A	---
WOODS LINE	---	---
PERENNIAL STREAM	---	N/A
PERENNIAL STREAM BUFFER	---	N/A

NOTE:
THIS PLAT REPRESENTS A PROPOSED CHANGE TO THE RECORDED FINAL PLAT OF OCEAN MEADOWS, BOOK 259, PAGE 88.

SHEET INDEX

- PRELIMINARY COVER SHEET
- EXISTING CONDITIONS PLAN
- EXISTING CONDITIONS PLAN
- PRELIMINARY PLAN A
- PRELIMINARY PLAN B
- PRELIMINARY PLAN C
- PRELIMINARY PLAN D
- PRELIMINARY PLAN E



solutions
IPEM, LLC
303 North Bedford Street
Georgetown, DE 19947
T. 302.297.9215

303 North Bedford Street
Georgetown, DE 19947
T. 302.297.9215

3003 Meent Mill Road
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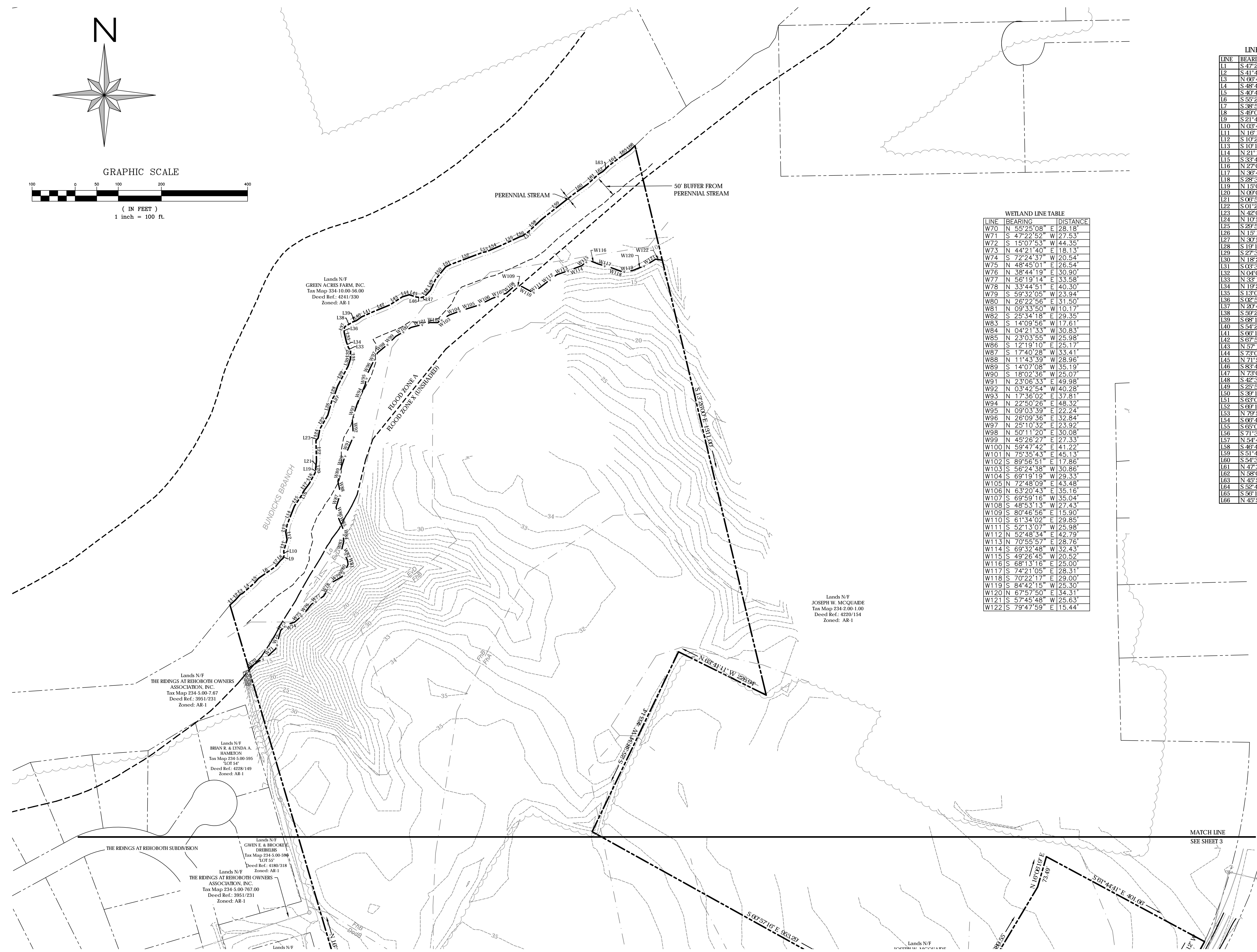
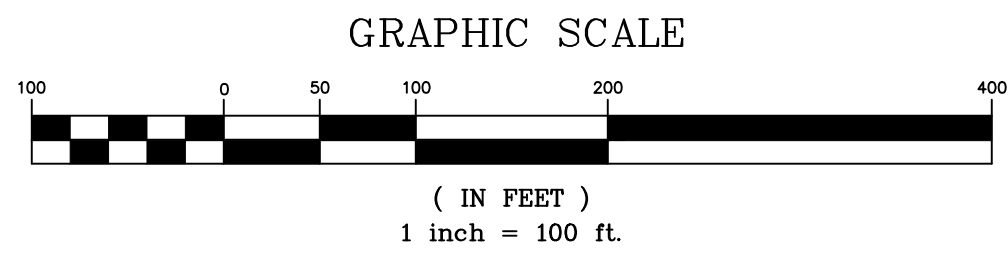
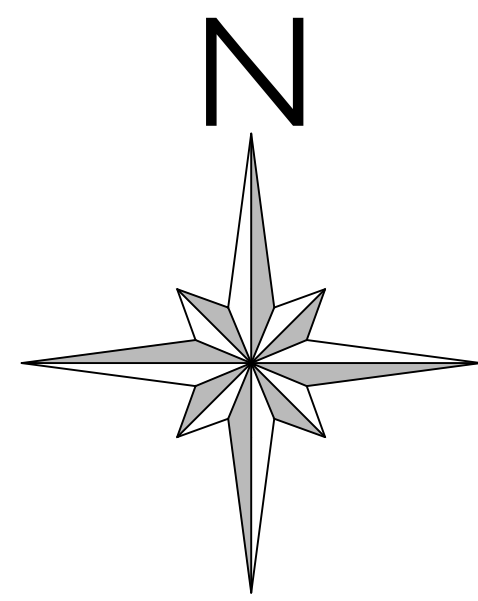


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PRELIMINARY COVER SHEET
for
OCEAN MEADOWS
LEWES-REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE

Date:	2/13/18
Job Number:	G7012
Scale:	N/S
Drawn By:	JP
Designed By:	EMK
Approved By:	JP



LINE TABLE

LINE	BEARING	DISTANCE
L1	S 47°25'49" W	16.68'
L2	S 41°44'26" W	17.98'
L3	N 03°43'35" E	5.11'
L4	S 48°46'38" W	37.34'
L5	S 40°48'13" W	13.75'
L6	S 55°21'57" W	47.96'
L7	S 38°56'50" W	18.23'
L8	S 49°09'52" W	8.15'
L9	S 21°48'19" W	6.27'
L10	N 03°49'57" W	10.87'
L11	N 16°18'06" E	27.59'
L12	S 10°22'54" E	17.34'
L13	S 10°18'19" W	17.48'
L14	N 21°18'04" E	46.76'
L15	S 33°45'27" W	28.50'
L16	N 27°05'00" E	12.73'
L17	N 36°48'17" E	20.74'
L18	S 28°37'06" W	29.98'
L19	N 15°07'01" E	4.87'
L20	N 03°06'44" W	4.04'
L21	N 03°54'45" W	17.55'
L22	S 01°24'28" E	48.20'
L23	N 42°08'23" E	7.61'
L24	N 10°53'28" E	21.63'
L25	S 29°55'15" W	36.80'
L26	N 15°10'35" E	37.96'
L27	N 30°17'23" W	8.99'
L28	S 19°11'36" W	24.30'
L29	S 27°39'02" W	52.62'
L30	N 18°24'39" E	17.43'
L31	S 03°34'21" E	6.72'
L32	N 04°02'28" E	11.90'
L33	N 33°14'46" W	9.68'
L34	N 19°21'52" W	14.34'
L35	S 13°03'27" E	21.72'
L36	S 02°51'38" E	8.42'
L37	N 20°44'15" E	5.55'
L38	S 39°23'14" W	21.07'
L39	S 68°12'50" W	9.50'
L40	S 54°27'41" W	14.55'
L41	S 06°14'25" W	32.46'
L42	S 67°54'34" W	37.52'
L43	N 57°18'08" E	35.98'
L44	S 73°03'34" W	16.54'
L45	N 71°59'45" W	17.88'
L46	S 83°45'00" W	10.60'
L47	N 73°07'32" E	8.45'
L48	S 42°35'51" W	19.34'
L49	S 25°53'19" W	28.96'
L50	S 37°13'30" W	36.58'
L51	S 63°08'56" W	12.31'
L52	S 69°18'17" W	79.92'
L53	N 79°53'13" E	9.29'
L54	S 69°45'31" W	36.41'
L55	S 65°08'06" W	48.39'
L56	S 71°35'17" W	6.61'
L57	N 54°41'32" E	16.11'
L58	S 46°49'05" W	41.27'
L59	S 51°41'47" W	95.68'
L60	S 54°33'55" W	40.00'
L61	N 47°35'12" E	34.74'
L62	N 38°05'54" E	11.73'
L63	N 45°59'40" E	17.36'
L64	S 52°44'54" W	35.16'
L65	S 56°16'52" W	25.55'
L66	N 45°50'35" E	17.13'

WETLAND LINE TABLE

LINE	BEARING	DISTANCE
W70	N 55°25'08" E	28.18'
W71	S 47°22'52" W	27.53'
W72	S 15°07'53" W	44.35'
W73	N 44°21'40" E	18.13'
W74	S 72°24'37" W	20.54'
W75	N 48°45'01" E	26.54'
W76	N 38°44'19" E	30.90'
W77	N 56°19'14" E	33.58'
W78	N 33°44'51" E	40.30'
W79	S 59°32'05" W	23.94'
W80	N 26°22'56" E	31.50'
W81	N 09°33'50" W	10.17'
W82	S 25°34'18" E	29.35'
W83	S 14°09'56" W	17.61'
W84	N 04°21'33" W	30.83'
W85	N 23°03'56" W	25.98'
W86	S 12°19'10" E	25.17'
W87	S 17°40'28" W	33.41'
W88	N 11°43'39" W	28.96'
W89	S 14°07'08" W	35.19'
W90	S 18°02'36" W	25.07'
W91	N 23°06'33" E	49.98'
W92	N 03°42'54" W	40.28'
W93	N 17°36'02" E	37.81'
W94	N 22°50'26" E	48.32'
W95	N 09°03'39" E	22.24'
W96	N 26°09'36" E	32.84'
W97	N 25°10'32" E	23.92'
W98	N 50°11'20" E	30.08'
W99	N 45°26'27" E	27.33'
W100	N 59°47'42" E	41.22'
W101	N 75°35'43" E	45.13'
W102	S 89°56'51" E	17.86'
W103	S 56°24'38" W	30.86'
W104	S 69°19'19" W	29.33'
W105	N 72°48'09" E	43.48'
W106	N 63°20'43" E	35.16'
W107	S 69°59'16" W	35.04'
W108	S 48°53'13" W	27.43'
W109	S 80°46'56" E	15.90'
W110	S 61°34'02" E	29.85'
W111	S 52°13'07" W	25.98'
W112	N 52°48'34" E	42.79'
W113	N 70°55'57" E	28.76'
W114	S 69°32'48" W	32.43'
W115	S 49°26'45" W	20.52'
W116	S 68°13'16" E	28.00'
W117	S 74°21'05" E	28.31'
W118	S 70°22'17" E	29.00'
W119	S 84°42'15" W	25.30'
W120	N 67°57'50" E	34.31'
W121	S 57°45'48" W	25.63'
W122	S 79°47'59" E	15.44'

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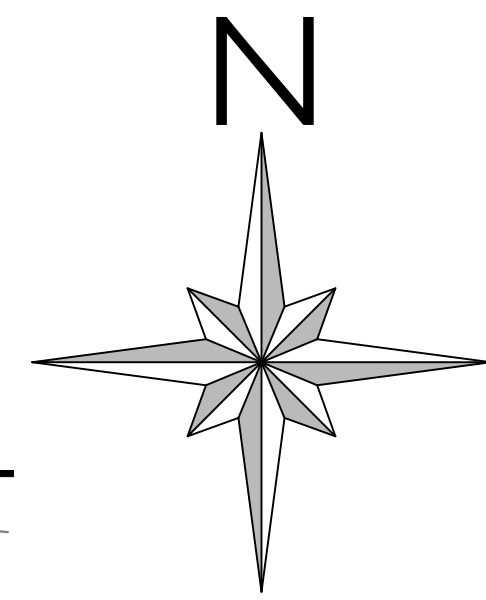
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PRELIMINARY EXISTING CONDITIONS PLAN
for
OCEAN MEADOWS
LEWES-REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE

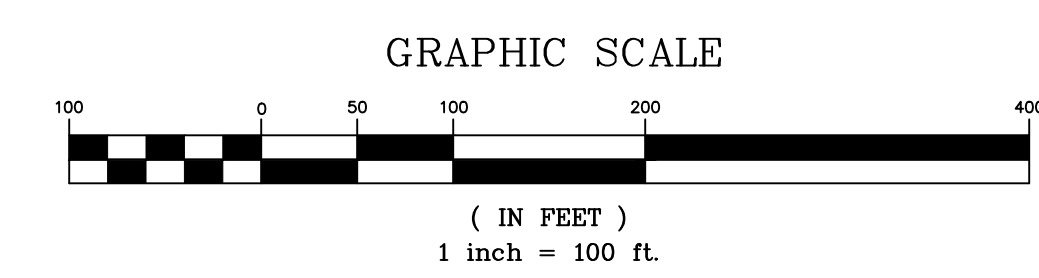
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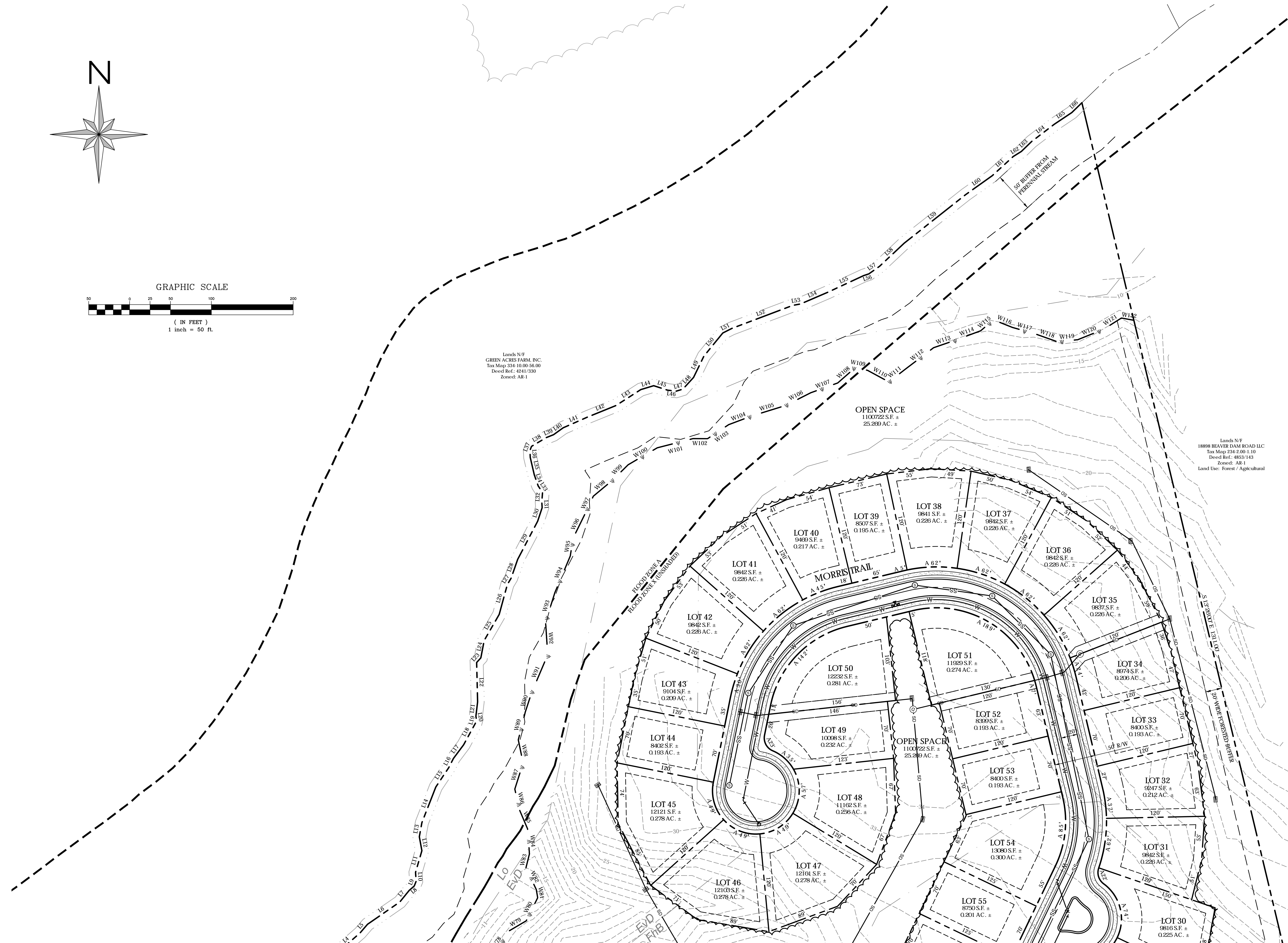
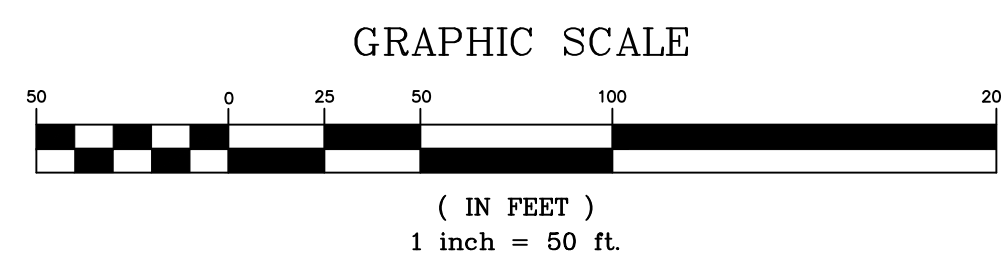
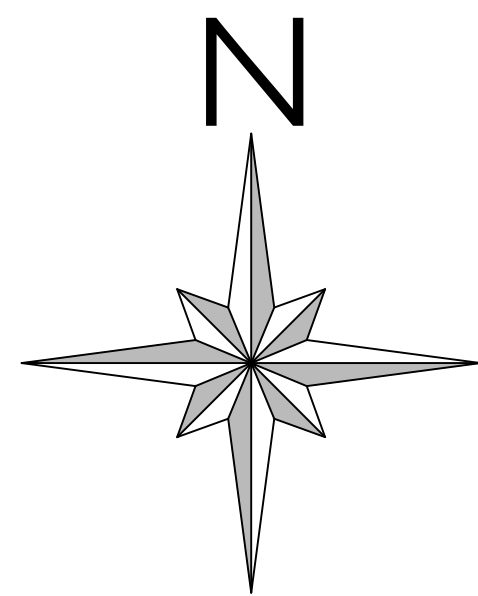


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PRELIMINARY EXISTING CONDITIONS PLAN
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OCEAN MEADOWS
LEWES-REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE

Date:	2/13/18
Job Number:	G17012
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Approved By:	JP

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File Name: 17012-prelim-excond



Lands N/F
GREEN ACRES FARM, INC.
Tax Map 334-10.00-56.00
Deed Ref: 4241-330
Zoned: AR-1

OPEN SPACE
1100722 S.F. ±
25.269 AC. ±

Lands N/F
18898 BEAVER DAM ROAD LLC
Tax Map 234-2.00-1.10
Deed Ref: 4853-143
Zoned: AR-1
Land Use: Forest / Agricultural

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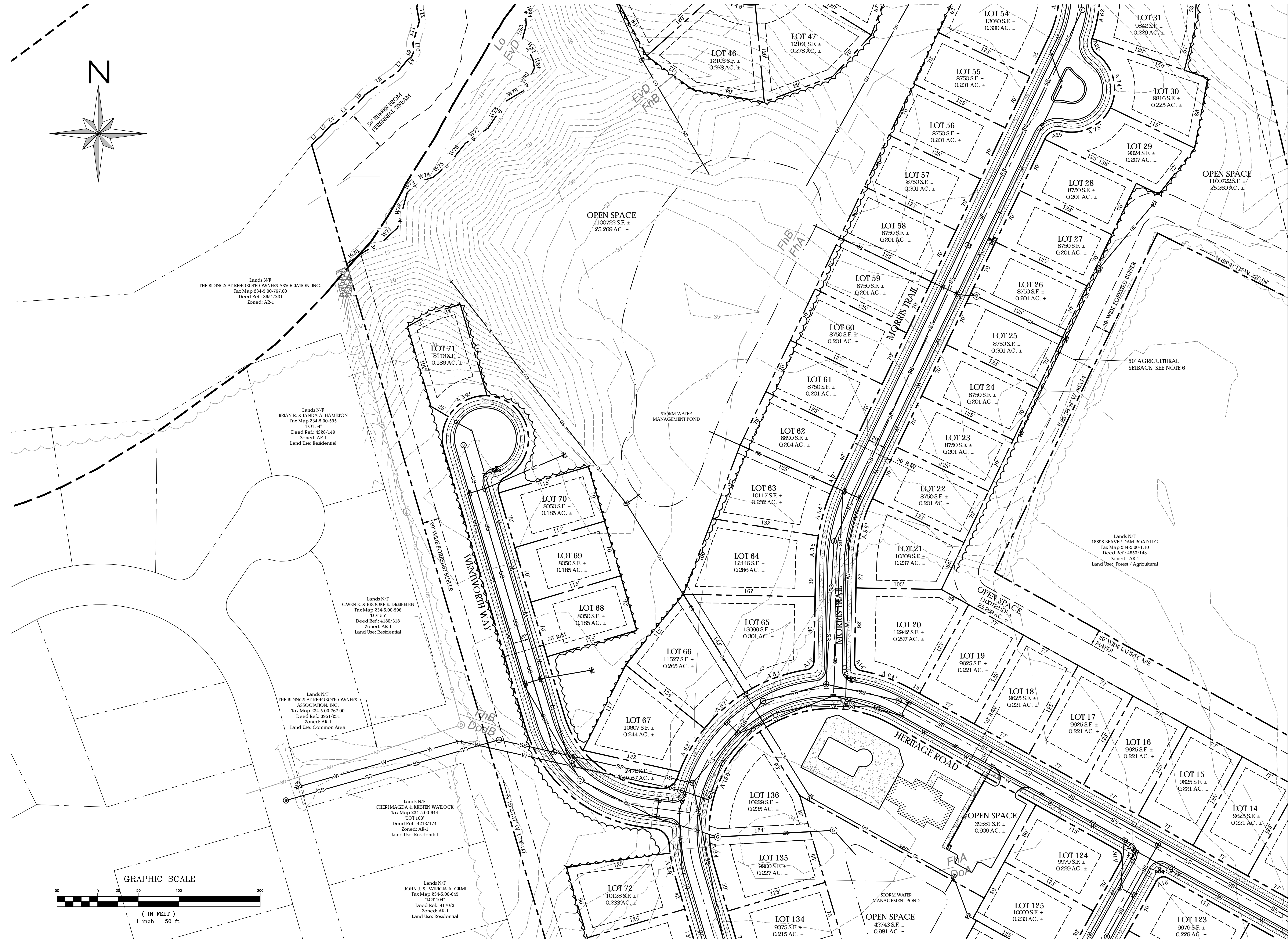
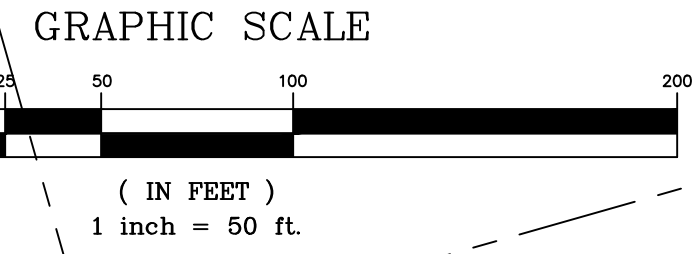
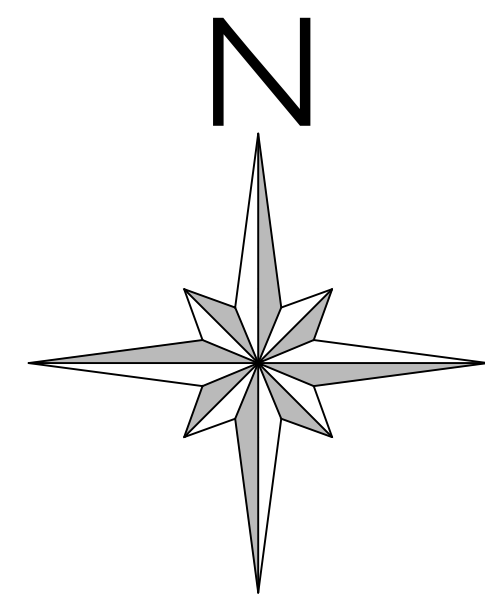
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PRELIMINARY SUBDIVISION PLAT A
for
OCEAN MEADOWS
LEWES-REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE

Date:	2/13/18
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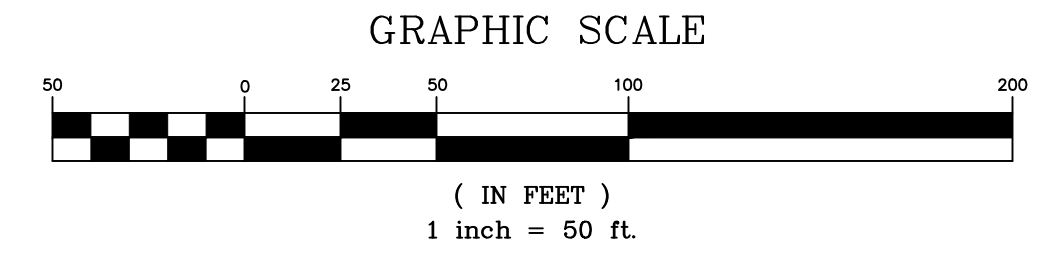
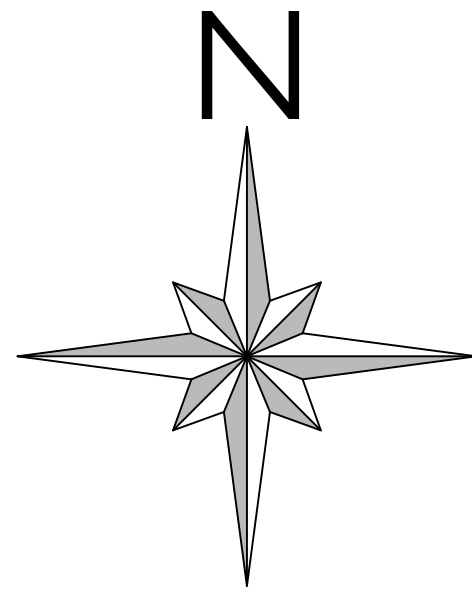
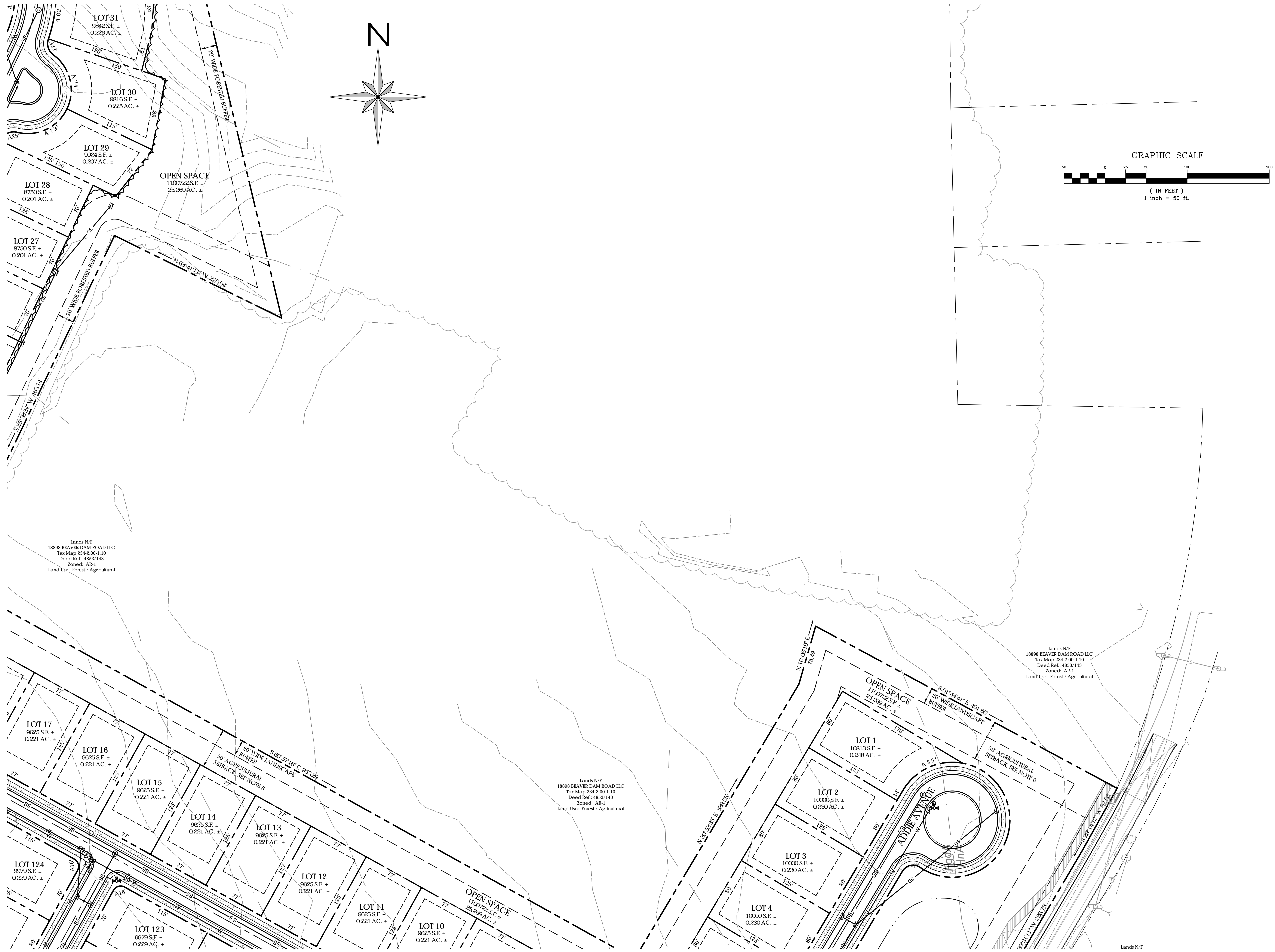


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PRELIMINARY SUBDIVISION PLAT B
 for
OCEAN MEADOWS
 LEWES-REHOBOTH HUNDRED
 SUSSEX COUNTY, DELAWARE

Date:	2/13/18
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Designed By:	ENK
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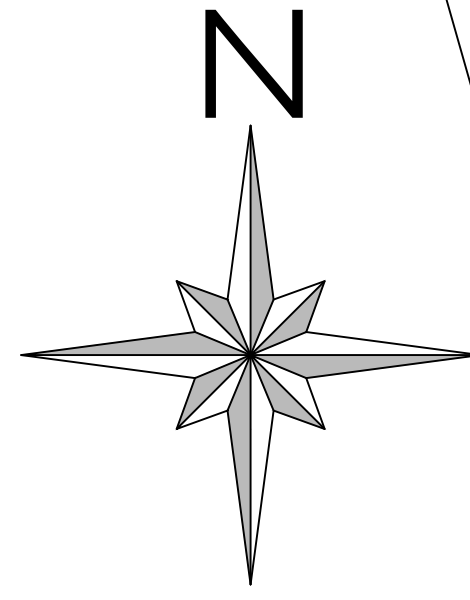


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PRELIMINARY SUBDIVISION PLAT C
for
OCEAN MEADOWS
LEWES-REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE

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Lands N/F
JOHN J. & PATRICIA A. CIMI
Tax Map 234-5.00-645
"LOT 104"
Deed Ref.: 4170/3
Zoned: AR-1
Land Use: Residential

Lands N/F
CHARLES M. SANTONI TRUSTEES
Tax Map 234-5.00-646
"LOT 105"
Deed Ref.: 4824/166
Zoned: AR-1
Land Use: Residential

Lands N/F
JESSICA M. & DALE P. TOOMEY
Tax Map 234-5.00-647
"LOT 106"
Deed Ref.: 4201/344
Zoned: AR-1
Land Use: Residential

Lands N/F
JAMES & PAMELA A. KONCZ
Tax Map 234-5.00-648
"LOT 107"
Deed Ref.: 4390/226
Zoned: AR-1
Land Use: Residential

Lands N/F
MICHAEL B. & KELLIANNE HELEN
PAPCIAK
Tax Map 234-5.00-649
"LOT 108"
Deed Ref.: 4409/81
Zoned: AR-1
Land Use: Residential

Lands N/F
LOUIS F. JR. & DIANE M. GRILL
Tax Map 234-5.00-650
"LOT 109"
Deed Ref.: 4764/244
Zoned: AR-1
Land Use: Residential

Lands N/F
GREGORY S. & MARY P. BENNETT
Tax Map 234-5.00-651
"LOT 110"
Deed Ref.: 4285/153
Zoned: AR-1
Land Use: Residential

Lands N/F
DEBRA J. DOBRANSKY &
COLETTE O. BENNETT
Tax Map 234-5.00-652
"LOT 111"
Deed Ref.: 4359/132
Zoned: AR-1
Land Use: Residential

Lands N/F
DONNA GAIL HUTTEN
Tax Map 234-5.00-652
"LOT 112"
Deed Ref.: 4353/106
Zoned: AR-1
Land Use: Residential

Lands N/F
PATRICIA SEVAGGIO
Tax Map 234-5.00-654
"LOT 113"
Deed Ref.: 4419/119
Zoned: AR-1
Land Use: Residential

Lands N/F
JAY B. & DEBRA B. KOHLER
Tax Map 234-5.00-655
"LOT 114"
Deed Ref.: 3911/256
Zoned: AR-1
Land Use: Residential

Lands N/F
THE RIDINGS AT REHOBOTH OWNERS ASSOCIATION, INC.
Tax Map 234-5.00-767.00
Deed Ref.: 3951/231
Zoned: AR-1
Land Use: Forest / Open Space

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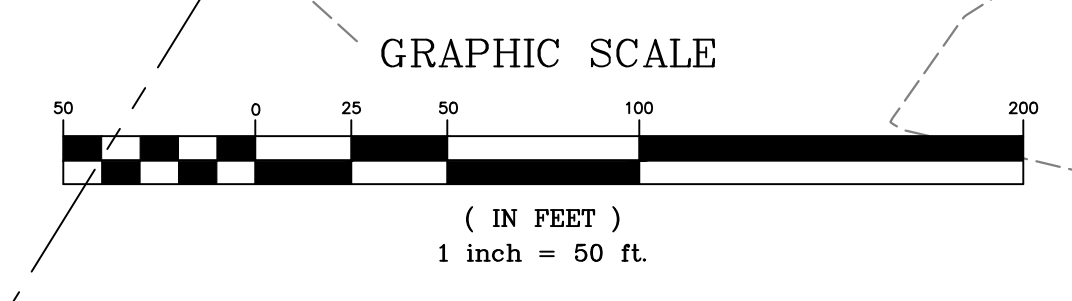


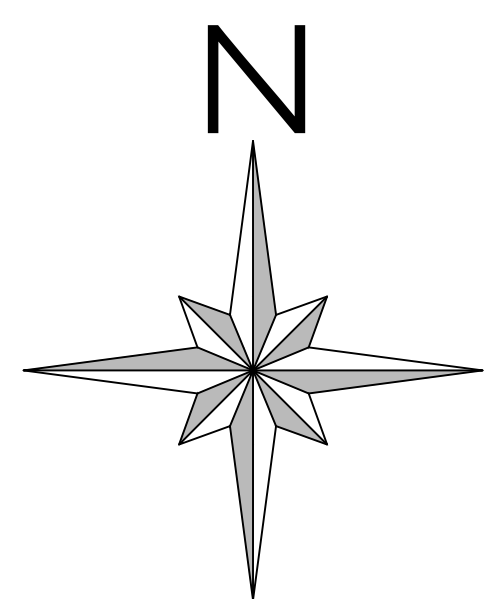
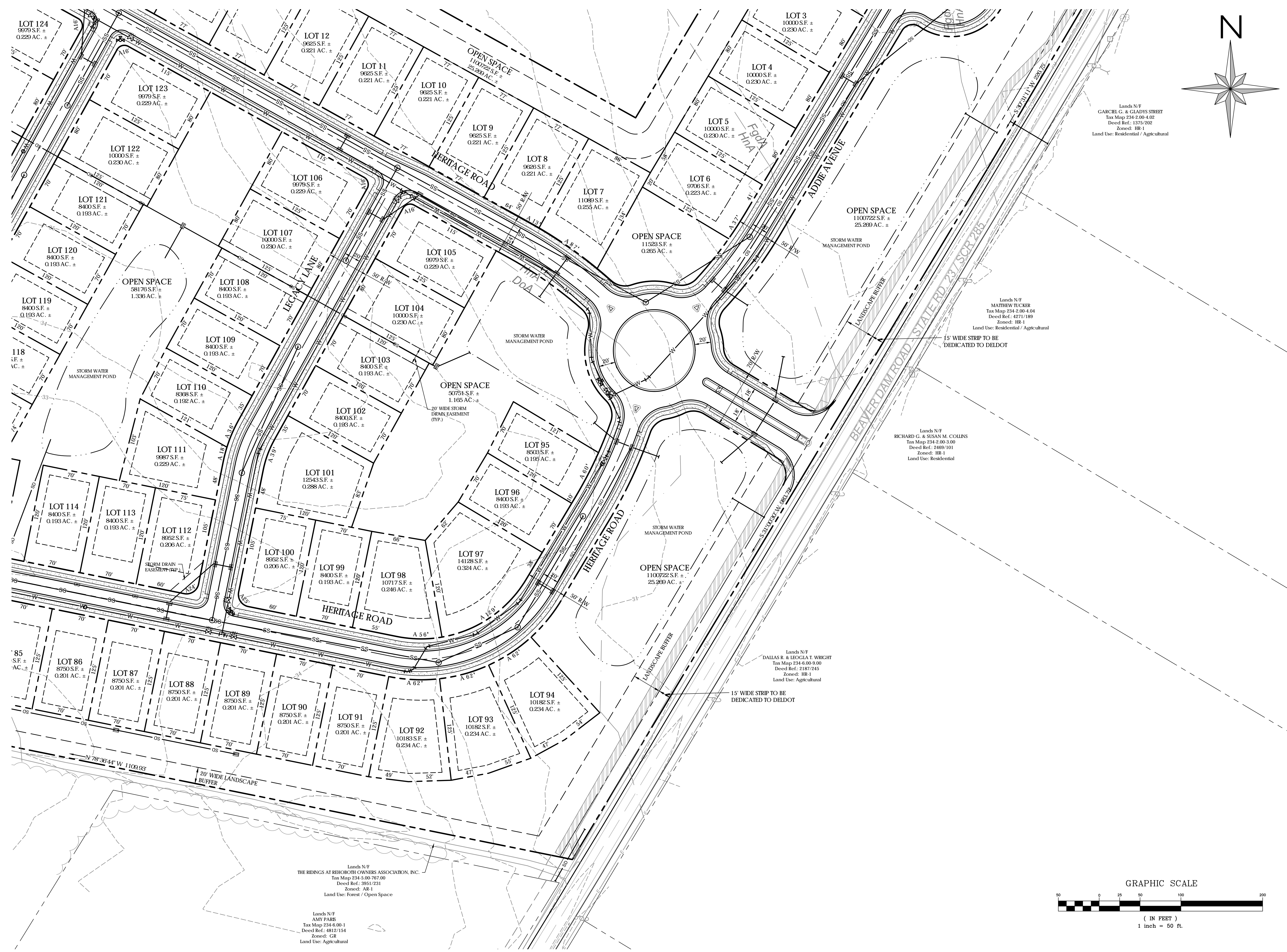
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PRELIMINARY SUBDIVISION PLAT D
for
OCEAN MEADOWS
LEWES-REHOBOTH HUNDRED
SUSSEX COUNTY, DELAWARE

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Lands N/F
 GARCIEL G. & GLADYS STREET
 Tax Map 234-2.00-4.02
 Deed Ref.: 1375/202
 Zoned: HR-1
 Land Use: Residential / Agricultural

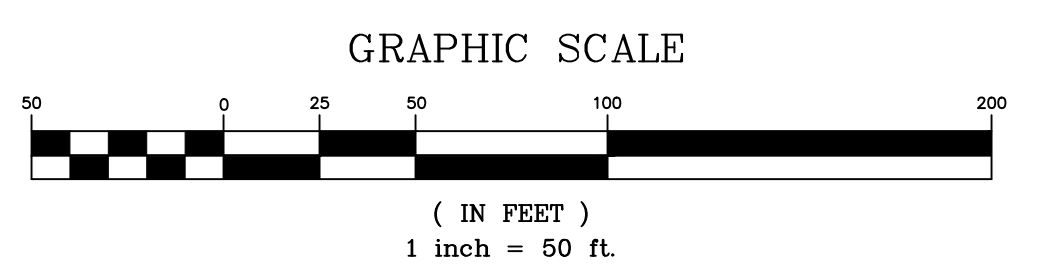
Lands N/F
 MATTHEW TUCKER
 Tax Map 234-2.00-4.04
 Deed Ref.: 4271/189
 Zoned: HR-1
 Land Use: Residential / Agricultural

Lands N/F
 RICHARD G. & SUSAN M. COLLINS
 Tax Map 234-2.00-3.00
 Deed Ref.: 2489/101
 Zoned: HR-1
 Land Use: Residential

Lands N/F
 DALLAS R. & LEOGLA T. WRIGHT
 Tax Map 234-6.00-9.00
 Deed Ref.: 2187/245
 Zoned: HR-1
 Land Use: Agricultural

Lands N/F
 THE RIDINGS AT REHOBOTH OWNERS ASSOCIATION, INC.
 Tax Map 234-5.00-767.00
 Deed Ref.: 3951/231
 Zoned: AR-4
 Land Use: Forest / Open Space

Lands N/F
 AMY FARNS
 Tax Map 234-6.00-1
 Deed Ref.: 4812/154
 Zoned: GR
 Land Use: Agricultural



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PRELIMINARY SUBDIVISION PLAT
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Date:	2/13/18
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 File Name: 17012-prelim-plat

Ocean Meadows

Project Reference Material

AR-1 Cluster




February 2019

Prepared for: Estates at Cedar Grove, LLC



Project Team



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Resumes:

Jason Palkewicz, PE



I. Executive Summary

Ocean Meadows is a proposed 70.23 acre Cluster Subdivision composed of 136 single-family detached homes on individual lots. The site is located along the west side of Beaver Dam Road adjacent to The Ridings at Rehoboth residential community. The land is currently zoned AR-1.

An Application for Major Subdivision has been submitted to allow for the proposed homes. The site has been planned to provide efficient and safe pedestrian and vehicular patterns. Site Planning carefully maintains the existing wetland areas and integrates current storm water management regulations. The roadway improvements and entrance to Ocean Meadows will be designed in accordance with DeIDOT standards and regulations.

The proposed community provides 136 homes on roads within private rights-of-way with curb and gutter and sidewalks, street lights and preserved wooded and wetland areas. A total of 27.1 +/- acres (38.6%) of interconnected open space of which 14.9 +/- acres are maintained as forest; 3.9 +/- acres of wetlands (forest and wetlands overlap). The vast majority of homes back up to natural open space, buffers or storm water management features.

- Open Space = 27.1 +/- acres
- Passive / Active Open Space = 12.2 +/- acres
- Wooded / Wetlands Uplands = 14.9 +/- acres

In conclusion, the proposed community plan represents a higher level of design that will produce a superior living environment for future residents. This plan provides affordable but appealing amenities that will result in sustainable property values with neutral to positive impacts on property values in nearby neighborhoods while promoting the health, safety and welfare of the citizens of Sussex County.

Proposed Density and Calculations:

Gross Site Area = 70.23 acres

Allowable Homes Calculation (AR-1 Cluster):

2.0 homes/acre
70.23 x 2.0 = 140 homes

Proposed Homes:

136 Homes

Actual Density:

136 / 70.23 = 1.94 homes/acre

II. Project Overview

A. Boundary Plat, Topographic & Non-Tidal Wetlands Survey

A boundary survey for the property was prepared by Pennoni Associates. The total area of the properties is 70.23 +/- acres. This survey provides the location and extent of existing woodlands and wetlands located on the site. Wetlands were field located by Coast Survey.

B. Overview of Current Site Conditions

The property for the proposed Ocean Meadows community is located along Beaver Dam Road , south of Bundicks Branch. The site is mostly woodland with some non-tidal wetlands.

The property is located within flood zone X, (areas determined to be outside the 2.0% annual chance floodplain) and zone A, (special flood area subject to flooding by the 1% annual flood chance – no base flood elevations determined), per map number 10005C0 Panel 0330J, map revised January 6, 2005. The site is located within areas of good groundwater recharge potential.

C. DeIDOT Improvements

A series of meetings was held with DeIDOT officials concerning area roadway improvements related to Ocean Meadows specifically with regard to off-site transportation improvements and frontage improvements. The improvements requirements are:

- A left turn lane into the site will be provided.
- Beaver Dam Road travel lanes and shoulders will be widened.
- A right turn lane into the site will be provided.

D. Sanitary Sewer and Potable Water

The Ocean Meadows community will be served by the existing sanitary and water facilities located within the adjacent Ridings at Rehoboth. Ability to serve letters have been provided by Tidewater Utilities.

III. Compliance with Applicable Regulations

A. Compliance with AR-1 (Agricultural Residential District)

The proposed land use is in conformity with the Zoning Ordinance which allows 2.0 dwelling units per acre based on the gross site area.

Purpose: Ocean Meadows conforms with the purpose of the AR-1 code in as much as it is a low density residential community that protects water resources, watersheds, forest area and scenic views. Specific design elements include:

- The existing trees around the wetlands are maintained.
- The majority of the homes back up to open space (woodlands, storm water facilities and other natural areas).

- Sidewalks and a connection to the multi modal path are provided.
- No wetlands are impacted.

Permitted Uses: The AR-1 allows the proposed single-family cluster development.

Permitted Accessory Uses: The zoning allows outdoor amenities for use of occupants and their guests.

Conditional Uses: Ocean Meadows is not applying for any conditional uses.

Special Use Exceptions: Ocean Meadows is not applying for any special use exceptions.

Permitted Signs: All proposed development signage will conform to the regulations provided in 115-159.2.

Height, Area and Bulk Requirements: The height, area and bulk requirements are established by the requirements set forth in the AR-1 zoning article. The following is a summary of the lot dimensions and setbacks for Ocean Meadows, all of which are in conformity with County requirements:

Single Family Lots -

- Minimum Lot Area = 7,500 S.F.
- Minimum Lot Width = 60'
- Front Yard = 25' (15' Corner Lot)
- Side Yard = 10'
- Rear Yard = 10'
- Maximum Building Height = 42'

B. Statement of Compliance with Chapter 99, Sussex County Subdivision of Land

Chapter 99-9 (C)

The proposed development plan has taken into consideration all items listed within the Subdivision of Land – Chapter 99, Section C within the Sussex County Code and complies with it in the following manner:

1. *“Integration of the proposed subdivision into existing terrain and surrounding landscape.”*

- a. The Developer has taken great effort to work with the existing terrain and surrounding landscape in the planning of the community specifically by respecting existing topography with the location of homes, roadway, and utilities.
- b. Forested areas, non-tidal wetlands have been preserved.
- c. A minimum 20' landscaped buffer with additional space for storm water management, forest and/or wetland preservation has been provided adjacent to all surrounding property lines.

2. *“Minimal use of wetlands and floodplains.”*

- a. Property lines are a minimum of 100' from the existing wetlands.
 - b. A 50' buffer is provided from Bundicks Branch.
- 3. "Preservation of natural and historic features."**
- a. The forested wetlands will be preserved.
 - b. The roadway system and lots were designed in such a way to minimize impacts/disturbance of steep slopes.
- 4. "Preservation of open space and scenic views."**
- a. The design for the community allows views from homes and street of the wooded wetlands as well as the landscaped storm water management / open space areas.
 - b. The existing forested wetlands are being preserved as an open space amenity and surround the majority of the site.
- 5. "Minimization of tree, vegetation, and soil removal and grade changes."**
- a. Disturbance to the site will be limited to only those areas required for homes, roads, storm water management and utility installation. All undisturbed vegetation that is compatible with native vegetation shall remain.
 - b. Grade changes to the site shall be limited to those necessary to provide positive drainage and proper cover over utilities.
- 6. "Screening of objectionable features from neighboring properties and roadways."**
- a. Screening of objectionable features on the site from adjacent properties and roadways shall be provided utilizing the required 20' landscaped buffer around the perimeter of the site or existing forested areas and storm water management facilities where those exist.
- 7. "Provision for water supply."**
- a. Tidewater Utilities will provide potable water and fire protection for the development.
- 8. "Provision for sewage disposal."**
- a. Sewer service for the Ocean Meadows community will be provided by Tidewater Utilities.
- 9. "Provision for solid waste disposal."**
- a. Arrangements will be made with a commercial trash hauler to provide trash collection for Ocean Meadows.

10. "Prevention of surface and groundwater pollution."

- a. All runoff from the Ocean Meadows site will be directed via the closed road section and storm drain network into a storm water management system consisting of Best Management Practices (BMP) for treatment and discharge. The storm water management facilities will be designed in accordance with Delaware / Sussex County standards.
- b. Ultimately, through post-development design, runoff will receive better treatment than during pre-development conditions. The project will meet the current storm water management regulations as required by DNREC.

11. "Minimization of erosion and sedimentation, minimization of changes in groundwater levels, minimization of increased rates of runoff, minimization of potential for flooding and design of drainage so that groundwater recharge is maximized."

- a. As stated above, stormwater management quality and quantity will be provided by a storm water management system consisting of Best Management Practices (BMP) for treatment and discharge. The BMP's will be designed per Delaware / Sussex County standards. The stormwater collection/treatment system will be adequately sized to prevent flooding.
- b. Erosion and sediment control will be provided by methods approved by the Sussex Conservation District. An erosion and sediment control plan will be prepared and submitted for review.

12. "Provision for safe vehicular and pedestrian Movement within the site and to adjacent ways"

- a. Entrance to the site shall be designed per current DelDOT standards. Improvements will include:
 - i. Right and left turn lanes into the project
 - ii. Widening of travel lanes and shoulders on Beaver Dam Road
- b. To promote pedestrian traffic within the development, 5' sidewalks are provided along both sides of the road.
- c. All roads will be designed in accordance with Sussex County standards.

13. "Effect on area property values."

- a. It is expected that the proposed Ocean Meadows community will cause current property values to remain the same if not increase the value of the properties in the area. Great attention has been paid to the detail and aesthetic qualities of the plan, the livability of the community and amenities provided.

14. "Preservation and conservation of farmland."

- a. The proposed subdivision will not adversely affect adjacent farmland due to landscaped buffers and other natural wooded areas and wetland that separate the community from farmland.

15. "Effect on schools, public buildings, and community facilities."

- a. Ocean Meadows will have no adverse effect on schools, public buildings and community facilities as demonstrated by the PLUS comments.
- b. Community amenities will include a gathering area, tot lot, and outdoor activities. In addition, Ocean Meadows includes several open space areas for other active and passive uses.

16. "Effect on area roadways and public transportation"

- a. A series of meetings was held with DelDOT officials concerning area roadway improvements related to Ocean Meadows specifically with regard to off-site transportation improvements and frontage improvements. The improvements requirements are:
 - i. Right and left turn lanes into the project
 - ii. Widening of travel lanes and shoulders on Beaver Dam Road

17. "Compatibility with Other Land Uses."

- a. The project is relatively adjacent to other residential development communities of Ridings at Rehoboth, Coastal Club, and Tidewater Landing, thus being compatible in density, home style and land use.

18. "Effect on Area Waterways."

- a. There are no significant water ways in the immediate site area.

C. Statement of Conformity with Sussex County, Delaware, Comprehensive Plan Update, June 2008

Health:

- Nutrients from the site will be reduced by compliance with DNREC's requirements.
- The groundwater will be recharged to the extent practicable through the use of "Green Technology" storm water management practices to an extent equaling or surpassing that currently being produced.
- Multi-modal transportation choices will allow non-vehicular access to the site thus reducing local vehicular trips.

Safety:

- Transportation improvements, as described above, will improve traffic flow and safety in the area.

- Sidewalks along the internal roadways are being provided for safe pedestrian movement throughout the site.

Welfare:

- Both temporary construction-related jobs and permanent jobs will be created.
- Additional taxes will be paid to the State and Local government including the transfer tax.
- Sewer and water service will be extended to the site.

FUTURE LAND USE ELEMENT

The proposed Ocean Meadows community conforms to the Future Land Use Element in the following ways:

- Location to Development: The proposed project is located in the fastest growing Assessment District in Sussex County (Table 7, page 3-6 on the Comp. Plan) and is surrounded by previously approved and existing residential communities.
- Goals and Purposes of the Future Land Use Plan: The following are ways the Ocean Meadows development conforms to the goals and purposes of the Future Land Use Plan element:
 - It is located in an area where sanitary sewer, water and other utilities will be readily available to the site.
 - By providing homes on this site that is close to Rt. 1 and Lewes/Rehoboth amenities, development will be directed to an area with adequate infrastructure in place ultimately preserving farm land in the rural areas of the County.
 - Critical natural resources will be protected with the use of appropriate storm water management techniques such that surface run-off will be allowed to recharge the groundwater which is critical to the inland bays.
 - Along with bringing new residents to the area, this development also will bring more temporary construction related and permanent jobs to the area.
 - The design for the community preserves the existing natural features (wetlands, woodlands) as well as preserving large areas of usable open space for the residents to utilize.
 - The County's growth and conservation policies were served through the PLUS process.
- Growth Areas:
 - The site is located along Beaver Dam Road.
 - Sewer and water service will be available to the site.
 - Residential communities are adjacent to the property.

CONSERVATION ELEMENT

The proposed Ocean Meadows Development complies with the Conservation Element as follows:

- Non-tidal wetlands are preserved.
- Existing wooded wetland areas are preserved. Trees to be removed are limited to that for infrastructure, home construction and storm water management facilities.
- Wildlife habitat associated with wooded wetlands has been preserved.

- The storm water management system will be designed in accordance with all applicable sediment/erosion control regulations.
- The use of “green technology” will allow groundwater recharge and minimize the impervious area on site.

PARKS AND RECREATION ELEMENT

Although this Element is primarily geared toward actions that the County can take together with State agencies, Ocean Meadows complies with this Element in the following manner:

- Sidewalks have been incorporated into the design of the roadway system.
- Open space has been set aside for both active and passive recreational uses.
- The wetlands have been preserved.
- Working with DeIDOT, intersection and frontage improvements will be provided that improve road-sharing opportunities and make intersections safer for walkers and bikers.

WATER AND WASTEWATER ELEMENT

The proposed Ocean Meadows Development complies with this Element of the Comprehensive plan inasmuch as it offers no impact to water supply wells, no impact to wellhead protection areas and no impact on excellent recharge areas, will be connected to a public water supply and sanitary sewerage service.

HOUSING ELEMENT

Not Applicable – No affordable Housing Component - Current market rate pricing is making homes reasonably affordable for first-time home buyers, move-up/move-over buyers as well as second home buyers and retirees.

ECONOMIC DEVELOPMENT ELEMENT

While community development and home building are not directly addressed by this element of the Comprehensive Plan, this development will offer an economic boost from tax revenue and many jobs will be created or maintained while the community is being constructed.

COMMUNITY DESIGN ELEMENT

“Promoting Traditional Patterns of Development”

This section of the Comprehensive Plan encourages new development to incorporate the best features of older development which will result in a built community that complies with this Element of the Comprehensive Plan, in particular the following:

- The community will be landscaped in a manner compatible with nearby communities and the County as a whole.
- Street lights will be utilized whose character is in keeping with other nearby communities.
- A density of 1.93 gross dwelling units per acre has been proposed. This density is consistent with the AR-1 zoning and densities in other nearby communities.
- Alleys and similar access techniques have not been utilized in order to avoid added impervious surface and potential drainage issues and the associated costs which would drive resultant home prices beyond current market rates.
- Buildings are as close to the street as reasonable to reduce impervious area and preserve open space while allowing sufficient space for vehicles to park in driveways.

“Preserved Open Space within New Developments”

- Open space is utilized to:
 - Maintain the scenic character of the County by preserving landscaped open areas along major roads.
 - Provide buffer areas between the proposed community and surrounding lands.
 - Retain more naturalistic storm water patterns.
 - Protect important natural features including existing wooded areas and wetlands.
 - Provide linkage between all open space areas either through direct connection or sidewalks and trails.
 - Providing tree planting in open space areas where appropriate.

“Water Features”

As described in the Natural Features Element, wetlands have been preserved with no impact proposed.

“Green Architecture and Green Site Design”

The community has been designed in accordance with DNREC Sediment and Storm water Regulations to promote recharge of storm water where practical. Using filter strips and bio-swales to recharge storm water from the homes, recreation facility and parking areas will greatly reduce the amount flow into the drainage system.

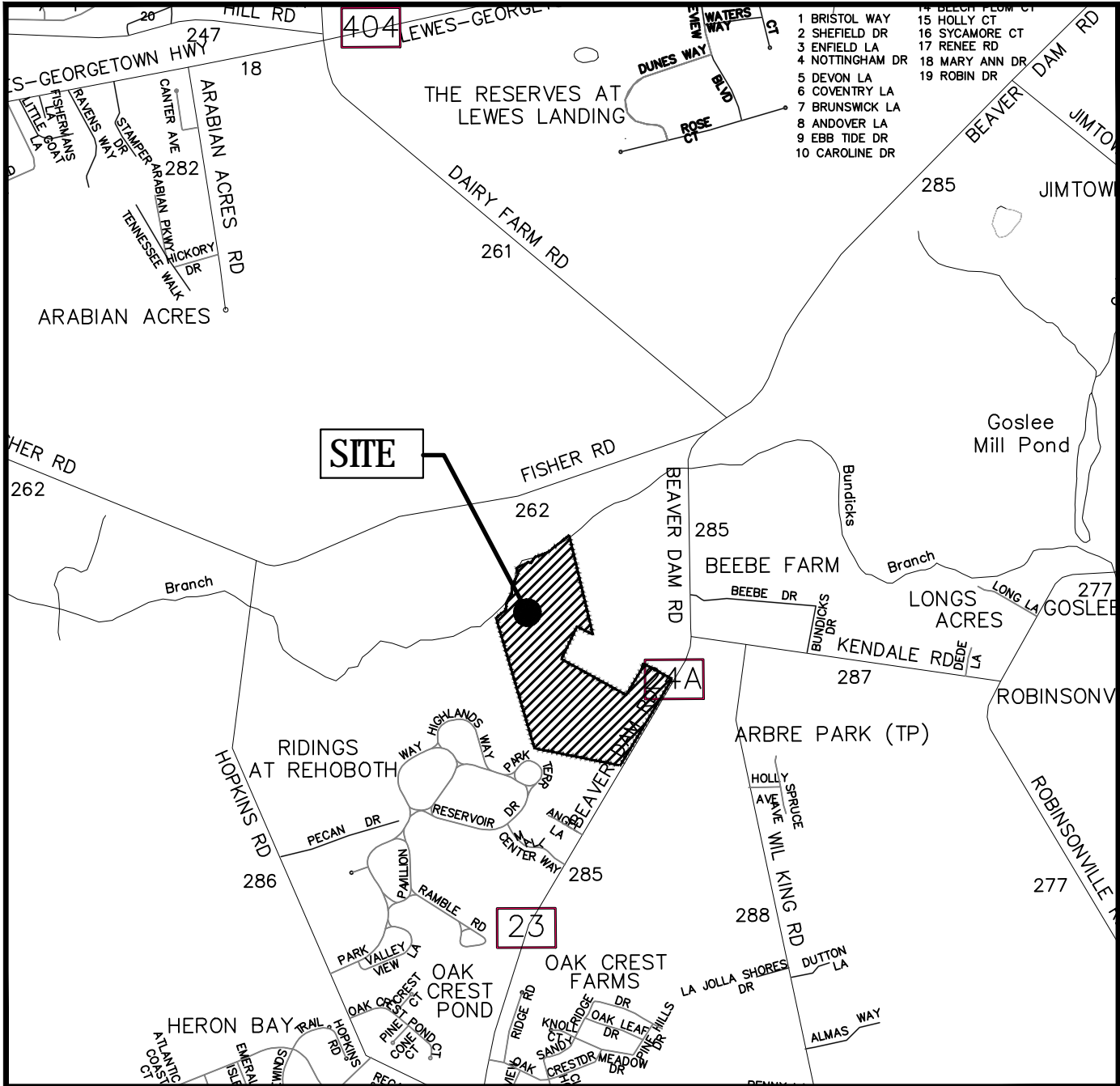
MOBILITY ELEMENT

While the Mobility Element of the Comprehensive Plan mainly addresses State and County transportation planning issues and strategies, it is important to note that all DeIDOT related requirements for Ocean Meadows will result in mitigating impacts to the roadway system. These issues are addressed in the PLUS comments and responses and the coordination with DeIDOT.

IV. Conclusion

The proposed community of Ocean Meadows will enhance the area with a well-planned design, upscale homes, amenities, and no negative impact on the land. The design preserves large amounts of open space while preserving attractive views within and into the community. The homes will have a neutral to positive impact on the value of the surrounding neighborhoods and will provide the County with additional tax revenue. Passive amenities include existing woodlands and wetlands on-site. Active amenities include a tot lot and dedicated open spaces for other activities. The design also preserves and enhance existing views through non-disturbance and accentuating certain features of the existing terrain.

The proposed Community of Ocean Meadows meets the standards set forth by the County and State and will provide a superior living environment for future residents without placing a burden on the County, State or tax payers to serve this community.



- 1 BRISTOL WAY
- 2 SHEFIELD DR
- 3 ENFIELD LA
- 4 NOTTINGHAM DR
- 5 DEVON LA
- 6 COVENTRY LA
- 7 BRUNSWICK LA
- 8 ANDOVER LA
- 9 EBB TIDE DR
- 10 CAROLINE DR
- 14 BEECH FLEM CT
- 15 HOLLY CT
- 16 SYCAMORE CT
- 17 RENEE RD
- 18 MARY ANN DR
- 19 ROBIN DR



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VICINITY MAP
OCEAN MEADOWS
 SUSSEX COUNTY, DELAWARE

Drawn:	ML
Scale:	N.T.S.
Date:	1/23/19
Job No:	G17012

TIDEWATER
ENVIRONMENTAL SERVICES, INC.

A Middlesex Water Company Affiliate

January 30, 2019

Mr. Thomas Buescher
Estates of Cedar Grove, LLC
5950 Symphony Woods Road
Suite 408
Columbia, MD 21044

RE: Wastewater Utility Service for Ocean Meadows, Sussex County Delaware

Dear Mr. Buescher:

Tidewater Environmental Services, Inc. (TESI) has an existing wastewater treatment and disposal facility that currently serves the Ridings at Rehoboth.

The system was originally designed, constructed and permitted to treat and dispose of 70,000 gallons per day (gpd) of domestic wastewater. A portion of the system is undergoing evaluation and repairs and while this is occurring, the permit has been amended to allow flows of 50,795 gpd; which is currently approved to serve the Ridings at Rehoboth and 101 units at Ocean Meadows. Once the repairs are complete, which are anticipated in spring/summer of 2019, TESI will file for an amendment for the capacity to be reinstated to 70,000 gpd, and to serve 137 units at Ocean Meadows.

Please feel free to contact me at 302-747-1336 with any questions.

Sincerely,



Bruce E. Patrick, P.E.
General Manager

cc: Kirsten Higgins, Director Planning and Development



A Middlesex Water Company Affiliate

January 30, 2019

Sent via E-mail

Megan Connor

Estates of Cedar Grove, LLC
5950 Symphony Woods Road
Suite 408
Columbia, MD 21044

RE: Willing & Able Letter – Ocean Meadows Additional 36 Units

Dear Ms. Connor:

Tidewater Utilities, Inc. (Tidewater) is willing and able to serve public water, *including fire protection*, to an additional 36 units within the Ocean Meadows development. This area is located within Tidewater's existing Certificate of Public Convenience and Necessity (CPCN) franchised area.

Water service will be provided under the conditions and terms stated in the water service agreement between Tidewater and the parcel owners. Tidewater will evaluate the most economically feasible method of providing domestic and fire protection water service to this project. Once the method of water service is determined, Tidewater will conduct a cost analysis that will determine the financial terms of the water service agreement.

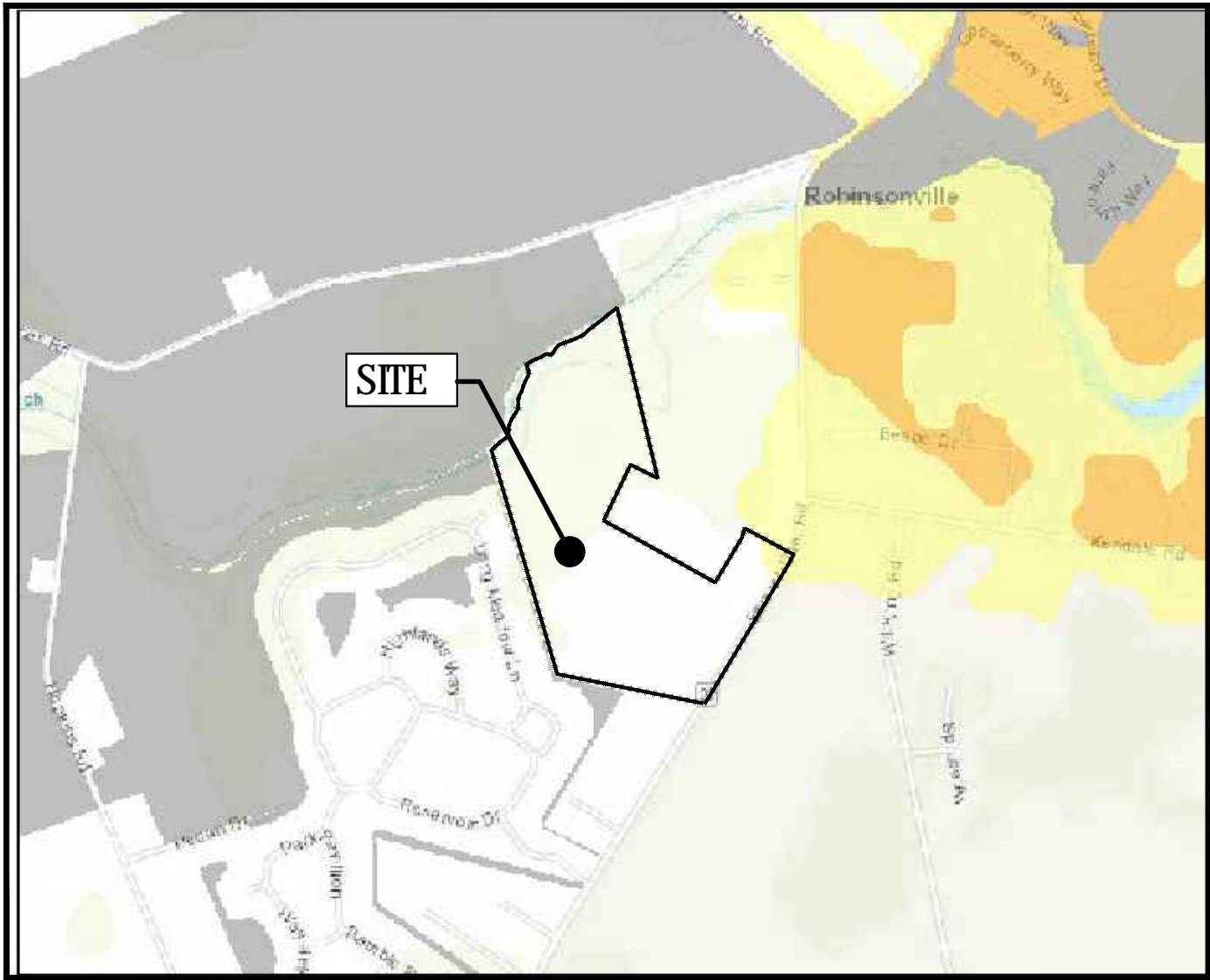
Please send a preliminary site plan and construction schedule to TUI. For planning purposes, I also need to know when you expect you will need the first draft of the water service agreement from TUI. Please feel free to contact me at 302-747-1325 if you have any questions or concerns regarding this matter. Tidewater looks forward to meeting the water needs of this project.

Sincerely,

A handwritten signature in cursive script that reads "Kirsten E. Higgins".

Kirsten Higgins
Director, Water Planning & Development

cc: Brian Carbaugh, Tidewater Utilities, Inc.
Bruce Patrick, Tidewater Utilities, Inc.



- INVESTMENT LEVEL 2
- INVESTMENT LEVEL 3
- INVESTMENT LEVEL 4
- OUT OF PLAY

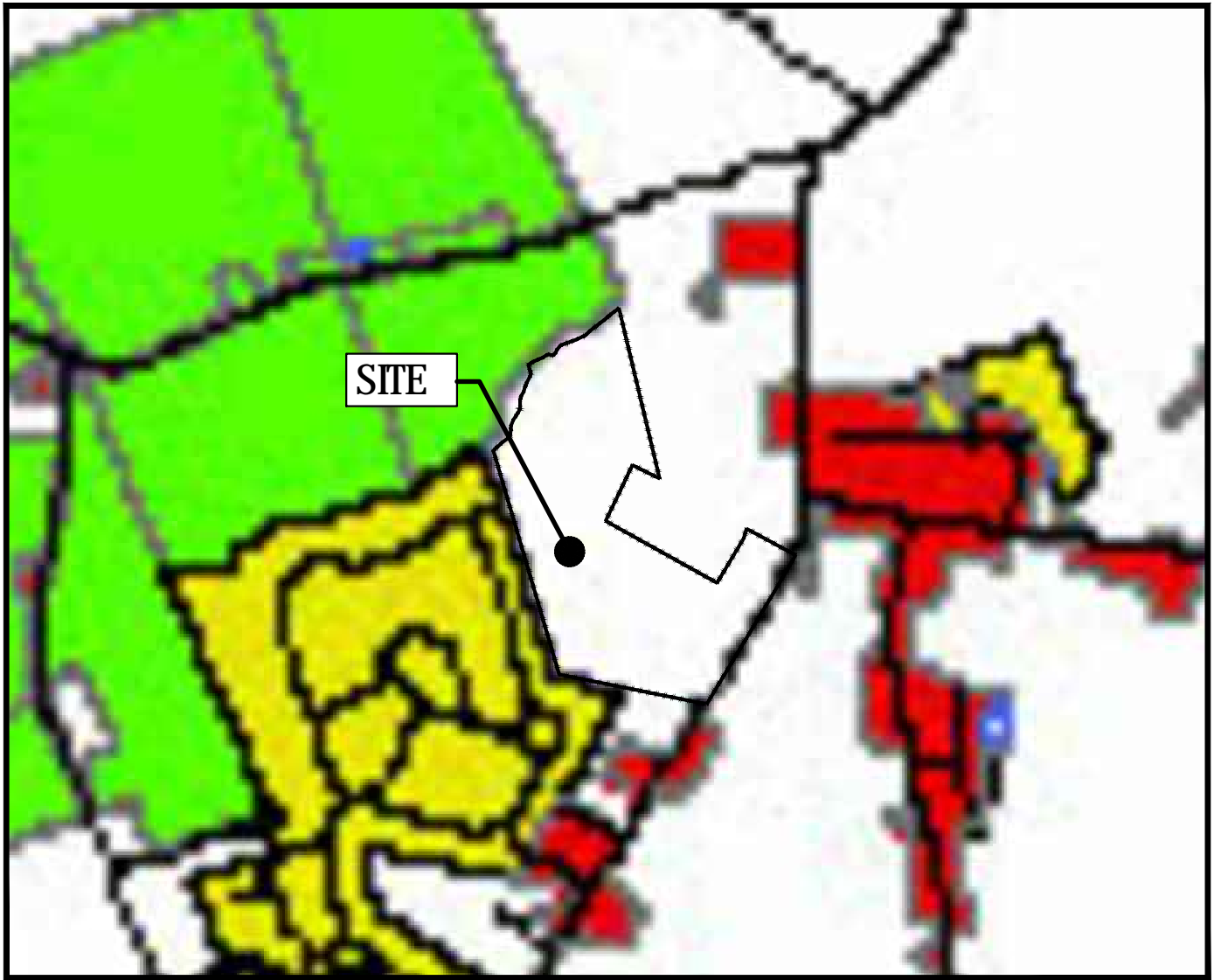
NOTE:
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**STATE STRATEGIES FOR POLICIES
 AND SPENDING MAP
 OCEAN MEADOWS
 SUSSEX COUNTY, DELAWARE**

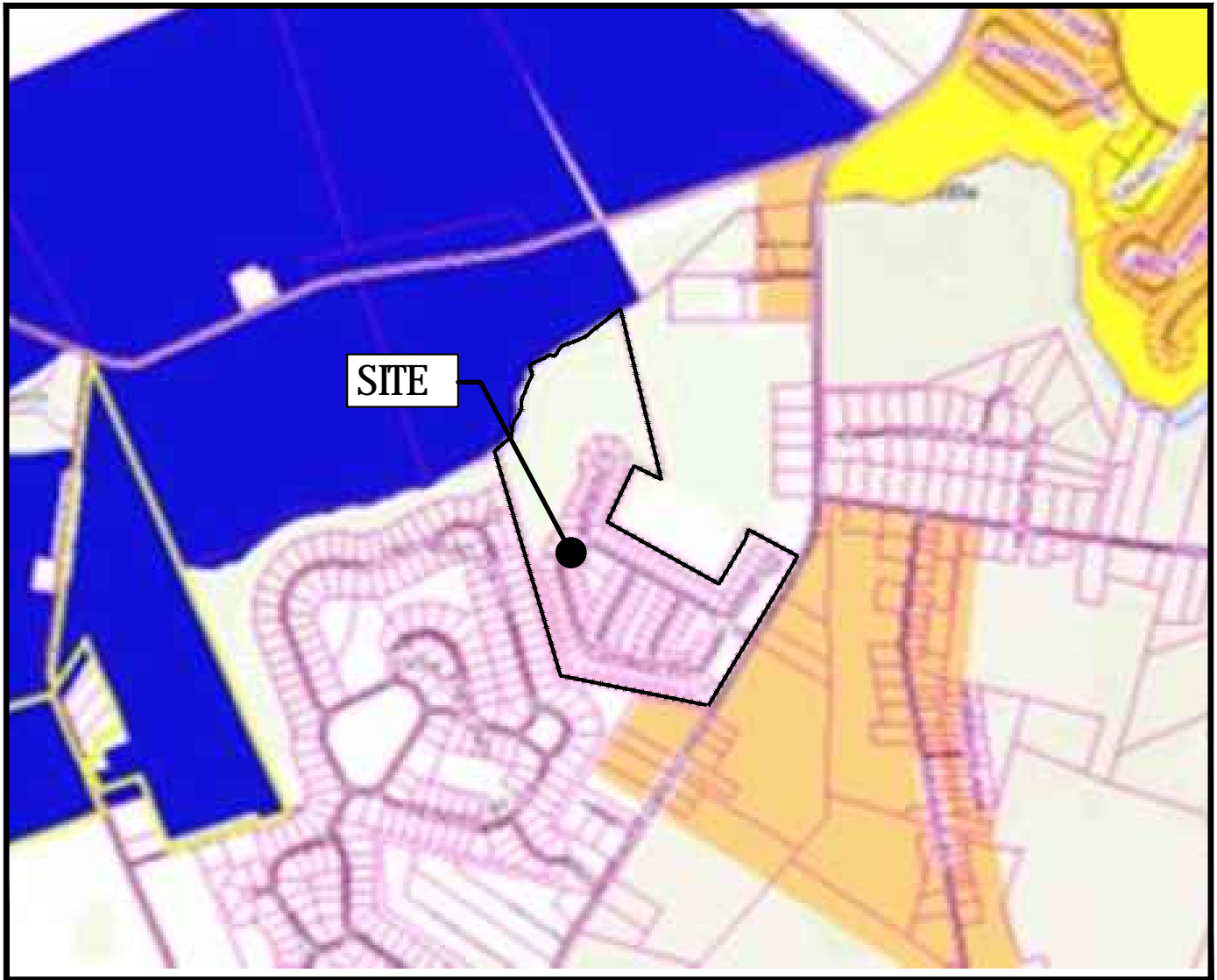
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Job No:	G17012







- DEVELOPED LANDS
- PROTECTED PLANS
- MAJOR PROPOSED DEVELOPMENTS

NOTE:
 IMAGE TAKEN FROM SUSSEX COUNTY
 COMPREHENSIVE PLAN, DATED 2008.

 <small>www.solutionsipem.com</small>	303 North Bedford Street Georgetown, DE 19947 T. 302.297.9215 www.solutionsipem.com Copyright © 2018	DEVELOPED AND PROTECTED LANDS MAP OCEAN MEADOWS SUSSEX COUNTY, DELAWARE	Drawn: ML Scale: N.T.S. Date: 1/23/19 Job No: G17012
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-  AR-1 - AGRICULTURAL RESIDENTIAL
-  AG PRESERVATION DISTRICT
-  MR - MEDIUM RESIDENTIAL
-  GR - GENERAL RESIDENTIAL

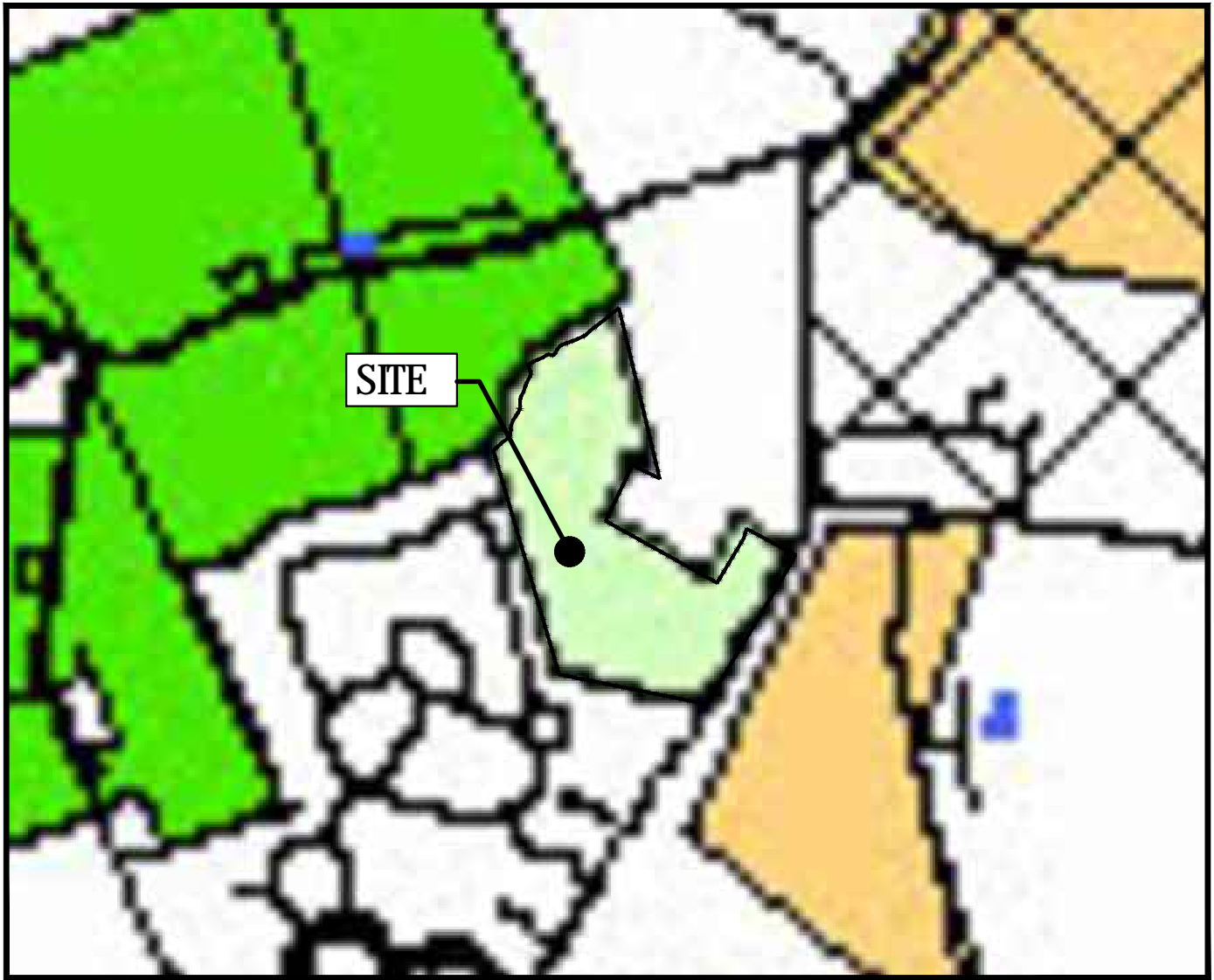
NOTE:
IMAGE TAKEN FROM SUSSEX COUNTY
ONLINE MAP.




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ZONING MAP
OCEAN MEADOWS
SUSSEX COUNTY, DELAWARE

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-  LOW DENSITY AREA
-  PROTECTED LANDS
-  MIXED RESIDENTIAL
-  AGRICULTURAL PRESERVATION DISTRICTS

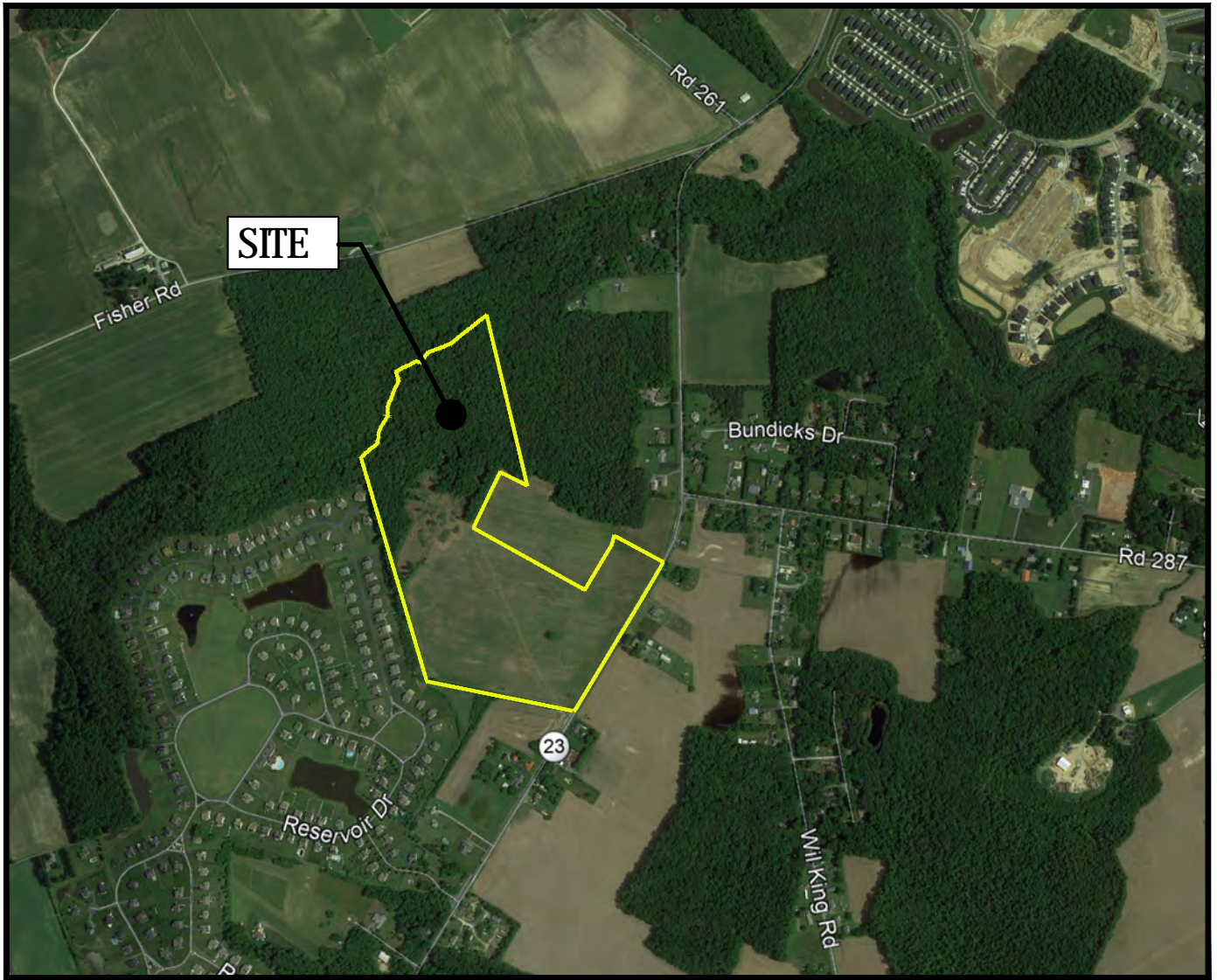
NOTE:
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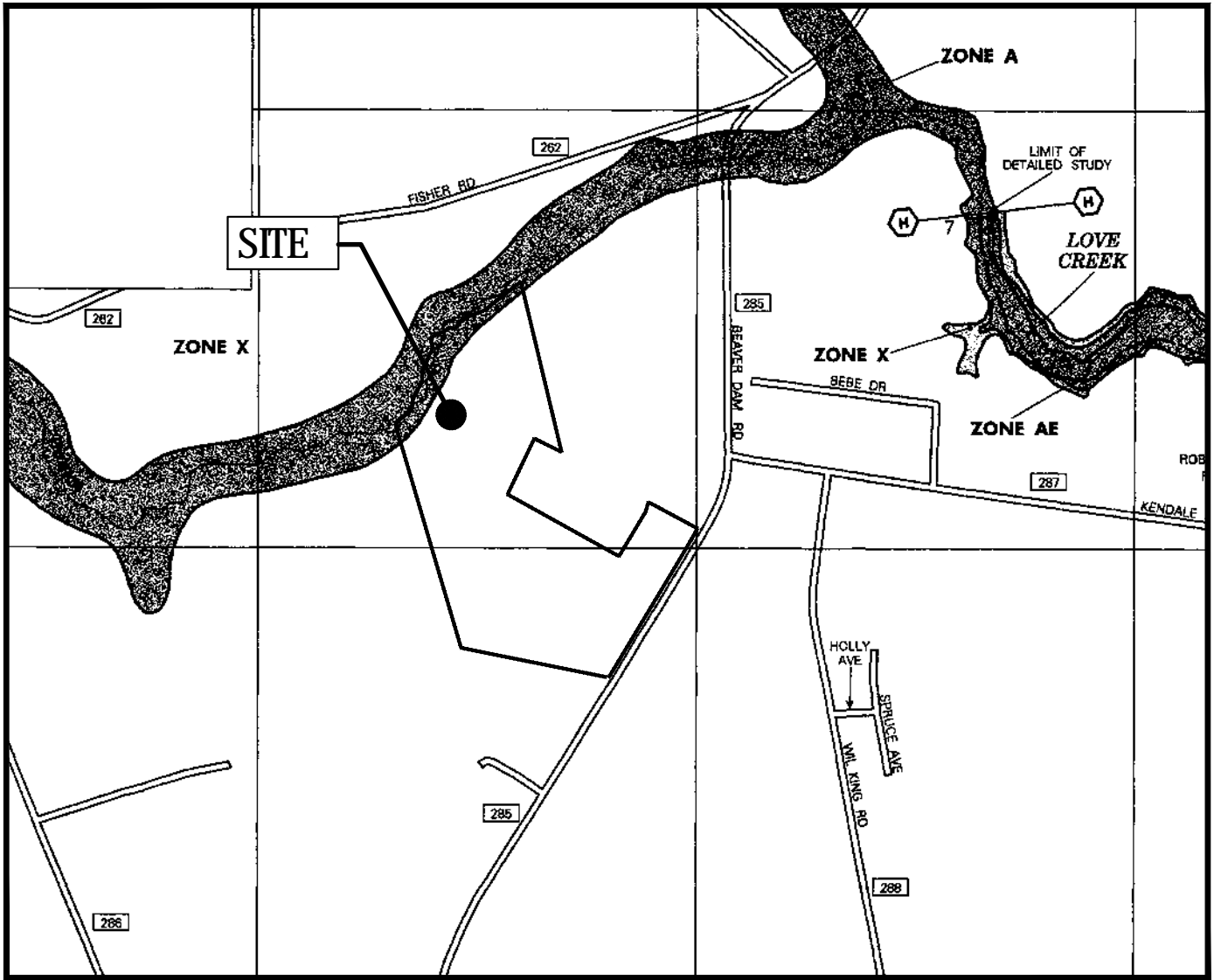
FUTURE LAND USE
OCEAN MEADOWS
 SUSSEX COUNTY, DELAWARE



Drawn:	ML
Scale:	N.T.S.
Date:	1/23/19
Job No:	G17012



NOTE:
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 (IMAGE DATE: JUNE 2018).

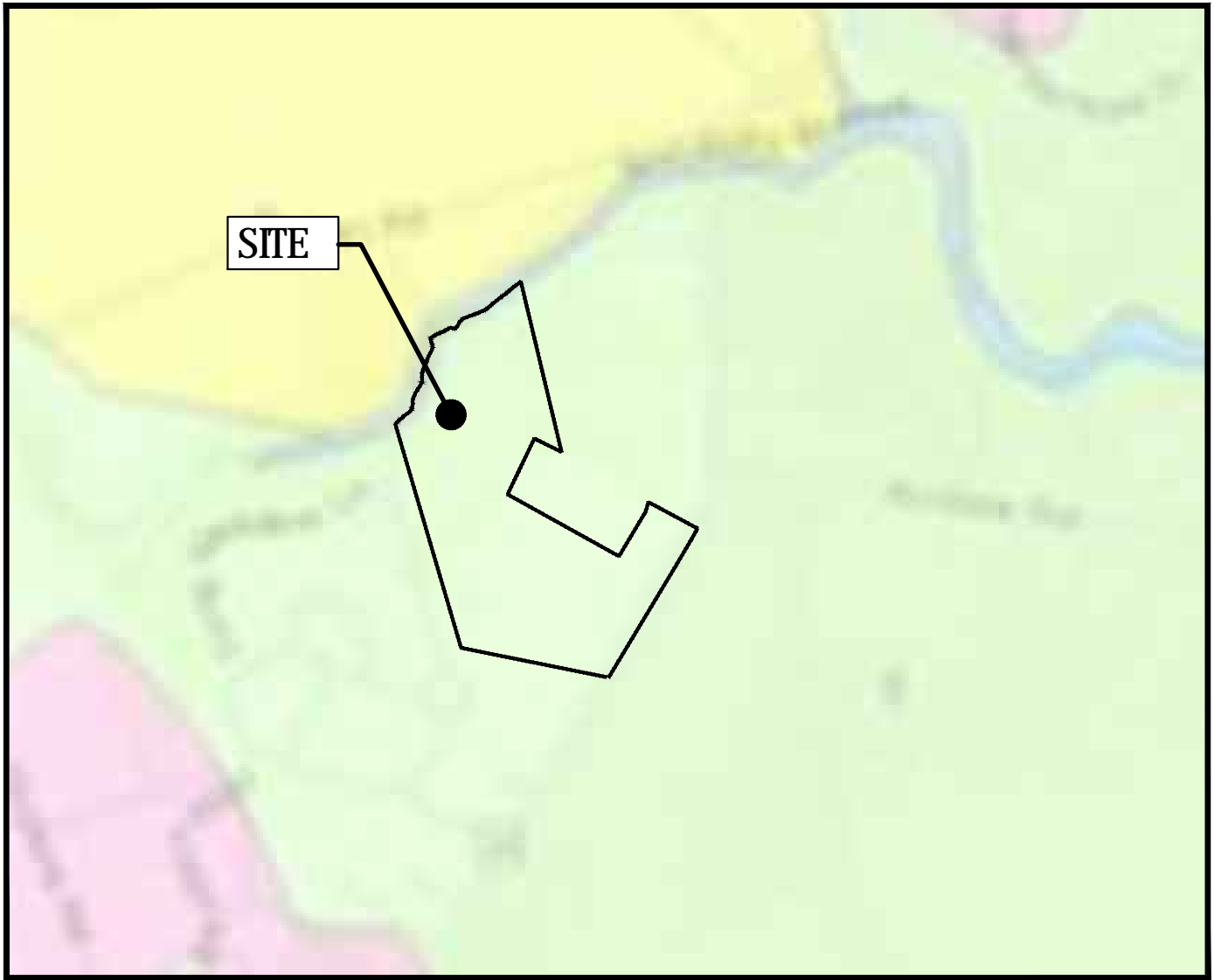
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FLOOD ZONE A - NO BASE FLOOD ELEVATIONS DETERMINED
- 
FLOOD ZONE X (UNSHADED) - AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

NOTE:
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 MAP REVISED JANUARY 6, 2005.

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NOTE:
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FLOOD MAP
OCEAN MEADOWS
 SUSSEX COUNTY, DELAWARE

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Scale:	N.T.S.
Date:	1/23/19
Job No:	G17012

Jason Palkewicz, Professional Engineer
Vice President

EDUCATION

BE, Environmental Eng., 1995
Hofstra University

MS, Civil Eng., 1999
University of Toledo

REGISTRATIONS

- Professional Engineer
MD # 25088
- Professional Engineer
DE # 12083
- Professional Engineer
VA # 035417

MEMBERSHIPS

- LEED, AP

PROFESSIONAL SUMMARY

Mr. Palkewicz is a Professional Engineer and Project Manager with licenses in Maryland, Virginia and Delaware, with over 20 years of experience successfully overseeing all phases of planning, engineering and survey projects for government and private-sector clients. He is a highly skilled team leader, detail oriented with the ability to solve problems with limited resources while never losing sight of the big picture.

SPECIAL PROJECT EXPERIENCE

- **Pot-Nets Bayside, Sussex County, DE** – Provided design and permitting drawings for the rehabilitation and replacement of approximately 10,000 lf of vinyl marina bulkhead including dozens of piers, hundreds of piles and two boat launching facilities.
- **Pelican Point, Sussex County, DE** – Prepared construction drawings and plats for a 379 unit residential along Rte 5 outside of Long Neck. Plans included roadway, grading, sediment and erosion control, potable water, gravity sanitary sewer and sanitary pump station
- **Seagull Square, University of Salisbury, MD** – The civil engineer project manager for this mixed use public/private development consisting of approximately 600 student beds and 23,000 s.f. of Main Street style retail. Worked with the developer, State and City to acquire City sewer and water services to the site. Negotiated with MDSHA to gain access from Business Route 13, including easement abandonment, right-of-way plats and intersection improvements. LEED responsibilities included the Sustainable Site portion of the accreditation.
- **East Fields, Fruitland, MD** – Prepared construction drawings and plats for a 120 unit residential subdivision on Main Street in Fruitland. Plans included roadway, grading, sediment and erosion control, potable water, gravity sanitary sewer and sanitary pump station.

ROBERT C. WHEATLEY , CHAIRMAN
KIM HOEY STEVENSON, VICE CHAIRMAN
R. KELLER HOPKINS
HOLLY WINGATE
J. BRUCE MEARS



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GEORGETOWN, DE 19947
(302) 855-7878 T
(302) 854-5079 F
sussexcountyde.gov

Sussex County Planning & Zoning Commission

PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET
Planning Commission Public Hearing Date February 28, 2019

Application: 2018-30 Janet R. Swain

Applicant: Douglas J. Annand
10027 North Old State Road
Lincoln, DE 19960

Owner: Janet R. Swain
18686 Susquehanna Avenue
Lincoln, DE 19960

Site Location: North side of Sherman Ave. approximately 775 ft. east of N. Old State Road and on the south side of Susquehanna Ave. approximately 625 ft. east of N. Old State Road.

Zoning: AR-1 (Agricultural Residential District)

Current Use: Single Family Residential

Proposed Use: 3 single family lots

Comprehensive Land Use Plan Reference: Low Density Area

Councilmatic District: Mr. Burton

School District: Milford School District

Fire District: Carlisle Fire Districts

Sewer: Private, On-Site

Water: Private, On-Site

Site Area: 4.034 ac. +/-

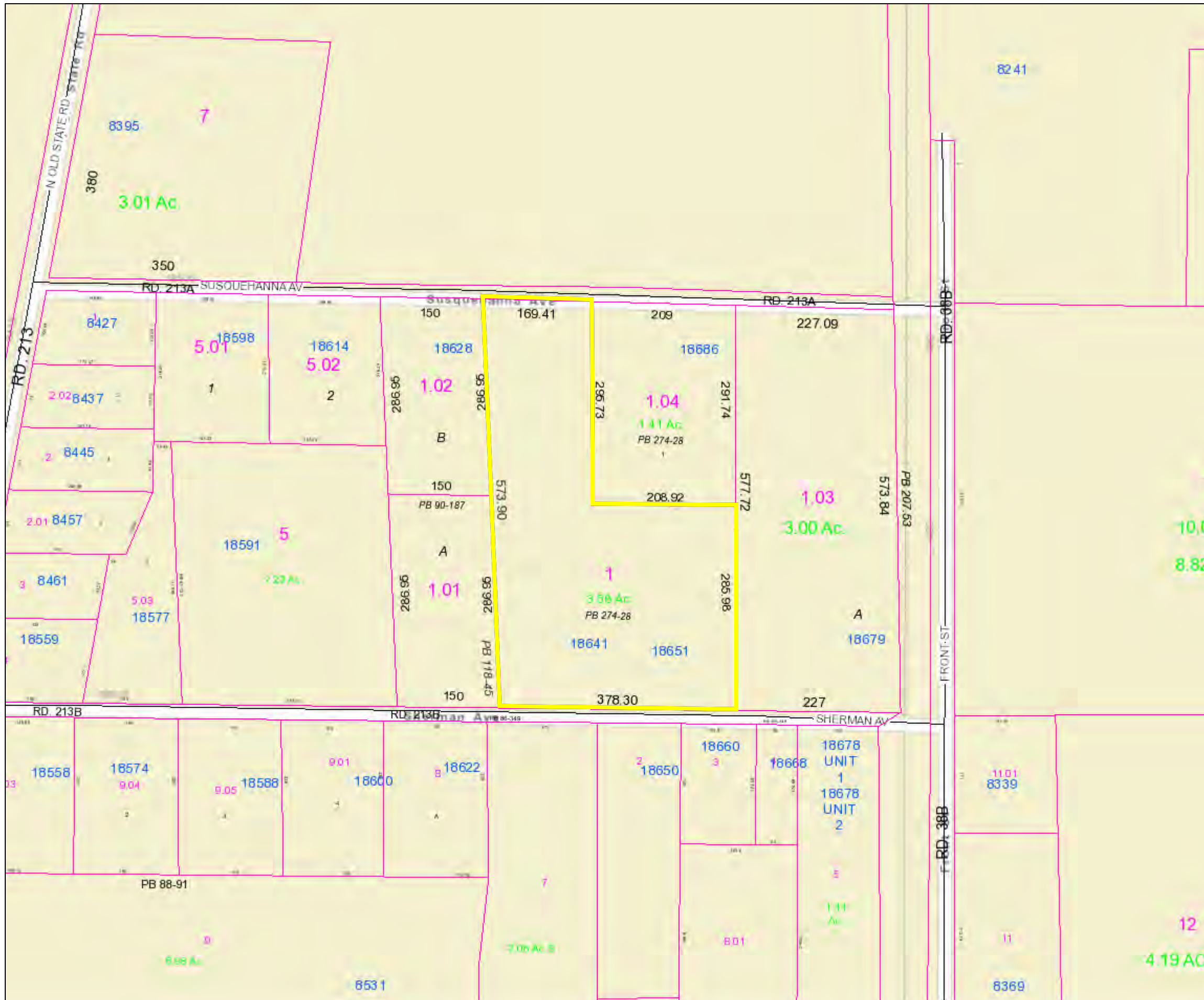
Tax Map ID.: 330-15.13-1.00



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 417
GEORGETOWN, DELAWARE 19947

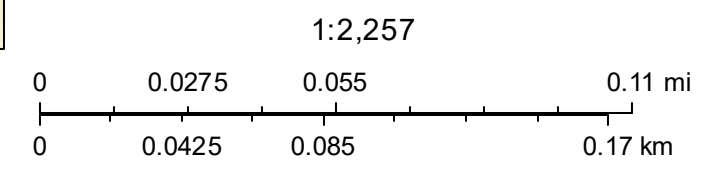


Sussex County



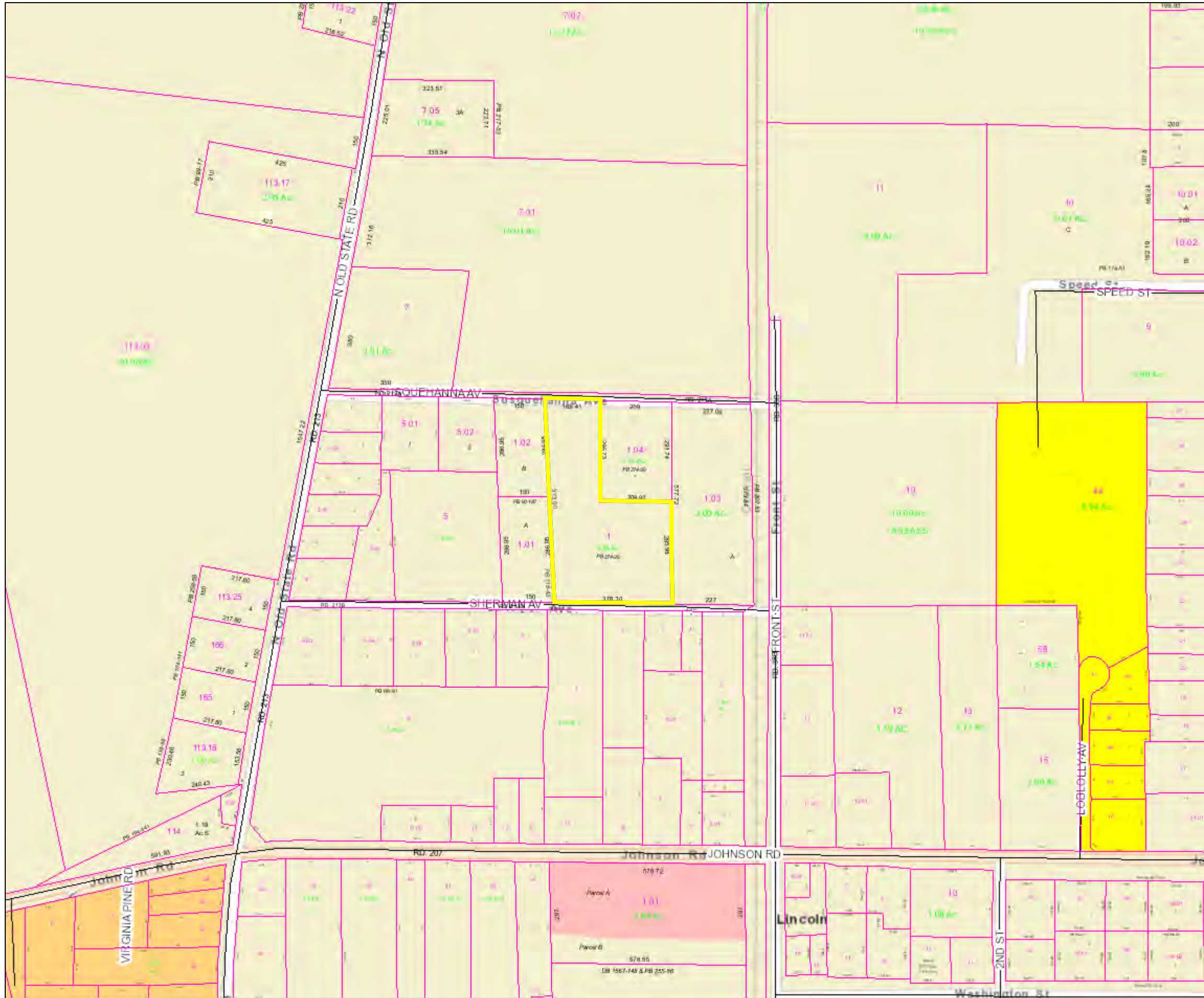
PIN:	330-15.13-1.00
Owner Name	SWAIN JANET R
Book	2150
Mailing Address	18679 SHERMAN AVE
City	LINCOLN
State	DE
Description	S/SUSQUEHANNA AVE
Description 2	W/FRONT ST
Description 3	RESIDUAL LANDS
Land Code	

- polygonLayer**
 - Override 1
- polygonLayer**
 - Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries





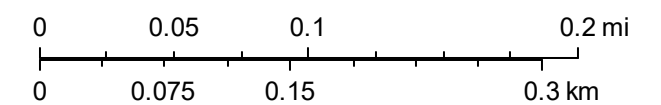
Sussex County



PIN:	330-15.13-1.00
Owner Name	SWAIN JANET R
Book	2150
Mailing Address	18679 SHERMAN AVE
City	LINCOLN
State	DE
Description	S/SUSQUEHANNA AVE
Description 2	W/FRONT ST
Description 3	RESIDUAL LANDS
Land Code	

- polygonLayer**
Override 1
- polygonLayer**
Override 1
- Tax Parcels
 - Streets
- Zoning**
- Agricultural Residential - AR-1
 - Agricultural Residential - AR-2
 - Medium Residential - MR
 - General Residential - GR
 - High Density Residential - HR-1
 - High Density Residential - HR-2
 - Vacation, Retire, Resident - VRP
 - Neighborhood Business - B-1
 - General Commercial - C-1
 - Commercial Residential - CR-1
 - Marine - M
 - Limited Industrial - LI-1
 - Limited Industrial - LI-2
 - Heavy Industrial - HI-1

1:4,514



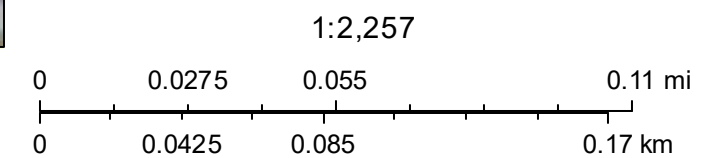


Sussex County



PIN:	330-15.13-1.00
Owner Name	SWAIN JANET R
Book	2150
Mailing Address	18679 SHERMAN AVE
City	LINCOLN
State	DE
Description	S/SUSQUEHANNA AVE
Description 2	W/FRONT ST
Description 3	RESIDUAL LANDS
Land Code	

- polygonLayer**
- Override 1
- polygonLayer**
- Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries



SUSSEX COUNTY ENGINEERING DEPARTMENT
UTILITY PLANNING DIVISION
C/U & C/Z COMMENTS

TO: **Janelle Cornwell**

REVIEWER: **Chris Calio**

DATE: **2/5/2019**

APPLICATION: **2018-30 Janet R. Swain**

APPLICANT: **Douglas J. Annand**

FILE NO: **NCPA-5.03**

TAX MAP &
PARCEL(S): **330-15.13-1.00**

LOCATION: **North side of Sheman Avenue, approximately 775 feet east of N. Old State Road and on the south side of Susquehanna Avenue, approximately 625 feet east of N. Old State Road.**

NO. OF UNITS: **3 single family lots**

GROSS
ACREAGE: **4.034**

SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: **2**

SEWER:

(1). Is the project in a County operated and maintained sanitary sewer and/or water district?

Yes

No

a. If yes, see question (2).

b. If no, see question (7).

(2). Which County Tier Area is project in? **Tier 3**

(3). Is wastewater capacity available for the project? **N/A** If not, what capacity is available? **N/A**.

(4). Is a Construction Agreement required? **No** If yes, contact Utility Engineering at (302) 855-7717.

(5). Are there any System Connection Charge (SCC) credits for the project? **N/A** If yes, how many? **N/A**. Is it likely that additional SCCs will be required? **N/A** If yes, the current System Connection Charge Rate is **\$6,360.00** per EDU. Please contact **Choose an item.** at **302-855-7719** for additional information on charges.

- (6). Is the project capable of being annexed into a Sussex County sanitary sewer district? **N/A**
- Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.
- (7). Is project adjacent to the Unified Sewer District? **No**
- (8). Comments: **The proposed subdivision of land is not in an area where the Sussex County Engineering Department has a plan or schedule to provide sanitary sewer service.**
- (9). Is a Sewer System Concept Evaluation required? **No**
- (10). Is a Use of Existing Infrastructure Agreement Required? **No**

UTILITY PLANNING APPROVAL:



John J. Ashman
Director of Utility Planning

Xc: Hans M. Medlarz, P.E.
Jayne Dickerson
No Permit Tech Assigned

Douglas J. Annand
Professional Land Surveyor
10027 North Old State Road
Lincoln, DE 19960
302-448-0320
douglasannand7@gmail.com

November 6, 2018

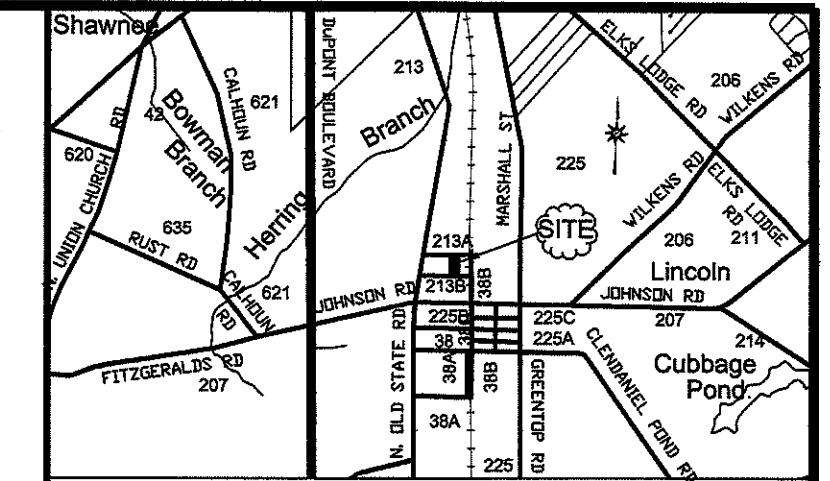
Sussex County Planning
Georgetown, De 19947

I, Douglas J. Annand, on behalf of Janet R. Swain, am requesting the following waivers for the Subdivision of Janet R. Swain, dated November 6, 2018, Tax Map No. 3-30-15.13-1.00:

- 1) Forested Landscape Buffer
- 2) Topography
- 3) Street Design Standard

Thank you,

A handwritten signature in black ink, appearing to read "D. J. Annand", written in a cursive style.



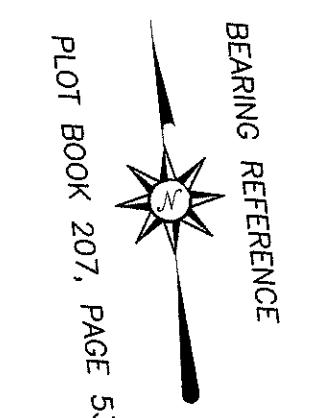
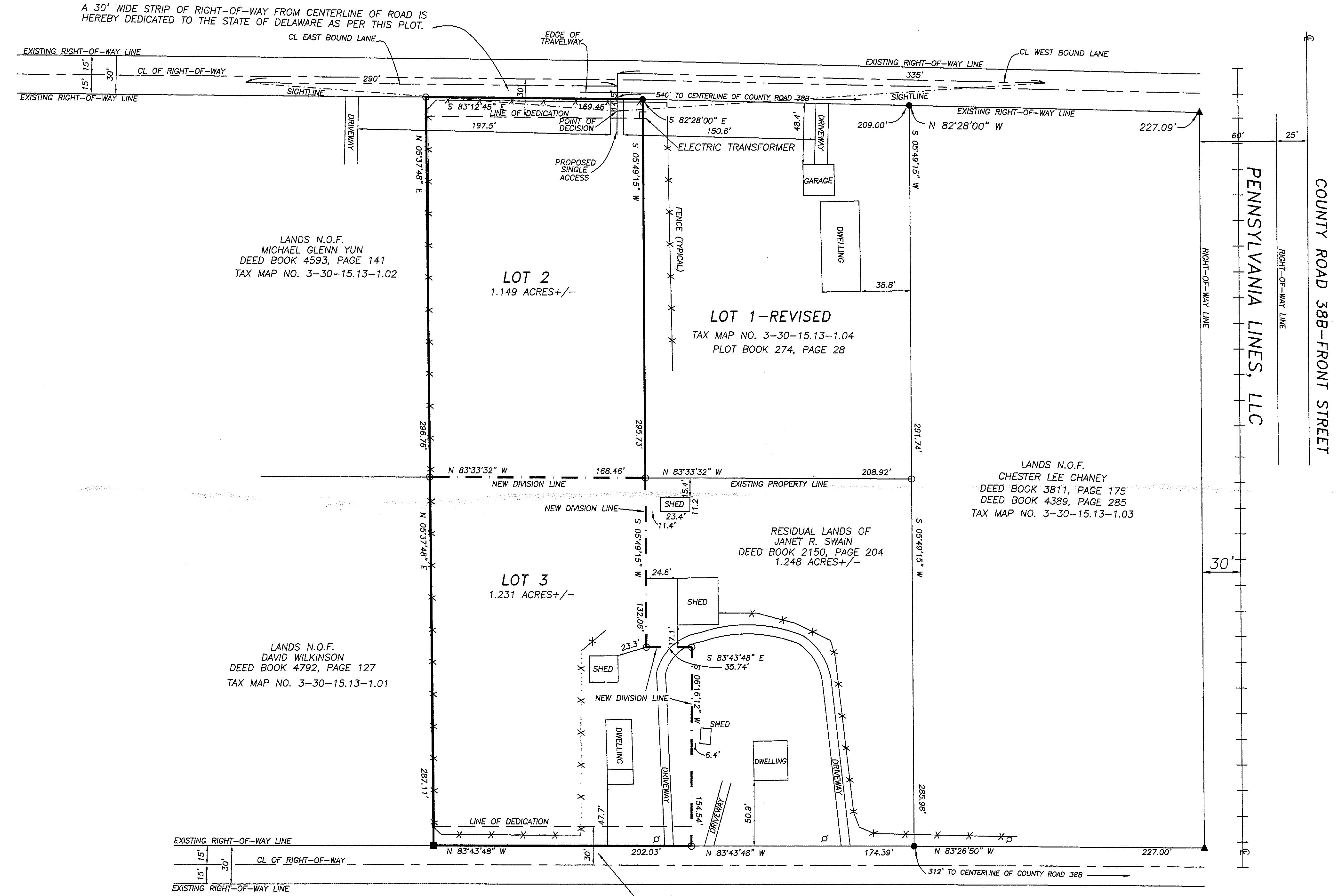
DATA COLUMN: TAX MAP NO. 3-30-15.13-1.00 (PORTION OF)

1) OWNER: JANET R. SWAIN 1868B SUSQUEHANNA AVENUE LINCOLN, DE 19960	6) GROSS ACREAGE - 3.268 ACRES+/-
2) CLASS "B", SUBURBAN SURVEY	7) RESIDUAL AREA - 1.248 ACRES+/-
3) A TITLE SEARCH WAS NEITHER REQUESTED, PROVIDED OR UTILIZED FOR THIS SURVEY	8) ZONING - AR1
4) TOTAL NUMBER OF LOTS - EXISTING-1, PROPOSED-2	9) PRESENT USE - RESIDENTIAL
5) RESIDUAL FRONTAGE - 174.39'	10) PROPOSED USE - RESIDENTIAL
	11) WATER - ON SITE
	12) SEPTIC - ON SITE

I, DOUGLAS J. ANNAND, REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE.

COUNTY ROAD 213A-SUSQUEHANNA AVENUE
(30' WIDE)

MAINTENANCE NO. SCR 213A
FUNCTIONAL CLASSIFICATION - LOCAL
SPEED LIMIT - 25 MILES PER HOUR



- DELDOT NOTES:**
- ALL ENTRANCES SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
 - IF THE RESIDUAL LANDS OF JANET R. SWAIN ARE EVER DEVELOPED AS A MAJOR SUBDIVISION, THEN THESE LOTS MAY BE REQUIRED TO HAVE ACCESS FROM AN INTERNAL SUBDIVISION STREET AND ANY DIRECT ACCESS TO SCR 213A OR SCR 213B WILL BE ELIMINATED.
 - SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
 - LOT 2 SHALL HAVE ACCESS TO SCR 213A VIA THE PROPOSED SINGLE ACCESS, AS SHOWN HEREON.
 - LOT 3 & THE RESIDUAL LANDS OF JANET R. SWAIN SHALL HAVE ACCESS TO SCR 213B VIA THE EXISTING DRIVEWAYS, AS SHOWN HEREON.
 - OTHER THAN SHOWN, THIS SURVEY PLAT DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHTS-OF-WAY OR EASEMENTS ON THIS PROPERTY. NO TITLE SEARCH WAS REQUESTED OR PERFORMED.
 - THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS ALONG THE FRONTAGE OF ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL, AND THE REQUIREMENTS OF THE LAND USE AGENCY.
 - ALL ENTRANCES SHALL CONFORM TO CHAPTER 7 AND FIGURE 7.2.3.3-a OF THE DELDOT DEVELOPMENT COORDINATION MANUAL.

COUNTY ROAD 213B-SHERMAN AVENUE
(30' WIDE)

MAINTENANCE NO. SCR 213B
FUNCTIONAL CLASSIFICATION - LOCAL
POSTED SPEED LIMIT - 25 MILES PER HOUR



- NOTES:**
- CLASS "B", SUBURBAN SURVEY
 - SOURCE OF TITLE: DEED BOOK 2150, PAGE 204
 - A TITLE SEARCH WAS NEITHER REQUESTED, PROVIDED OR UTILIZED FOR THIS SURVEY

- LEGEND:**
- FOUND IRON PIPE
 - FOUND MARBLE MONUMENT
 - SET IRON PIPE
 - ▲ FOUND IRON BAR
 - ⊕ UTILITY POLE
 - EXISTING RIGHT-OF-WAY LINE
 - - - PROPOSED RIGHT-OF-WAY LINE
 - EXISTING PROPERTY LINE
 - - - PROPOSED PROPERTY LINE
 - EXISTING CENTERLINE

SURVEYOR'S CERTIFICATION:

I, DOUGLAS J. ANNAND, HEREBY CERTIFY THAT I AM A LICENCED SURVEYOR IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY KNOWLEDGE AND BELIEF REPRESENTS GOOD SURVEYING PRINCIPALS AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

DOUGLAS J. ANNAND DATE

OWNER'S CERTIFICATION:

I, JANET R. SWAIN, HEREBY CERTIFY THAT I AM THE LEGAL OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND THAT I DESIRE THE PLAN TO BE RECORDED ACCORDING TO THE LAW.

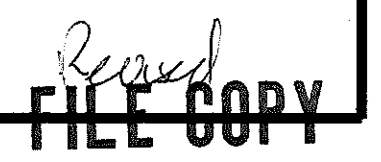
JANET R. SWAIN DATE

SUBDIVISION SURVEY PLAN

PREPARED BY
DOUGLAS J. ANNAND
PROFESSIONAL LAND SURVEYOR
10027 NORTH OLD STATE ROAD
LINCOLN, DELAWARE 19960
302-448-0320
douglassannand7@gmail.com

PREPARED FOR
JANET R. SWAIN
SITUATED IN CEDAR CREEK HUNDRED
SUSSEX COUNTY, STATE OF DELAWARE
TOTAL AREA: 3.628 ACRES
SCALE: 1" = 50'
DATE: NOVEMBER 4, 2018
DATE: DECEMBER 5, 2018

DOUGLAS J. ANNAND, PLS 622



PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
HOLLY J. WINGATE
J. BRUCE MEARS



Sussex County

DELAWARE
sussexcountyde.gov
302-855-7878 T
302-854-5079 F
JANELLE CORNWELL, AICP
DIRECTOR

PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET
Planning Commission Public Hearing Date February 28, 2019

Application: CU 2160 Procino-Wells & Woodland, P.A.

Applicant: Procino-Wells & Woodland, P.A.
225 High Street
Seaford, DE 19973

Owner: Steve and Marybeth Peet
1519 Savannah Road
Lewes, DE 19958

Site Location: 1519 Savannah Road north side of Savannah Road approximately 878 ft. west of Dove Road.

Current Zoning: AR-1 (Agricultural Residential District)

Proposed Use: Professional Office

Comprehensive Land Use Plan Reference: Environmentally Sensitive Developing Area

Councilmatic District: Mr. Burton

School District: Cape Henlopen School District

Fire District: Lewes Fire District

Sewer: Sussex County

Water: Private On-Site

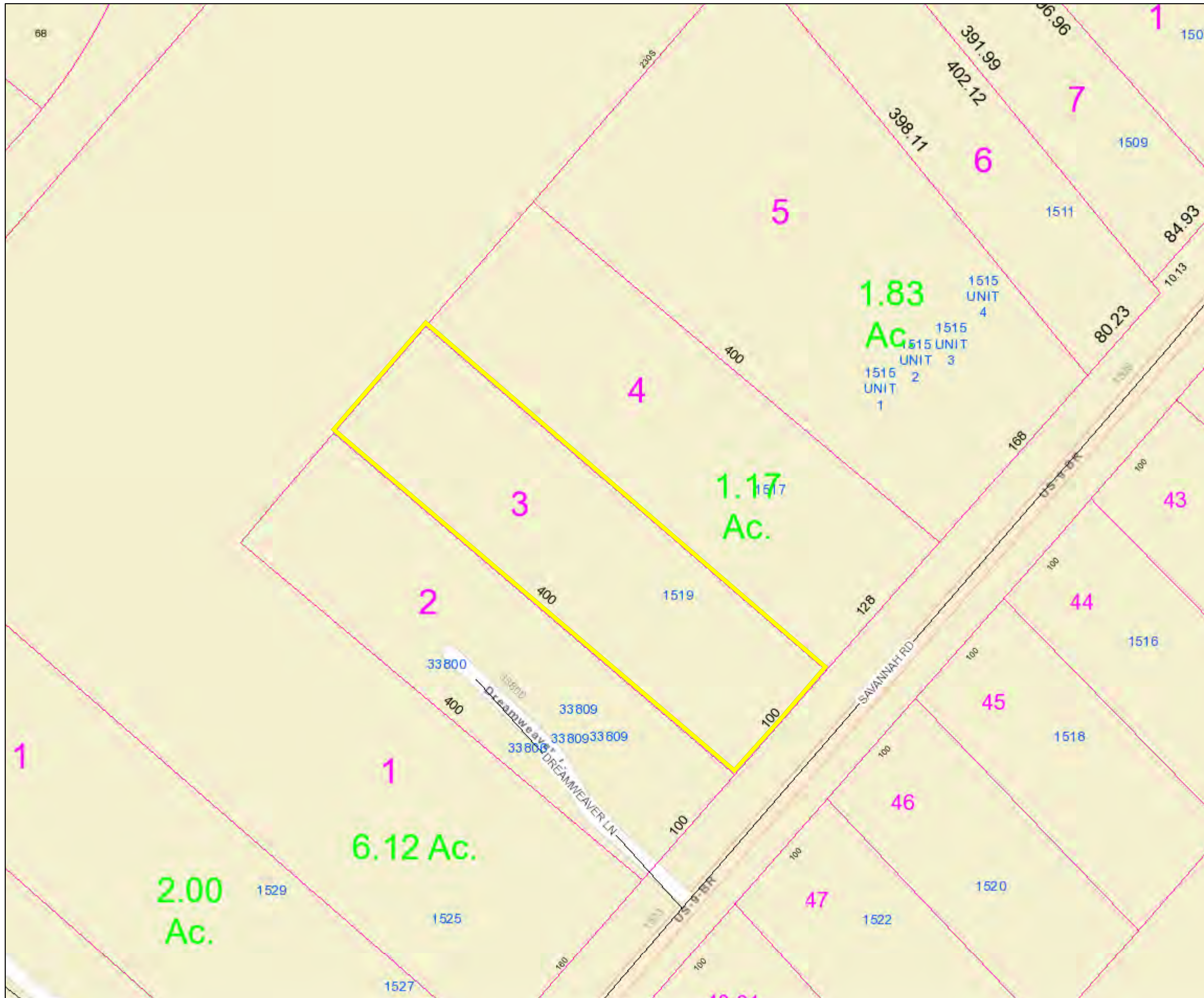
Site Area: 0.91827 ac. +/-

Tax Map ID.: 335-12.06-3.00



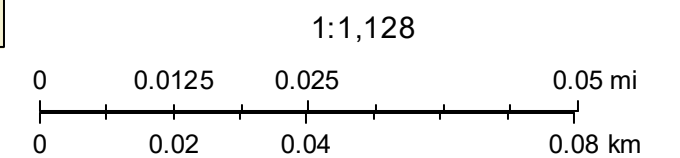


Sussex County



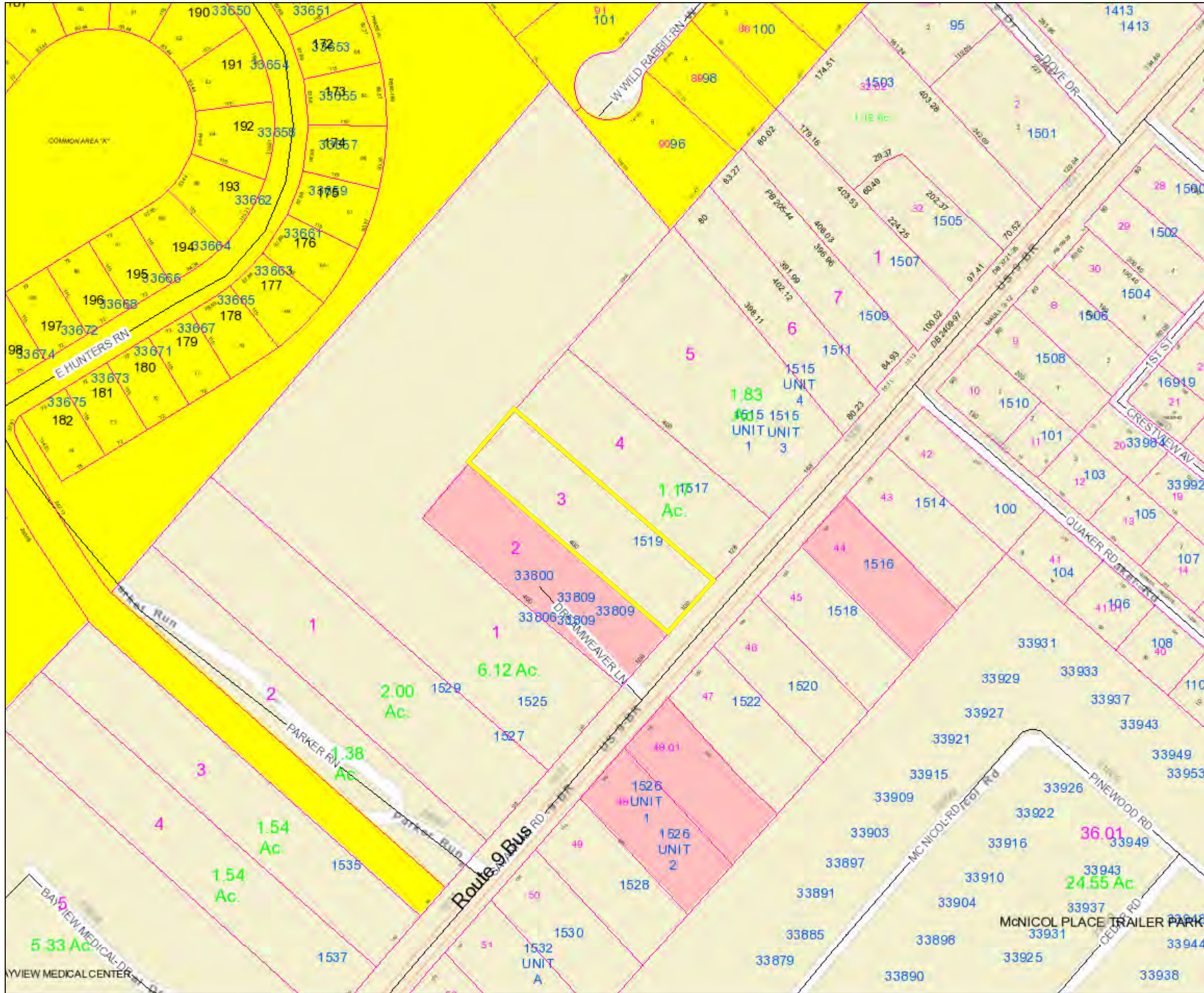
PIN:	335-12.06-3.00
Owner Name	PEET STEVEN C & MARYBETH B
Book	3914
Mailing Address	1519 SAVANNAH RD
City	LEWES
State	DE
Description	QUAKERTOWN HWY
Description 2	LEWES TO WESTCOATS
Description 3	COR
Land Code	

- polygonLayer**
Override 1
- polygonLayer**
Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries





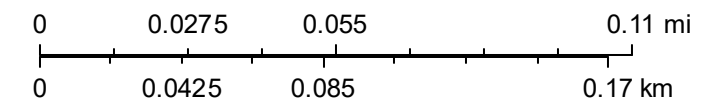
Sussex County



PIN:	335-12.06-3.00
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Description 3	COR
Land Code	

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- polygonLayer**
- Override 1
- Tax Parcels
- 911 Address
- Streets

1:2,257



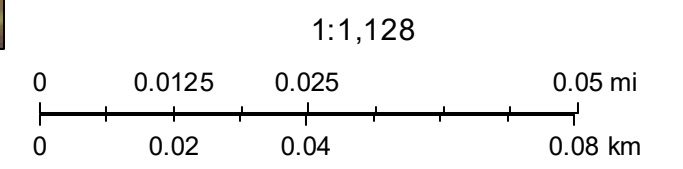


Sussex County



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- polygonLayer**
- Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries



PLANNING & ZONING

JANELLE M. CORNWELL, AICP
DIRECTOR

(302) 855-7878 T
(302) 854-5079 F



Sussex County

DELAWARE
sussexcountype.gov

Memorandum

To: Sussex County Planning Commission Members
From: Janelle Cornwell, AICP, Planning & Zoning Director
CC: Vince Robertson, Assistant County Attorney and applicant
Date: February 21, 2019
RE: Staff Analysis for CU 2160 Procino, Wells and Woodland, P.A.

This memo is to provide background and analysis for the Planning Commission to consider as a part of application CU 2160 Procino, Wells and Woodland, P.A. to be reviewed during the February 28, 2019 Planning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

The request is for a Conditional Use for parcel 335-12.06-3.00 to allow for professional office to be located at 1519 Savannah Rd. The size of the properties is 0.91827 ac. +/-.

The 2008 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework of how land is to be developed. As part of the Comprehensive Plan a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use map indicates that the properties have the land use designation Environmentally Sensitive Developing Area.

The surrounding land use to the north, south, east and west is Environmentally Sensitive Developing Area. The Environmentally Sensitive Developing Area land use designation recognizes that a range of housing types should be permitted including single-family, townhouses and multi-family and that variety of office and retail uses would be appropriate in many areas and that business and industrial parks with good road access would be appropriate. It also recognizes that mixture of homes with light commercial and institutional uses could be appropriate to provide for convenient services and let people work close to home.

The property is zoned AR-1 (Agricultural Residential District). The properties to the north are zoned AR-1 (Agricultural Residential District) and MR (Medium-Density Residential District). The properties to the east are zoned AR-1 (Agricultural Residential District). The properties to the south and west are zoned AR-1 (Agricultural Residential District) and B-1 (Neighborhood Business District). There are a number of Conditional Uses in the area (professional offices).

Based on the analysis of the land use, surrounding zoning and uses, the Conditional Use for a professional office would be considered consistent with the land use, area zoning and uses.





STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

September 17, 2018

Ms. Janelle Cornwell, Director
Sussex County Planning & Zoning
P.O. Box 417
Georgetown, DE 19947

Dear Ms. Cornwell:

The Department has completed its review of a Service Level Evaluation Request for the **Procino-Wells: Woodland, LLC** conditional use application, which we received on August 29, 2018. This application is for a 0.92-acre parcel (Tax Parcel: 335-12.06-3.00). The subject land is located on the northwest side of Savannah Road (Sussex Road 18), approximately 2,000 feet northwest of the intersection of Savannah Road and Wescoats Road (Sussex Road 12). The subject land is currently zoned AR-1 (Agricultural Residential), and the applicant is seeking a conditional use approval to utilize the existing 1,000 square-foot house as a law office.

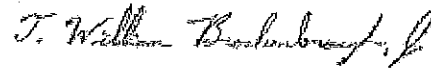
Per the 2016 Delaware Vehicle Volume Summary, the annual average and summer average daily traffic volumes along the segment of Savannah Road where the subject land is located, which is from Wescoats Road (Sussex Road 12) to Donovans Road, are 18,717 and 24,628 vehicles per day, respectively.

Based on our review, we estimate that the proposed land use will generate fewer than 50 vehicle trips in any hour and fewer than 500 vehicle trips per day. These numbers of trips are DeIDOT's minimum warrants for determining that a Traffic Impact Study (TIS) should be required for a particular development. Because the proposed land use would not meet these warrants, we consider the development's traffic impact to be negligible in the context of our agreement with the County regarding land development coordination and we do not recommend that the applicant be required to perform a TIS for the subject application. DeIDOT's description of this application as negligible with regard to warranting a TIS does not mean that it is negligible in other respects. We recommend that the applicant not be required to perform a TIS for the subject application.

Ms. Janelle M. Cornwell
Page 2 of 2
September 17, 2018

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence.

Sincerely,



T. William Brockenbrough, Jr.
County Coordinator
Development Coordination

TWB:cjm

cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues
Procino-Wells: Woodland, LLC, Applicant
J. Marc Coté, Assistant Director, Development Coordination
Gemez Norwood, South District Public Works Manager, Maintenance and Operations
Steven Sisson, Sussex County Subdivision Coordinator, Development Coordination
Derek Sapp, Subdivision Manager, Development Coordination
Brian Yates, Subdivision Manager, Development Coordination
Susanne Laws, Subdivision Manager, Development Coordination
Troy Brestel, Project Engineer, Development Coordination
Claudy Joinville, Project Engineer, Development Coordination

SUSSEX COUNTY ENGINEERING DEPARTMENT
UTILITY PLANNING DIVISION
C/U & C/Z COMMENTS

TO: **Janelle Cornwell**

REVIEWER: **Chris Calio**

DATE: **2/5/2019**

APPLICATION: **CU 2160 Procino, Wells, and Woodland, P.A.**

APPLICANT: **Procino, Wells and Woodland, P.A.**

FILE NO: **OM-9.04**

TAX MAP &
PARCEL(S): **335-12.06-3.00**

LOCATION: **North side of Savannah Road, approximately 878 feet west of Dove Road.**

NO. OF UNITS: **Convert/replace SFD to Professional office**

GROSS
ACREAGE: **0.91827**

SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: **4**

SEWER:

- (1). Is the project in a County operated and maintained sanitary sewer and/or water district?
Yes No
- a. If yes, see question (2).
b. If no, see question (7).
- (2). Which County Tier Area is project in? **Tier 1**
- (3). Is wastewater capacity available for the project? **Yes, As Proposed** If not, what capacity is available? **N/A.**
- (4). Is a Construction Agreement required? **No** If yes, contact Utility Engineering at (302) 855-7717.
- (5). Are there any System Connection Charge (SCC) credits for the project? **No** If yes, how many? **See Comment #8.** Is it likely that additional SCCs will be required? **Yes**
If yes, the current System Connection Charge Rate is **\$6,360.00** per EDU.
Please contact **Christine Fletcher** at **302-855-7719** for additional information on charges.

- (6). Is the project capable of being annexed into a Sussex County sanitary sewer district? **N/A**
- Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.
- (7). Is project adjacent to the Unified Sewer District? **N/A**
- (8). Comments: There is currently a single-family-dwelling on the property. If that structure is disconnected and demolished a 1.0 EDU credit would be realized at that time.
- (9). Is a Sewer System Concept Evaluation required? **Yes, Contact Utility Planning at 302-855-1299 to apply**
- (10). Is a Use of Existing Infrastructure Agreement Required? **Yes**

UTILITY PLANNING APPROVAL:



John J. Ashman
Director of Utility Planning

Xc: Hans M. Medlarz, P.E.
Jayne Dickerson
Christine Fletcher

FUQUA, WILLARD, STEVENS & SCHAB, P.A.

PAYNTER HOUSE
26 THE CIRCLE OR P.O. BOX 250
GEORGETOWN, DELAWARE 19947
PHONE 302-856-7777
FAX 302-856-2128
onthecircle@fwsslaw.com

JAMES A. FUQUA, JR.
WILLIAM SCHAB
TIMOTHY G. WILLARD
TASHA MARIE STEVENS
MELISSA S. LOFLAND
NORMAN C. BARNETT
www.fwsslaw.com

HART HOUSE
9 CHESTNUT STREET
GEORGETOWN, DELAWARE 19947
PHONE 302-856-9024
FAX 302-856-6360
realestate@fwsslaw.com

REHOBOTH OFFICE
20245 BAY VISTA ROAD, UNIT 203
REHOBOTH BEACH, DE 19971
PHONE 302-227-7727
FAX 302-227-2226

February 12, 2019

LEWES REAL ESTATE OFFICE
16698 KINGS HIGHWAY, SUITE B
LEWES, DELAWARE 19958
PHONE 302-645-6626
FAX 302-645-6620
realestate@fwsslaw.com

HAND DELIVERED & E-MAILED

John M. Mills, Chairman
c/o Janelle Cornwell
Sussex County Planning & Zoning Office
2 The Circle
Georgetown, DE 19947

RECEIVED

FEB 12 2019

SUSSEX COUNTY
PLANNING & ZONING

**Re: Procino-Wells & Woodland, LLC
Conditional Use #2160**

Dear Chairman Mills:

Please find enclosed documents in support of the above referenced application for a conditional use to operate an office in an existing building on Savannah Road just outside of Lewes.

1. Photo of the existing building with aerial;
2. Site Plan;
3. DelDot No Objection;
4. Photos of other conditional uses and businesses along this corridor;
5. Proposed Conditions; and
6. Proposed Findings

Very truly yours,

FUQUA, WILLARD,
STEVENS & SCHAB, P.A.

By: 

Timothy G. Willard

TGW/jel
Enclosures
Pc: Amber B. Woodland, Esquire



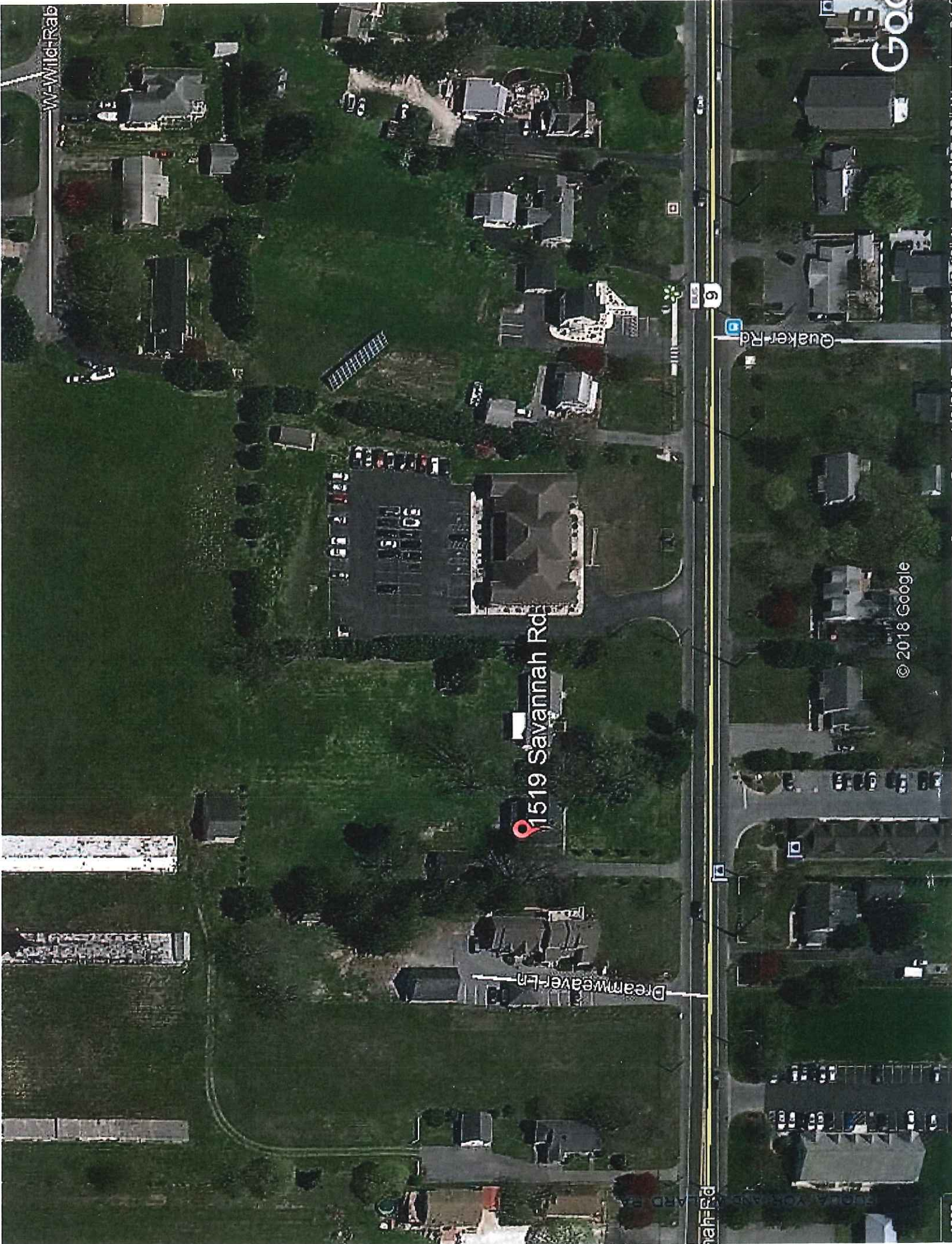
1522



FUGUA, YORI AND WILLARD, PA

© 2018 Google
© 2018 Google

Go



1519 Savannah Rd

Quaker Rd

Dreamweaver Ln

© 2018 Google

W-Wich-Rab

Google

T.M.# 335-12.06-3.00



VICINITY MAP
SCALE 1" = 1 MILE



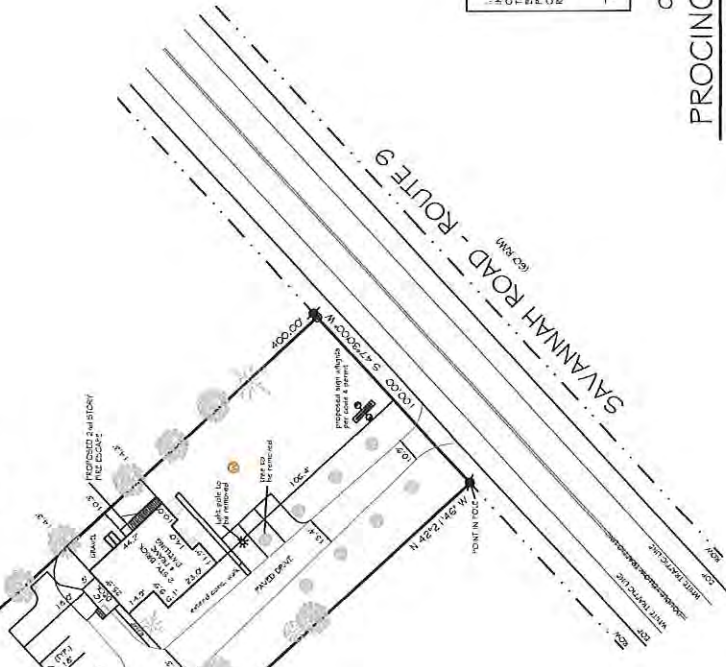
- CAPTED REBAR (FD)(M/E)
- IRON PIPE (FD)
- POINT
- UTILITY POLE
- WELL
- POLE LIGHT
- TREE

THIS PLAN IS A PROFESSIONAL LAND SURVEYING PLAN. IT HAS BEEN PREPARED IN ACCORDANCE WITH THE STANDARDS AND PRACTICES OF THE BOARD OF PROFESSIONAL LAND SURVEYORS AND MEETS THE REQUIREMENTS OF THE DELAWARE PROFESSIONAL LAND SURVEYING ACT. THE SURVEY AND DESCRIPTION OF ANY OTHER OFFICIAL OR UNOFFICIAL BOUNDARY OR INTEREST THEREIN IS NOT GUARANTEED BY ANY OFFICIAL OR UNOFFICIAL BOUNDARY OR INTEREST THEREIN.

STEPHEN M. WELLS, PLS 346

FIRE MARSHAL NOTES:
 MAX HEIGHT: 3 STORIES, 42 FEET
 CONSTRUCTION TYPE: NFPA TYPE: V (WOOD FRAME)
 ALL FIRE LANES, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PROTECTION REGULATIONS.
 PROPOSED USE: OFFICE SPACE
 EXISTING BUILDING AREA: 2,175 SQ. FT. ±
 LOCATION OF FIRE LANES, THEIR WIDTHS, AND THEIR MARKINGS, FIRE LANE SIGNS, WORDING AND 4" LINES OF DEMARCATION, AND YELLOW PAINTED CURBING ARE TO BE SHOWN ON THE PLAN WHERE APPLICABLE.
 AUTOMATIC FIRE SPRINKLERS ARE NOT PROPOSED FOR THIS STRUCTURE.
 THE BUILDING WILL BE ACCESSIBLE TO EMERGENCY APPARATUS A MINIMUM OF 50% OF THE BUILDING WILL BE ACCESSIBLE BY EMERGENCY SERVICES PERSONNEL.

JAMES L. WELLS, PLS
 T.M.# 335-12.06-3.00
 Zoning: R-1



40,000 Sq. Ft. +/-
 0.918 Acres +/-

W.P. BIRCHHEADS, LLC
 T.M.# 335-12.06-2.00
 Zoning: R-1

335-12.06-3.00
 1519 SAVANNAH ROAD
 LEWES, DE. 19958

DEEDBOOK 391.4 PAGE 143
 DEEDBOOK 391.4 PAGE 143

AR-1 - AGRICULTURAL/ RESIDENTIAL
 REQUESTING CONDITIONAL USE

FRONT: 40'
 SIDE: 15'
 REAR: 20'

ON SITE WELL
 SUSSEX COUNTY
 RESIDENTIAL
 OFFICE SPACE

1 SPACE PER 200 SQ. FT. OF OFFICE SPACE
 PROPOSED OFFICE SPACE 1,750 SQ. FT.
 9 SPACES REQUIRED.
 8 - 9' x 16' SPACES
 1 HANDICAPPED SPACE (CAR & VAN ACCESS)(BLE)

PLAN DATA:

TAX PARCEL NUMBER:

ADDRESS:

SOURCE OF TITLE:

BEARING REFERENCE SYSTEM:

ZONING:

SETBACK REQUIREMENTS:

WATER SUPPLY:

SEWERAGE:

CURRENT USE:

PROPOSED USE:

PARKING REQUIREMENT:

PARKING PROPOSED:

OTHER PLAN PERSONS, THE SURVEY AND PLAN SHALL BE VOID WITHOUT THE SIGNATURE AND SEAL OF THE SURVEYOR. ANY DEVIATION FROM THE REQUIREMENTS OF THE DELAWARE PROFESSIONAL LAND SURVEYING ACT SHALL BE AT THE SURVEYOR'S RISK AND WITHOUT LIABILITY TO THE SURVEYOR.

DATE	REVISION

MILLER LEWIS, INC.
 LAND SURVEYING
 1560 MIDDLEFORD RD.
 SEAFORD, DELAWARE 19973
 PH: 302-683-3023 FAX: 302-683-2391

CONDITIONAL USE & SITE PLAN FOR
PROCINO-WELLS & WOODLAND, LLC
 ADDRESS: 225 HIGH STREET SEAFORD, DE. 19973
 PHONE: 302-628-4140

TOWNED	LEWES & REHOBOTH	COUNTY	SUSSEX
STATE	DELAWARE	DRAWN BY	SMS
REP.	391.4-143	DATE	PROJNO
			335-12.06-3

OCTOBER 5, 2016



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

November 15, 2018

Ms. Janelle Cornwell, Director
Sussex County Planning & Zoning
P.O. Box 417
Georgetown, DE 19947

Dear Ms. Cornwell:

The Department has completed its review of a Service Level Evaluation Request for the **Procino-Wells & Woodland, LLC** conditional use application, which we received on October 18, 2018. This application is for a 0.92-acre parcel (Tax Parcel: 335-12.06-3.00). The subject land is located on the northwest side of Savannah Road (Sussex Road 18), approximately 2,000 feet northwest of the intersection of Savannah Road and Wescoats Road (Sussex Road 12). The subject land is currently zoned AR-1 (Agricultural Residential), and the applicant is seeking a conditional use approval to utilize the existing facility to operate a 1,780 square-foot law office.

Per the 2017 Delaware Vehicle Volume Summary, the annual average and summer average daily traffic volumes along the segment of Savannah Road where the subject land is located, which is from Wescoats Road (Sussex Road 12) to Donovans Road, are 18,717 and 24,628 vehicles per day, respectively.

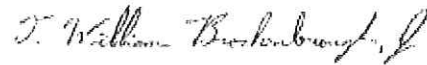
Based on our review, we estimate that the proposed land use will generate fewer than 50 vehicle trips in any hour and fewer than 500 vehicle trips per day. These numbers of trips are DelDOT's minimum warrants for determining that a Traffic Impact Study (TIS) should be required for a particular development. Because the proposed land use would not meet these warrants, we consider the development's traffic impact to be negligible in the context of our agreement with the County regarding land development coordination and we do not recommend that the applicant be required to perform a TIS for the subject application. DelDOT's description of this application as negligible with regard to warranting a TIS does not mean that it is negligible in other respects. We recommend that the applicant not be required to perform a TIS for the subject application.



Ms. Janelle M. Cornwell
Page 2 of 2
November 15, 2018

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence.

Sincerely,



T. William Brockenbrough, Jr.
County Coordinator
Development Coordination

TWB:cjm

cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues
Procino-Wells & Woodland, LLC, Applicant
J. Marc Coté, Assistant Director, Development Coordination
Gemez Norwood, South District Public Works Manager, Maintenance and Operations
Steven Sisson, Sussex County Subdivision Coordinator, Development Coordination
Derek Sapp, Subdivision Manager, Development Coordination
Brian Yates, Subdivision Manager, Development Coordination
Susanne Laws, Subdivision Manager, Development Coordination
Troy Brestel, Project Engineer, Development Coordination
Claudy Joinville, Project Engineer, Development Coordination



Beebe
Healthcare
Medical Group

Family Medicine

Lisa Beebe, MD - J. Eric Kelly, MD
Lisa Barberis, MD

Internal Medicine

Kathryn Grimes, MD - Amber Smith, MD
Monique Post, MD

Pediatric Neurology

Michelle Ryan, MD

1305

1309
S. W. 130th Ave.



SEASIDE GASTROENTEROLOGY
CONSULTANTS
PHYSICIAN PARTNERS

Robert L. Cannon, MD, FRCG

John C. Carr, MD, BE, FRCG

Mr. N. Burton, MD

John Thomas, MD

John Paul, MD

cottolengo
Walk-in
Medical Center
1309 S.W. 130th Ave.
1309-666-6666



A blue sign for Rainbow Pediatrics. At the top left is a logo featuring a rainbow arching over a stylized 'C'. The text on the sign is as follows:

**RAINBOW
PEDIATRICS**
Tina H. Stevens, MD, FAAP
Walter S. Stewart, MD, FAAP
Jeffrey A. Chaffin, Jr., MD, FAAP
302.645.2241





1308

P.M. Accounting
and Tax Services

EVENINGS AND WEEKENDS
BY APPOINTMENT

644 2884



theSwierClinic
Plastic Surgery







1409

COASTAL
DIRECT PRIMARY CARE



Christine Degnon, MD, MPH

302-786-0828



UROLOGISTS

INSURANCE ACCEPTED

DR. STEVEN W. D. FACS



PARKING IN FRONT



BAIRD
MANDALAS
BROCKSTEDT

302-645-2BMB

www.BMBde.com

PIVOT

PHYSICAL THERAPY

L. OKKEN

Investment Group LLC

SAVANNAH ROAD

PROFESSIONAL CENTER

1413 / 1415 savannah road

1504



Active Adults
REALTY

302-424-1890

OFFICE



Fringe
HAIR STUDIO





BROADVINE
PASTORAL INSTITUTE

Counseling
Psychotherapy

- Individuals
- Couples
- Families

1516



1518

Appel, Wilson & Vaughn
P.C.

PSYCHOLOGISTS

302-678-0213

Melody Denson, M.D.



wilgus
ASSOCIATES, INC.

- INSURANCE
- REAL ESTATE SALES
- PROPERTY MANAGEMENT
- RENTALS

302-645-9215



www.wilgusassociates.com

CHIROPRACTIC
& ACUPUNCTURE
DR. TERRY EVANOFF, D.C.
TERRY EVANOFF, D.C.



FIT & WELL

PERSONAL TRAINING
&
FITNESS CONSULTANTS

302-362-3333

TOP Notch Inc
Heating & Air Conditioning

302-645-7171
www.TopNotchHeating.com

24 HOUR SERVICE

LARLHAM
CONTRACTING, INC.
www.LarLhamCustomHomes.com



Beebe

Medical Group

General Surgery

M. Lisa Ambery
D.O., F.A.C.S.

Mark Fazzolo
D.O.

Endocrinology

Carlton Borzell
M.D.

Internal Medicine

Bonnie Spink
M.D., F.A.C.P.

Endocrinology

1526

CHIROPRACTOR

Dr. Michael Elrod

645-9171

1527 Savannah Road





1535



Beebe Women's
HealthCare Bayside

1540

Thomas Bastholm, O.D.
OPTOMETRY

THE SEIFF CENTER
OCULOFACIAL PLASTIC SURGERY


CAPE
SPINE & DISC

at Office Building
Available





Dayview

MEDICAL CENTER

Beebe Healthcare

BASAL-FOOT & ANKLE CENTER

GENERAL MEDICAL, PHARMACY
DENTAL CLINIC

BEERIE
PHYSIOLOGY

Beebe Healthcare

Beebe Healthcare

Beebe Healthcare

DAYVIEW MEDICAL

PROPOSED CONDITIONS

Procinco-Wells & Woodland, LLC

Conditional Use #2160

- A. The use shall occur within a renovated structure that shall be converted to office use.
- B. The property shall be used as office space Monday through Saturday from 8:00 a.m. to 8:00 p.m. with limited Sunday hours by appointment.
- C. One lighted sign, not to exceed 32 square feet per side, shall be permitted.
- D. All exterior lighting shall be downward screened to that it does not shine on neighboring properties or roadways.
- E. Existing fencing will be maintained and additional fencing considered if appropriate.
- F. With the exception of required handicapped spaces, all parking shall be located in the rear of the property behind the office.
- G. The Final Site Plan shall be subject to the review and approval of the Sussex County Planning & Zoning Commission and comply with all County and State Regulations.

PROPOSED FINDINGS

Procino-Wells & Woodland, LLC

Conditional Use #2160

1. The proposed Conditional Use is similar in character to many other offices in the area on Savannah Road. It is in character with the long history of development of medical and professional office space along Savannah Road.
2. The use as law office space in this location will benefit the health, safety, and welfare of Sussex County residents by providing such a use in convenient location.
3. The use will occur within a renovated structure on the property, which will maintain a residential appearance. This is consistent with other business and professional uses along Savannah Road.
4. The use, with the conditions and limitations placed upon it, will not adversely affect neighboring properties or roadways.
5. The use is in a Development Area according to the Sussex County Comprehensive Land Use Plan. This use is appropriate in that area according to the Plan.

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
HOLLY J. WINGATE
J. BRUCE MEARS



Sussex County

DELAWARE
sussexcountyde.gov
302-855-7878 T
302-854-5079 F
JANELLE CORNWELL, AICP
DIRECTOR

PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET
Planning Commission Public Hearing Date February 28, 2019

Application: CU 2161 Howard Weston Development Company, LLC.

Applicant/Owner: Howard Weston Development Company, LLC.
1 Bassett Avenue
Castle, DE 19720

Site Location: 29065 Lewes-Georgetown Highway (Route 9), north side of Lewes
Georgetown Highway approximately 0.38 mile west of Sweetbriar
Road.

Current Zoning: AR-1 (Agricultural Residential District)

Proposed Use: Professional Office for Accounting, Tax Preparation and Bookkeeping
Services

Comprehensive Land
Use Plan Reference: Low Density Area

Councilmatic
District: Mr. Burton

School District: Cape Henlopen School District

Fire District: Lewes Fire District

Sewer: Private On-Site

Water: Private On-Site

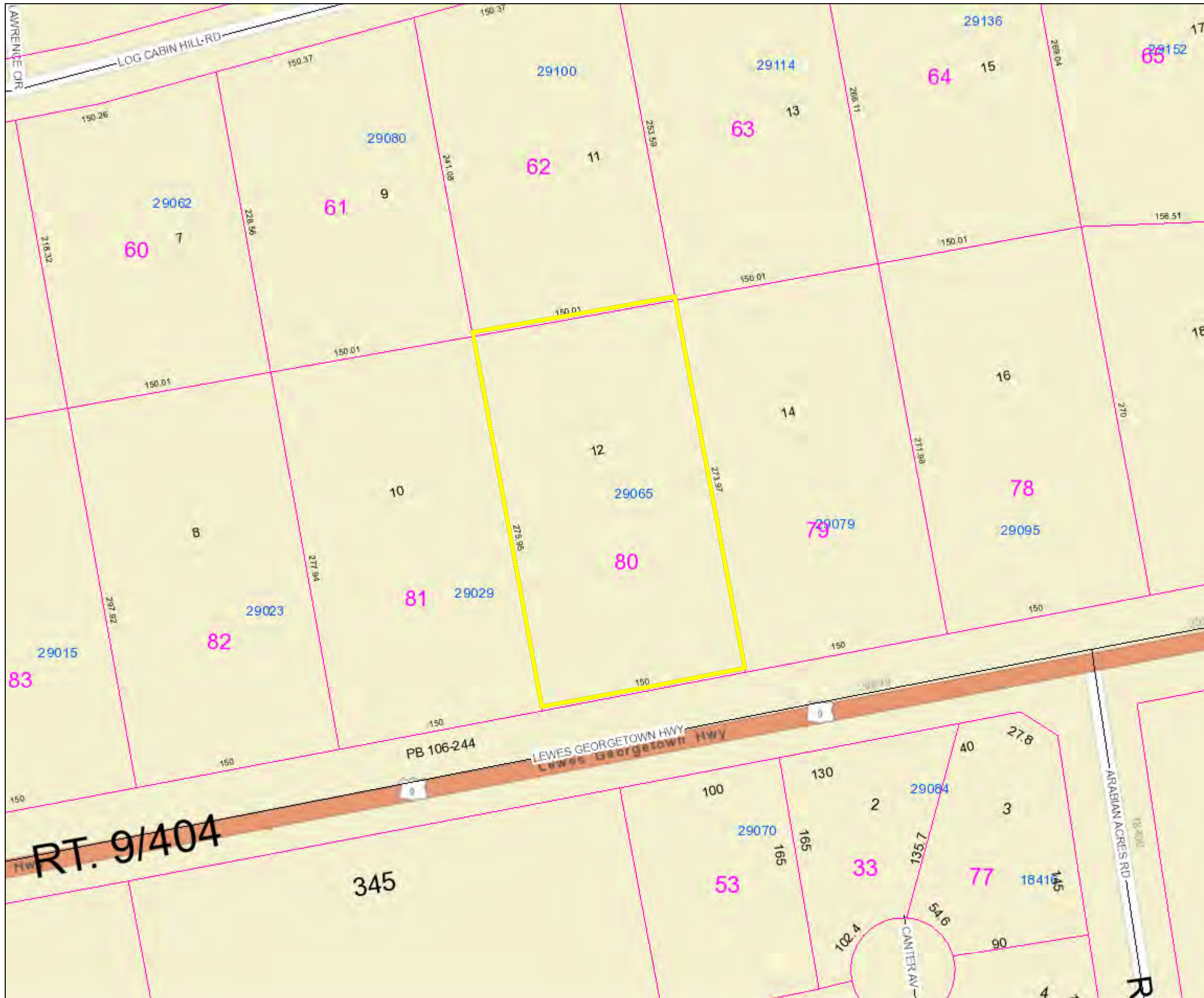
Site Area: 0.9468 ac. +/-

Tax Map ID.: 334-4.00-80.00



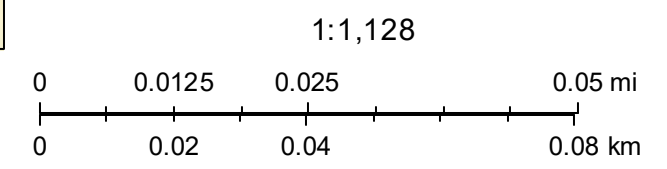


Sussex County



PIN:	334-4.00-80.00
Owner Name	HOWARD WESTON DEVELOPMENT
Book	4915
Mailing Address	1 BASSETT AVE
City	NEW CASTLE
State	DE
Description	STAMPER FARMS
Description 2	LOT 12
Description 3	N/RT 9 W/IMP
Land Code	

- polygonLayer**
 - Override 1
- polygonLayer**
 - Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries





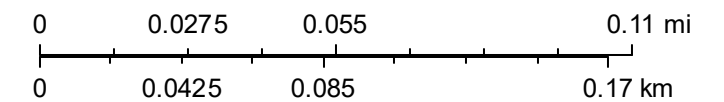
Sussex County



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- polygonLayer**
- Override 1
- polygonLayer**
- Override 1
- Tax Parcels
- 911 Address
- Streets

1:2,257



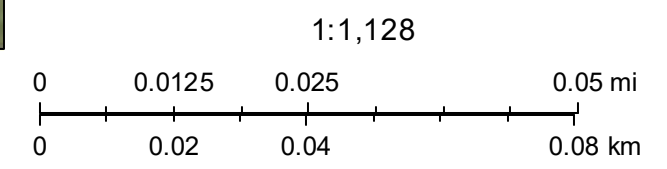


Sussex County



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- polygonLayer**
- Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries



PLANNING & ZONING

JANELLE M. CORNWELL, AICP
DIRECTOR

(302) 855-7878 T
(302) 854-5079 F



Sussex County

DELAWARE
sussexcountyde.gov

Memorandum

To: Sussex County Planning Commission Members

From: Janelle Cornwell, AICP, Planning & Zoning Director

CC: Vince Robertson, Assistant County Attorney and applicant

Date: February 21, 2019

RE: Staff Analysis for CU 2161 Howard Weston Development Company, LLC.

This memo is to provide background and analysis for the Planning Commission to consider as a part of application CU 2161 Howard Weston Development Company, LLC to be reviewed during the February 28, 2019 Planning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

The request is for a Conditional Use for parcel 334-4.00-80.00 to allow for professional office for accounting, tax preparation and bookkeeping services to be located at 29065 Lewes-Georgetown Hwy. (Rt. 9). The size of the properties is 0.9468 ac. +/-.

The 2008 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework of how land is to be developed. As part of the Comprehensive Plan a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use map indicates that the properties have the land use designation Low Density Area.

The surrounding land use to the north, south, east and west is Low Density Area. The Low Density Areas land use designation recognizes that a business development should be largely confined to businesses that address the needs of single family residences and agriculture. It should also permit industrial uses that support or depend on agricultural uses. The focus of retail and office should provide convenience goods and services to nearby residents and should be limited in their location, size and hours of operation. The use as auto repair and gasoline sales, should be avoided in these areas.

The property is zoned AR-1 (Agricultural Residential District). The properties to the north, east and west are zoned AR-1 (Agricultural Residential District). The properties to the south are zoned MR (Medium-Density Residential District) and AR-1 (Agricultural Residential District). There are parcels further north south and west zoned C-1 (General Commercial District and/or CR-1 (Commercial Residential District). Further to the east are parcels zoned GR (General Residential District). The property has a Conditional Uses (CU 1769 landscaping business). There are no known additional Conditional Uses in the area.

Based on the analysis of the land use, surrounding zoning and uses, the Conditional Use for a professional office for accounting, tax preparation and bookkeeping services could be considered consistent with the land use, area zoning and uses.





STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. Box 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

July 5, 2018

Ms. Janelle Cornwell, Director
Sussex County Planning & Zoning
P.O. Box 417
Georgetown, DE 19947

Dear Ms. Cornwell:

The Department has completed its review of a Service Level Evaluation Request for the **Howard Weston Development Co., LLC** conditional use application, which we received on June 6, 2018. This application is for a 0.95-acre parcel (Tax Parcel: 334-4.00-80.00). The subject land is located on the north side of US Route 9, approximately 230 feet west of the intersection of US Route 9 and Arabian Acres Road (Sussex Road 282). The subject land is currently zoned AR-1 (Agricultural Residential), and the applicant is seeking a conditional use approval to utilize the existing facility to operate a 1,344 square-foot accounting office.

Per the 2017 Delaware Vehicle Volume Summary, the annual average and summer average daily traffic volumes along the segment of US Route 9 where the subject land is located, which is from Delaware Route 5 to Delaware Route 1, are 14,696 and 18,841 vehicles per day, respectively.

Based on our review, we estimate that the above land uses will generate fewer than 50 vehicle trips in any hour and fewer than 500 vehicle trips per day. These numbers of trips are DelDOT's minimum warrants for determining that a Traffic Impact Study (TIS) should be required for a particular development. Because the proposed land use would not meet these warrants, we consider the development's traffic impact to be negligible in the context of our agreement with the County regarding land development coordination and we do not recommend that the applicant be required to perform a TIS for the subject application. DelDOT's description of this application as negligible with regard to warranting a TIS does not mean that it is negligible in other respects. We recommend that the applicant not be required to perform a TIS for the subject application.



Ms. Janelle M. Cornwell

Page 2 of 2

July 5, 2018

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence.

Sincerely,



T. William Brockenbrough, Jr.
County Coordinator
Development Coordination

TWB:cjm

cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues
Howard Weston Development Co., LLC, Applicant
J. Marc Coté, Assistant Director, Development Coordination
Gemez Norwood, South District Public Works Manager, Maintenance and Operations
Steven Sisson, Sussex County Subdivision Coordinator, Development Coordination
Derek Sapp, Subdivision Manager, Development Coordination
Brian Yates, Subdivision Manager, Development Coordination
Susanne Laws, Subdivision Manager, Development Coordination
Troy Brestel, Project Engineer, Development Coordination
Claudy Joinville, Project Engineer, Development Coordination

SUSSEX COUNTY ENGINEERING DEPARTMENT
UTILITY PLANNING DIVISION
C/U & C/Z COMMENTS

TO: **Janelle Cornwell**

REVIEWER: **Chris Calio**

DATE: **2/6/2019**

APPLICATION: **CU 2161 Howard Weston Development Company, LLC**

APPLICANT: **Howard Weston Development Company, LLC**

FILE NO: **NCPA-5.03**

TAX MAP &
PARCEL(S): **334-4.00-80.00**

LOCATION: **North side of Lewes-Georgetown Highway, approximately 0.38
mile west of Sweetbriar Road.**

NO. OF UNITS: **Professional office for accounting, tax prep and bookkeeping**

GROSS
ACREAGE: **0.9468**

SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: **2**

SEWER:

- (1). Is the project in a County operated and maintained sanitary sewer and/or water district?
Yes No
- a. If yes, see question (2).
b. If no, see question (7).
- (2). Which County Tier Area is project in? **Tier 3**
- (3). Is wastewater capacity available for the project? **N/A** If not, what capacity is available? **N/A**.
- (4). Is a Construction Agreement required? **No** If yes, contact Utility Engineering at (302) 855-7717.
- (5). Are there any System Connection Charge (SCC) credits for the project? **N/A** If yes, how many? **N/A**. Is it likely that additional SCCs will be required? **N/A** If yes, the current System Connection Charge Rate is **\$6,360.00** per EDU. Please contact **N/A** at **302-855-7719** for additional information on charges.

- (6). Is the project capable of being annexed into a Sussex County sanitary sewer district? **N/A**
- Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.
- (7). Is project adjacent to the Unified Sewer District? **N/A**
- (8). Comments: **The proposed conditional use is in an area where the Sussex County Engineering Department has no plan or schedule to provide sanitary sewer service.**
- (9). Is a Sewer System Concept Evaluation required? **No**
- (10). Is a Use of Existing Infrastructure Agreement Required? **No**

UTILITY PLANNING APPROVAL:



John J. Ashman
Director of Utility Planning

Xc: Hans M. Medlarz, P.E.
Jayne Dickerson
Choose an item.

HOWARD WESTON
DEVELOPMENT
COMPANY, LLC

Conditional Use No. 2161

Exhibit Book

MORRIS JAMES, LLP
Georgetown, Delaware

HOWARD WESTON DEVELOPMENT COMPANY, LLC

Conditional Use Application

No. 2161

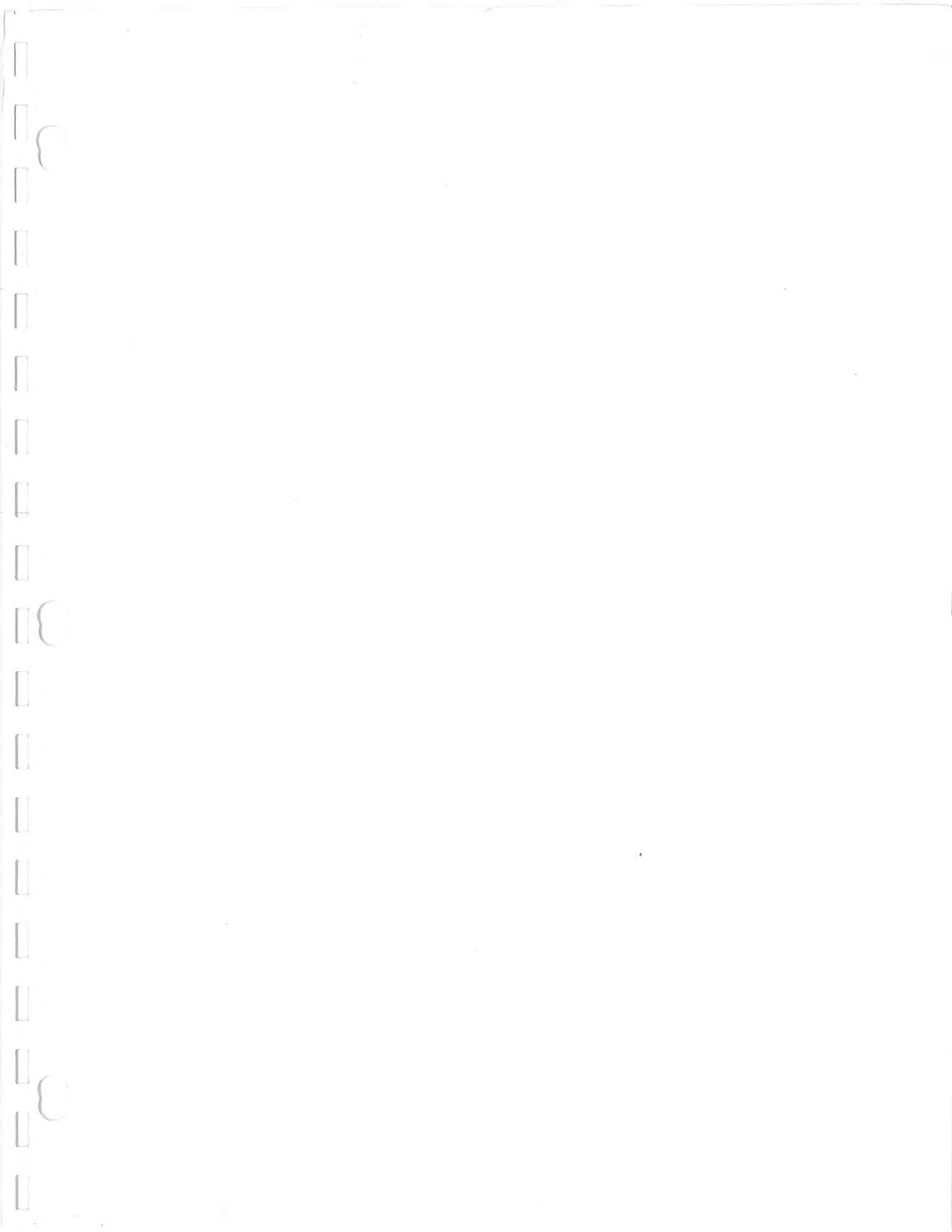
TABLE OF CONTENTS

- A. Application for Conditional Use**
- B. Boundary Survey Plan for conditional Use Application**
- C. Aerial Photo of Site and Surrounding Area**
- D. Street view of site**
- E. DelDOT Support Facilities Report**
- F. Sussex County Zoning Map**
- G. Sussex County Comprehensive Plan Map**
- H. Sussex County Future Land Use Map**
- I. State Strategy for Spending map**
- J. Deed**
- K. Proposed Signage**
- L. Proposed Findings of Fact and Conditions**

RECEIVED

FEB 18 2019

SUSSEX COUNTY
PLANNING & ZONING



Planning & Zoning Commission Application

Sussex County, Delaware

Sussex County Planning & Zoning Department
2 The Circle (P.O. Box 417) Georgetown, DE 19947
302-855-7878 ph. 302-854-5079 fax

Type of Application: (please check applicable)

Conditional Use
Zoning Map Amendment

COPY

Site Address of Conditional Use/Zoning Map Amendment

29065 Kewes Georgetown Hwy

Type of Conditional Use Requested:

Conditional use for accounting, tax preparation, and bookkeeping services.

Tax Map #: 334-4.00-80.00 Size of Parcel(s): 41,244 sq.ft. +/-

Current Zoning: AR-1 Proposed Zoning: _____ Size of Building: 1,125 sq.ft +/-

Land Use Classification: ESDA

Water Provider: on-site Sewer Provider: on-site

Applicant Information

Applicant Name: Howard Weston Development Company, LLC

Applicant Address: 1 Bassett Avenue

City: New Castle State: DE Zip Code: 19720

Phone #: (302) 322-0452 E-mail: jtravis@atmthebottomline.com

Owner Information

Owner Name: same

Owner Address: _____

City: _____ State: _____ Zip Code: _____

Phone #: _____ E-mail: _____

Agent/Attorney/Engineer Information

Agent/Attorney/Engineer Name: Dennis L. Schrader, Esq.

Agent/Attorney/Engineer Address: Box 690 107 W. Market Street

City: Georgetown State: DE Zip Code: 19947

Phone #: (302) 856-0010 E-mail: dschrader@morrisjames.com

RECEIVED

OCT 30 2018

SUSSEX COUNTY
PLANNING & ZONING



Check List for Sussex County Planning & Zoning Applications

The following shall be submitted with the application

Completed Application

Provide eight (8) copies of the Site Plan or Survey of the property

- Survey shall show the location of existing or proposed building(s), building setbacks, parking area, proposed entrance location, etc.
- Provide a PDF of Plans (may be e-mailed to a staff member)
- Deed or Legal description

Provide Fee \$500.00

Optional - Additional information for the Commission/Council to consider (ex. architectural elevations, photos, exhibit books, etc.) If provided submit 8 copies and they shall be submitted a minimum of ten (10) days prior to the Planning Commission meeting.

Please be aware that Public Notice will be sent to property owners within 200 feet of the subject site and County staff will come out to the subject site, take photos and place a sign on the site stating the date and time of the Public Hearings for the application.

De/IDOT Service Level Evaluation Request Response

PLUS Response Letter (if required)

The undersigned hereby certifies that the forms, exhibits, and statements contained in any papers or plans submitted as a part of this application are true and correct.

I also certify that I or an agent on my behalf shall attend all public hearing before the Planning and Zoning Commission and the Sussex County Council and any other hearing necessary for this application and that I will answer any questions to the best of my ability to respond to the present and future needs, the health, safety, morals, convenience, order, prosperity, and general welfare of the inhabitants of Sussex County, Delaware.

Signature of Applicant/Agent/Attorney

_____ Date: _____

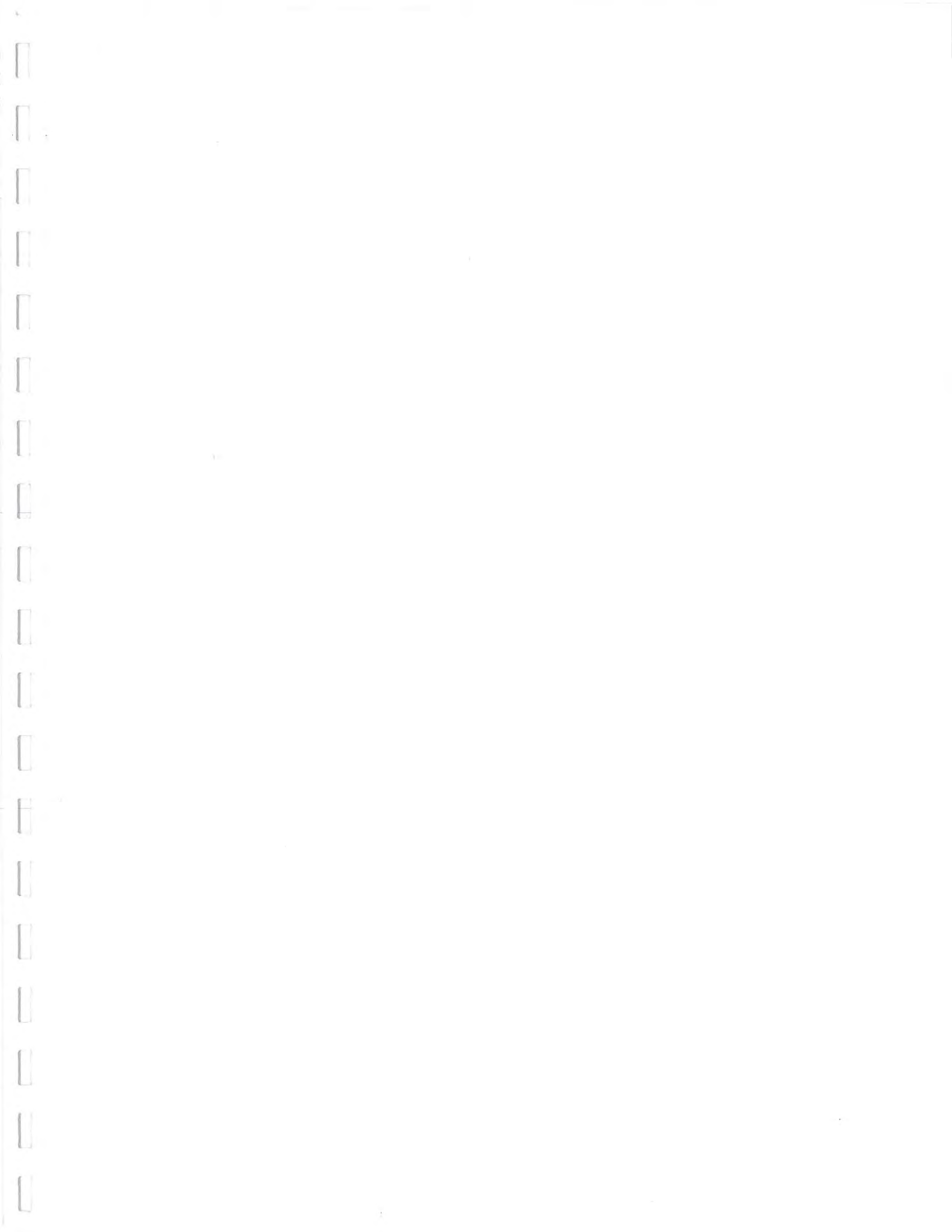
Signature of Owner

_____ Date: _____

For office use only:

Date Submitted: _____ Fee: \$500.00 Check #: _____
Staff accepting application: _____ Application & Case #: _____
Location of property: _____

Subdivision: _____
Date of PC Hearing: _____ Recommendation of PC Commission: _____
Date of CC Hearing: _____ Decision of CC: _____

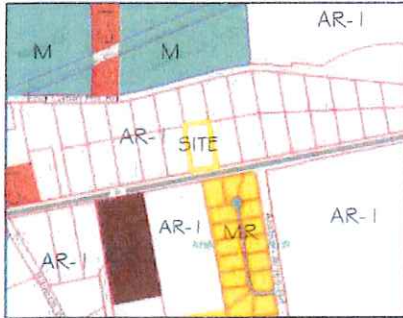


LANDS N/F
ANNETTE M. WRIGHT
DEED REF: 4804/200
PARCEL 62
LOT 9
RESIDENTIAL USE

LANDS N/F
JEFFREY E. & LINDA K. KRAEMER
DEED REF: 4874/142
PARCEL 63
LOT 11
RESIDENTIAL USE

LANDS N/F
TERRY C. RAWLEY
DEED REF: 2382/118
PARCEL 64
LOT 13
RESIDENTIAL USE

Based on the Federal Emergency Management Agency Flood Insurance Rate Map, Panel 326 of 660. Community Panel No 10005C0326J. Dated January 6, 2005. The property shown hereon is located within zone X (Area of minimal flooding).

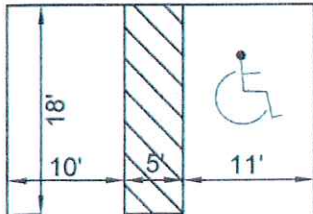


VICINITY MAP
NO SCALE

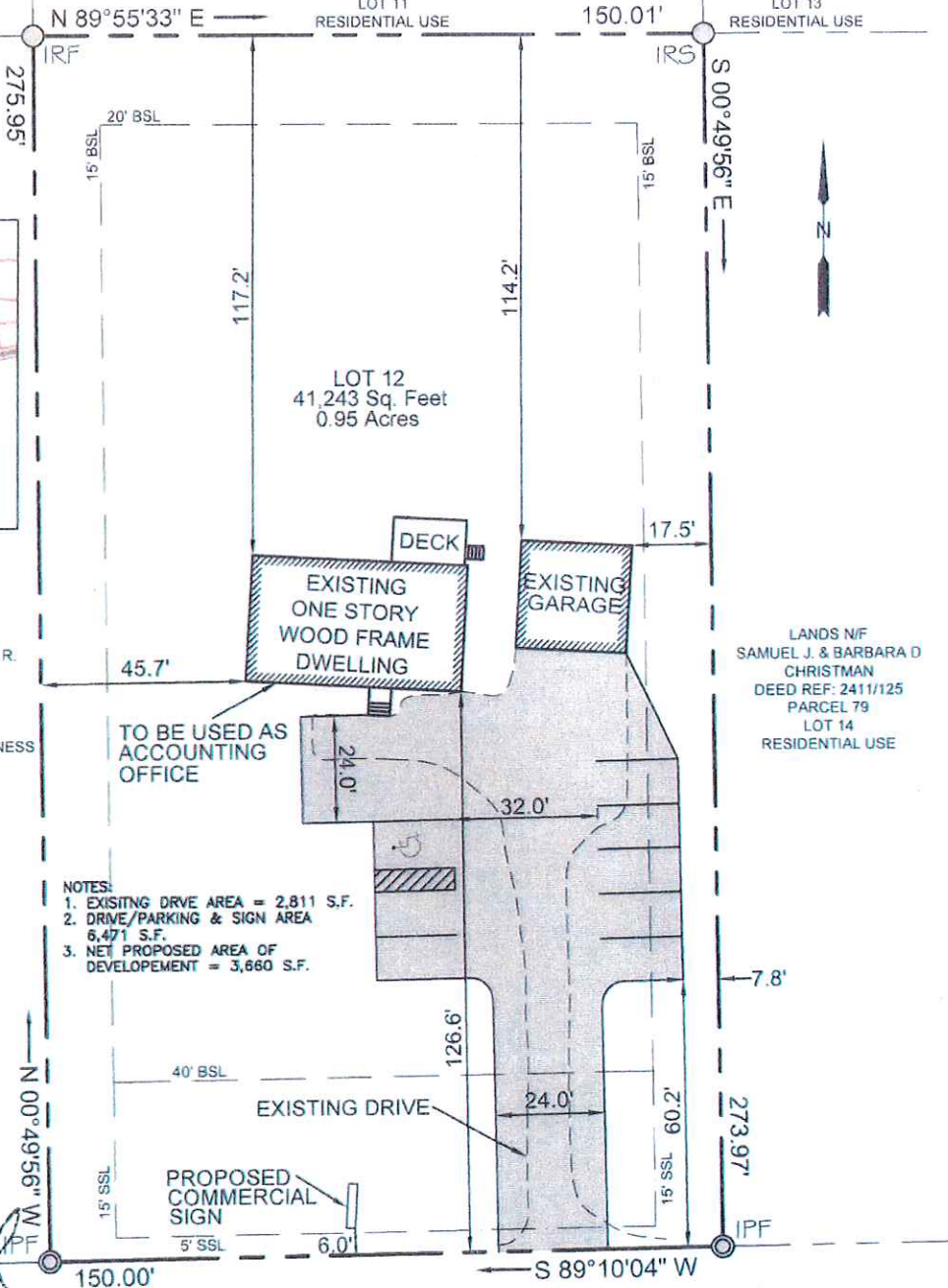
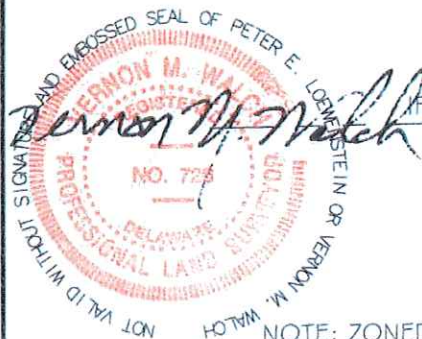
LANDS N/F
JOSEPH M. & MELISSA R. CRISPIN
DEED REF: 3716/87
PARCEL 81
LOT 10
USED AS ROOFING BUSINESS

LANDS N/F
SAMUEL J. & BARBARA D. CHRISTMAN
DEED REF: 2411/125
PARCEL 79
LOT 14
RESIDENTIAL USE

PARKING NOTES:
DWELLING = 1,373 Sq. Feet
7 TOTAL SPACES REQUIRED
8 TOTAL SPACES PROVIDED
(7 STANDARD SPACES)
(1 HANDICAP SPACE)



NOTES:
1. EXISTING DRIVE AREA = 2,811 S.F.
2. DRIVE/PARKING & SIGN AREA = 5,471 S.F.
3. NET PROPOSED AREA OF DEVELOPMENT = 3,660 S.F.



LEWES-GEORGETOWN HIGHWAY
DELAWARE STATE ROUTE 404
U.S. ROUTE 9

IRFO IRON REBAR FOUND
IRS IRON REBAR SET
IPF IRON PIPE FOUND
--- BOUNDARY
--- BUILDING SETBACK LINE
--- SIGN SETBACK LINE
[Shaded Area] AREA OF PROPOSED PARKING AND DRIVE

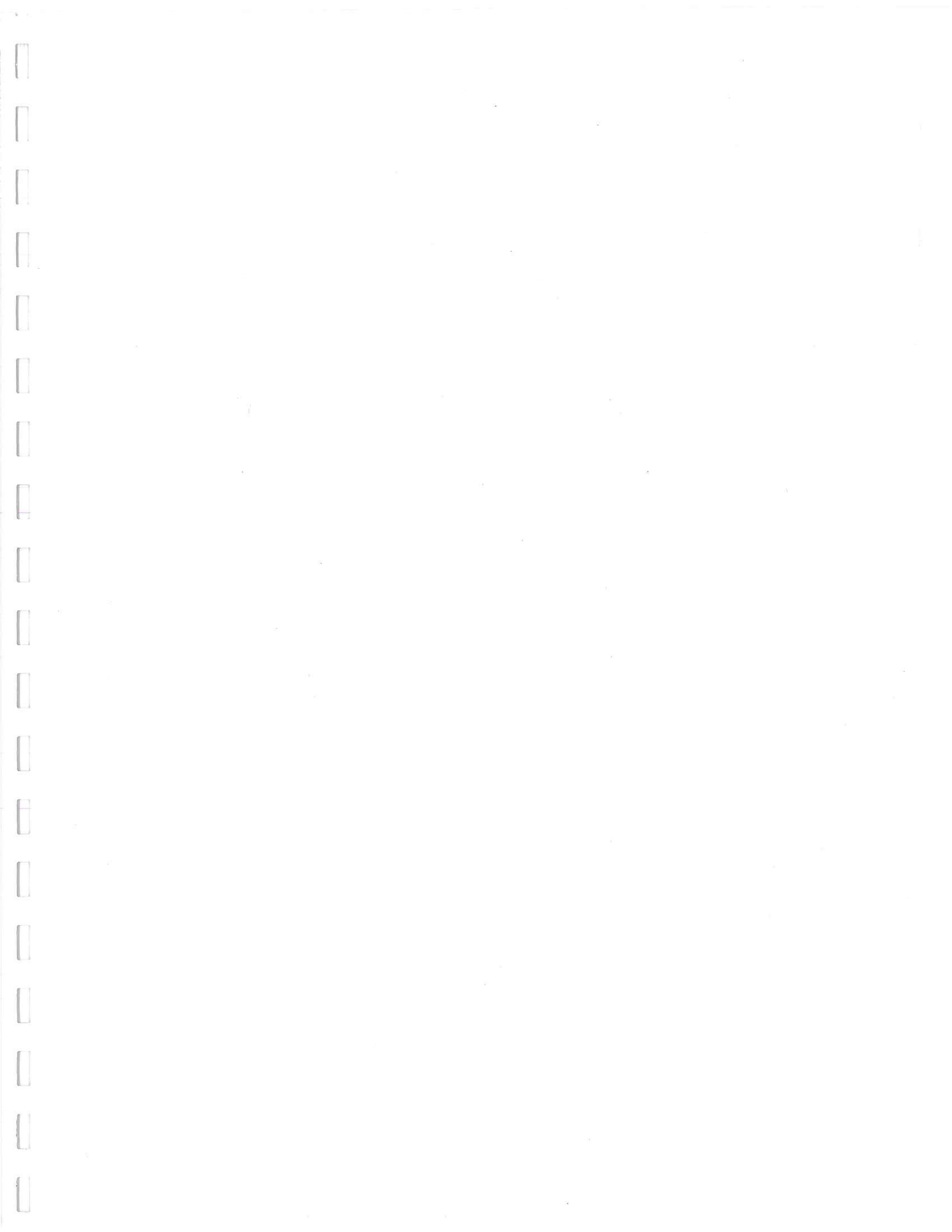
NOTE: ZONED AGRICULTURAL RESIDENTIAL (AR-1)

ATLANTIC SURVEYING & MAPPING, L.L.C.
P.O. BOX 247
HARBESON, DE 19951
PH. 302-684-2980

Boundary Survey Plan For Conditional Use Application
Lot 12, Stamper Farms, 29065 Lewes Georgetown Hwy
Lewes, Lewes and Rehoboth Hundred, Sussex County, Delaware
Plat Ref.: Bk. 31, Pg. 159
Scale: 1" = 40'
Class "B" Survey
Client: Howard Weston Development
TAX MAP: 3-34-4.00-80.00

No recorded rights-of-way, easements or other encumbrances affecting these lands have been provided to the Surveyor by the Client. No warranty as to title to any lands depicted hereon is explicitly or implicitly provided.

SURVEYED BY: V. WALCH PLS
DRAWN BY: MCS
CHECKED BY: PEL
PROJECT #: 180809
DATE: 10/3/18
SHEET NO: 1



Sussex County




February 15, 2019


polygonLayer  County Boundaries

Override 1

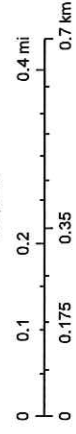
polygonLayer

Override 1

 Tax Parcels

 Streets

1:9,028



Sussex County Government
 Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



Proposed Site

Platinum Roofs

Brinton's RV

Brinton Blvd

Rd 247

Beaman's Old & Gnu Antiques

Loyal Order of Moose

Moonlight Architecture, Inc

Sassy Chic

BSD e Narrow Rd

Rafter Bucket

Fishermans Ln

Little Goat Ln

Foxfield Ln

Ravens Way

Stamber Dr

Stamber Dr

Canter Ave

Arabian Acres Rd

Diane Dr

Raven's Way

Little Goat Ln

Sandy Paws Pet Spa

Habitat for Humanity - Restore Store

Lewes Georgetown Hwy

Log Cabin Hill Rd

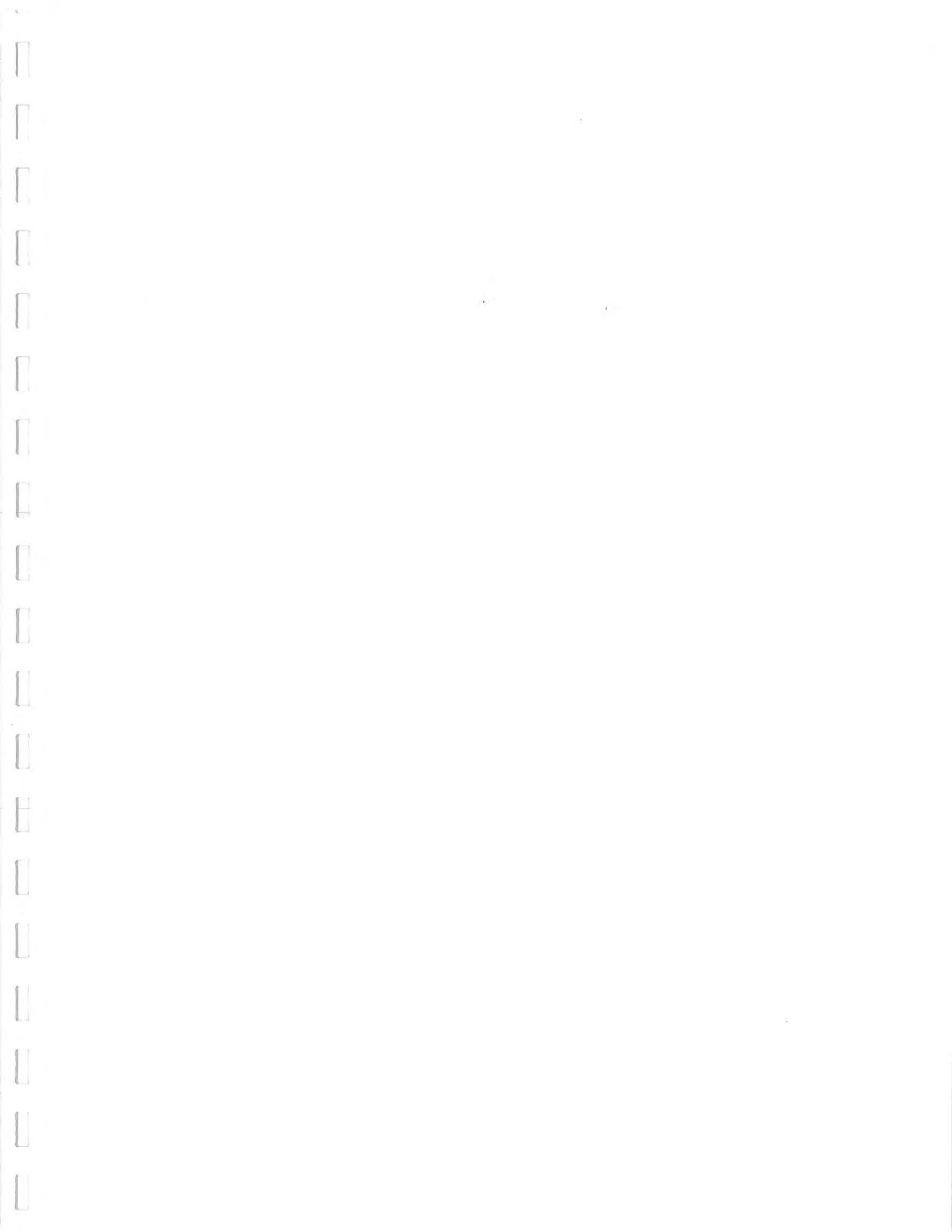
Lawrence Cir

Maple Rd

Pines Ground Sort Rd 247







PLANNING & ZONING COMMISSION

MARTIN L. ROSS, CHAIRMAN
KIM HOEY STEVENSON, VICE CHAIRMAN
R. KELLER HOPKINS
DOUGLAS B. HUDSON
ROBERT C. WHEATLEY



Sussex County

DELAWARE
sussexcountyde.gov
302-855-7878 T
302-854-5079 F
JANELLE M. CORNWELL, AICP
DIRECTOR

Service Level Evaluation Request Form

This form **shall** be submitted to the Planning and Zoning Office and a response **shall** be received back from DeIDOT prior to the applicant being able to submit an application to the Planning and Zoning Office.

Date: 6/7/18

Site Information:

Site Address/Location: 29065 Georgetown Lewes Hwy

Tax Parcel Number: 334-04.00-80.00

Current Zoning: AR-1

Proposed Zoning: C.U.

Land Use Classification: Low Density

Proposed Use(s): Accounting Office

Square footage of any proposed buildings or number of units: 1,344 sq.ft.

Applicant Information:

Applicant's Name: Howard Weston Development Co., LLC

Applicant's Address: 1 Bassett Avenue

City: New Castle State: DE Zip Code: 19720

Applicant's Phone Number: (302) 856-0010

Applicant's e-mail address: dschrader@morrisjames.com



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

July 5, 2018

Ms. Janelle Cornwell, Director
Sussex County Planning & Zoning
P.O. Box 417
Georgetown, DE 19947

Dear Ms. Cornwell:

The Department has completed its review of a Service Level Evaluation Request for the **Howard Weston Development Co., LLC** conditional use application, which we received on June 6, 2018. This application is for a 0.95-acre parcel (Tax Parcel: 334-4.00-80.00). The subject land is located on the north side of US Route 9, approximately 230 feet west of the intersection of US Route 9 and Arabian Acres Road (Sussex Road 282). The subject land is currently zoned AR-1 (Agricultural Residential), and the applicant is seeking a conditional use approval to utilize the existing facility to operate a 1,344 square-foot accounting office.

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Based on our review, we estimate that the above land uses will generate fewer than 50 vehicle trips in any hour and fewer than 500 vehicle trips per day. These numbers of trips are DelDOT's minimum warrants for determining that a Traffic Impact Study (TIS) should be required for a particular development. Because the proposed land use would not meet these warrants, we consider the development's traffic impact to be negligible in the context of our agreement with the County regarding land development coordination and we do not recommend that the applicant be required to perform a TIS for the subject application. DelDOT's description of this application as negligible with regard to warranting a TIS does not mean that it is negligible in other respects. We recommend that the applicant not be required to perform a TIS for the subject application.



Ms. Janelle M. Cornwell
Page 2 of 2
July 5, 2018

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence.

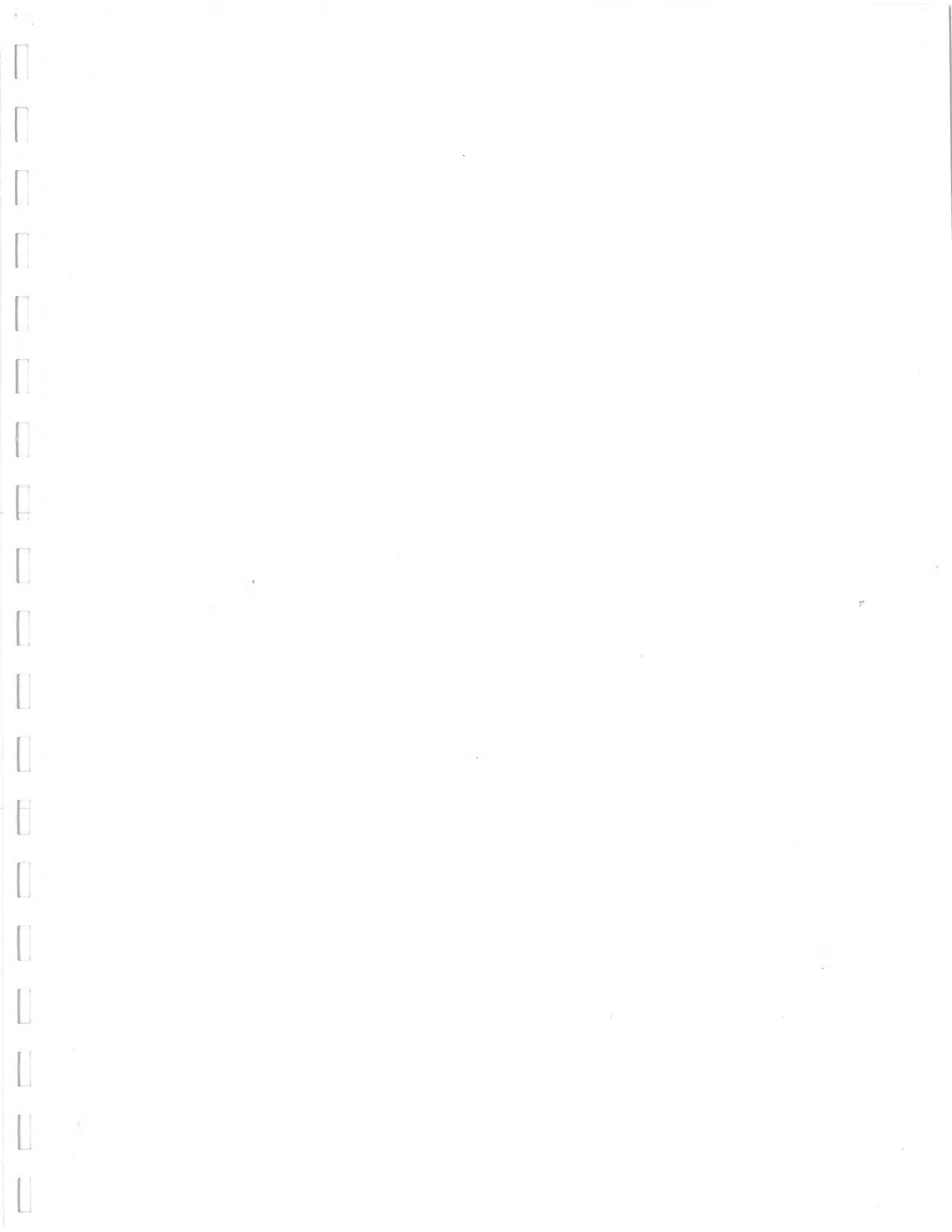
Sincerely,



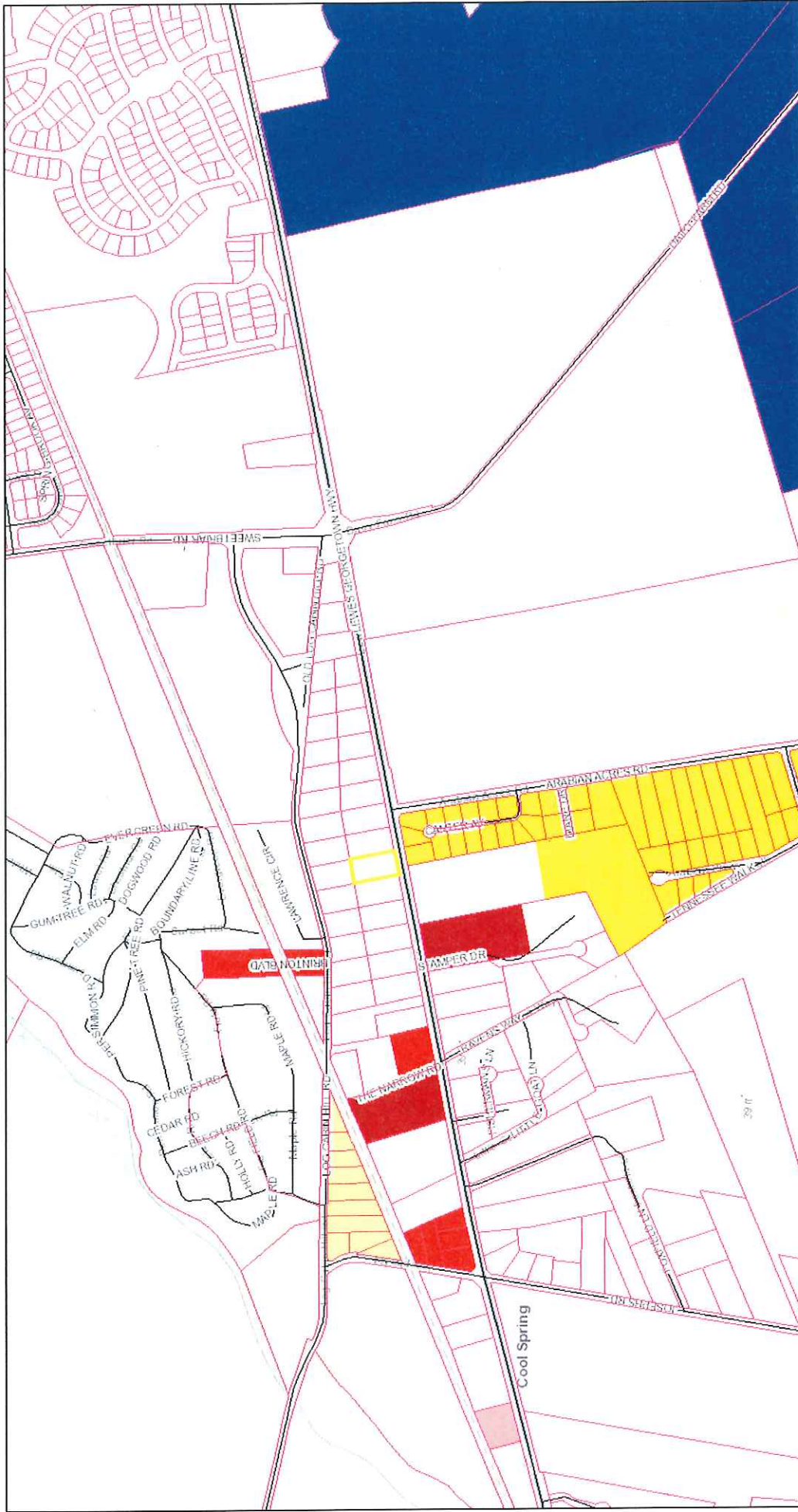
T. William Brockenbrough, Jr.
County Coordinator
Development Coordination

TWB:cjm

cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues
Howard Weston Development Co., LLC, Applicant
J. Marc Coté, Assistant Director, Development Coordination
Gemez Norwood, South District Public Works Manager, Maintenance and
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Steven Sisson, Sussex County Subdivision Coordinator, Development Coordination
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Susanne Laws, Subdivision Manager, Development Coordination
Troy Brestel, Project Engineer, Development Coordination
Claudy Joinville, Project Engineer, Development Coordination



Sussex County



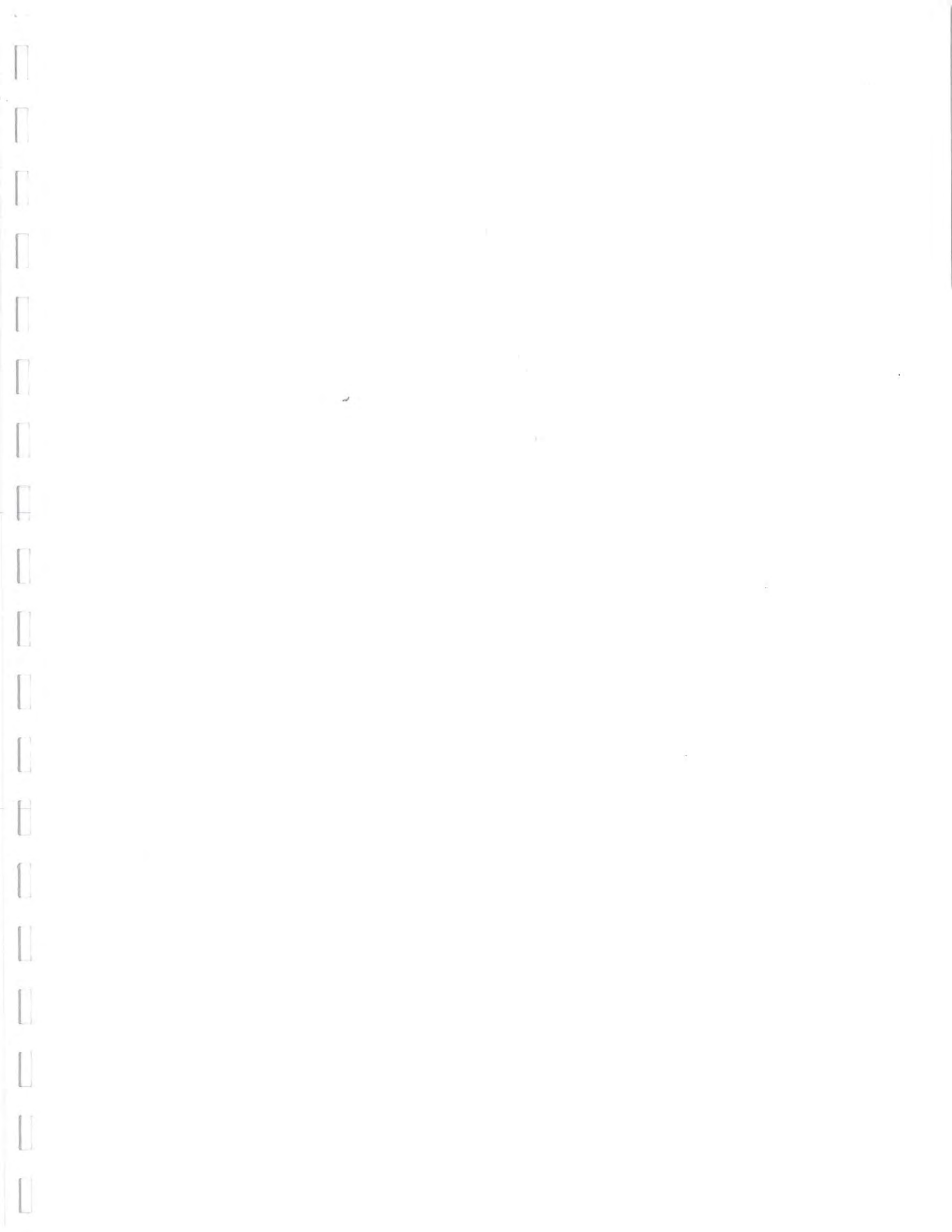
February 15, 2019

1:9,028

0 0.1 0.2 0.35 0.4 mi
0 0.1 0.2 0.35 0.7 km

polygonLayer	Zoning	Ag Preservation Districts
Override 1	Agricultural Residential - AR-1	Agricultural Easement
polygonLayer	Agricultural Residential - AR-2	Agricultural District
Override 1	Medium Residential - MR	Agricultural Expansion
Tax Parcels	General Residential - GR	
Streets	High Density Residential - HR-1	
	High Density Residential - HR-2	
	Vacation, Retire, Resident - VRP	
	Neighborhood Business - B-1	
	General Commercial - C-1	
	Commercial Residential - CR-1	
	Marine - M	
	Limited Industrial - LI-1	
	Limited Industrial - LI-2	
	Heavy Industrial - HI-1	
	County Boundaries	
	Young Farmers Loan	
	Forest Land Preservation	
	Forestland Preservation Area	
	Forestland Preservation Easement	

Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri, Japan, METI, Esri, China (Hong Kong), Swisstopo, © OpenStreetMap contributors, and the GIS User Community
Sussex County





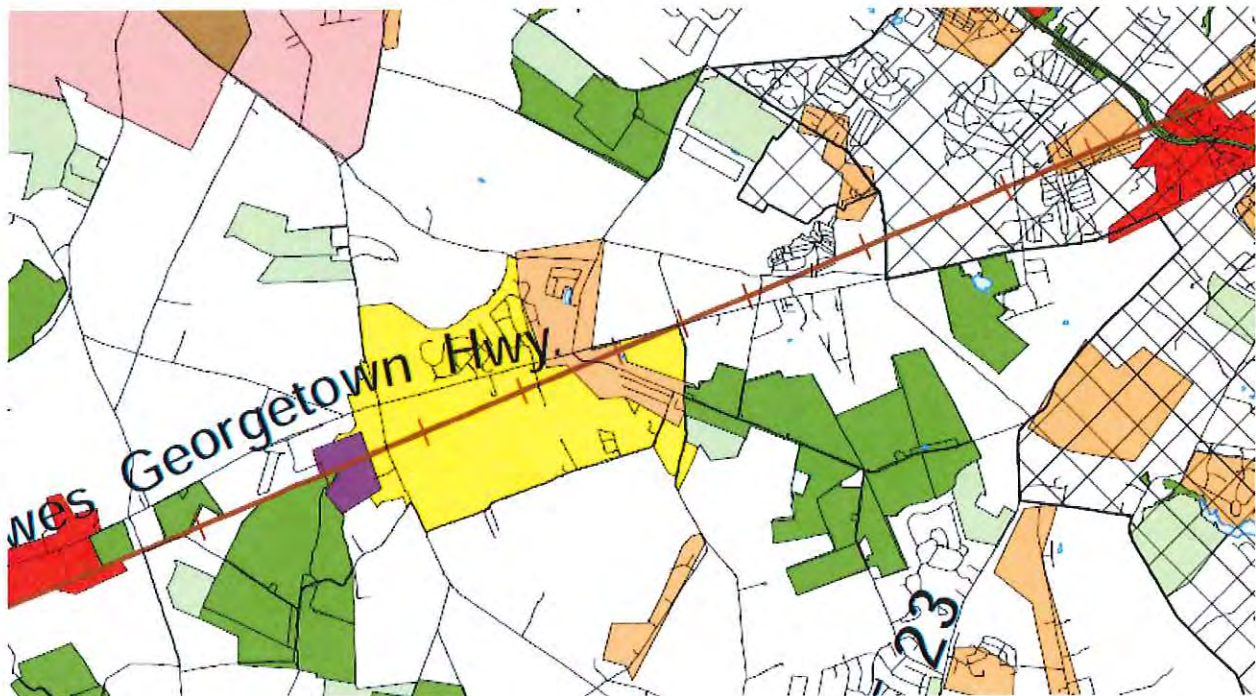
2008 Future Land Use Map

Growth Areas

-  Municipality
-  Town Center
-  Developing Area
-  Environmentally Sensitive Developing Area
-  Mixed Residential Areas
-  Highway Commercial Areas
-  Planned Industrial Areas

Rural Areas

-  Low Density Area
-  Protected Lands
(All Federal lands, State lands, agricultural easements, private conservancy lands, major wetlands and lands preserved by other conservation easements)
-  Agricultural Preservation Districts Under the State Program
(A voluntary program. Only a very limited number of homes allowed on a tract under State regulations during the time of an agreement. Participating landowners are eligible to sell development rights to the State.)











Sussex County
Comprehensive
Plan

DRAFT 2045 Future Land Use Map

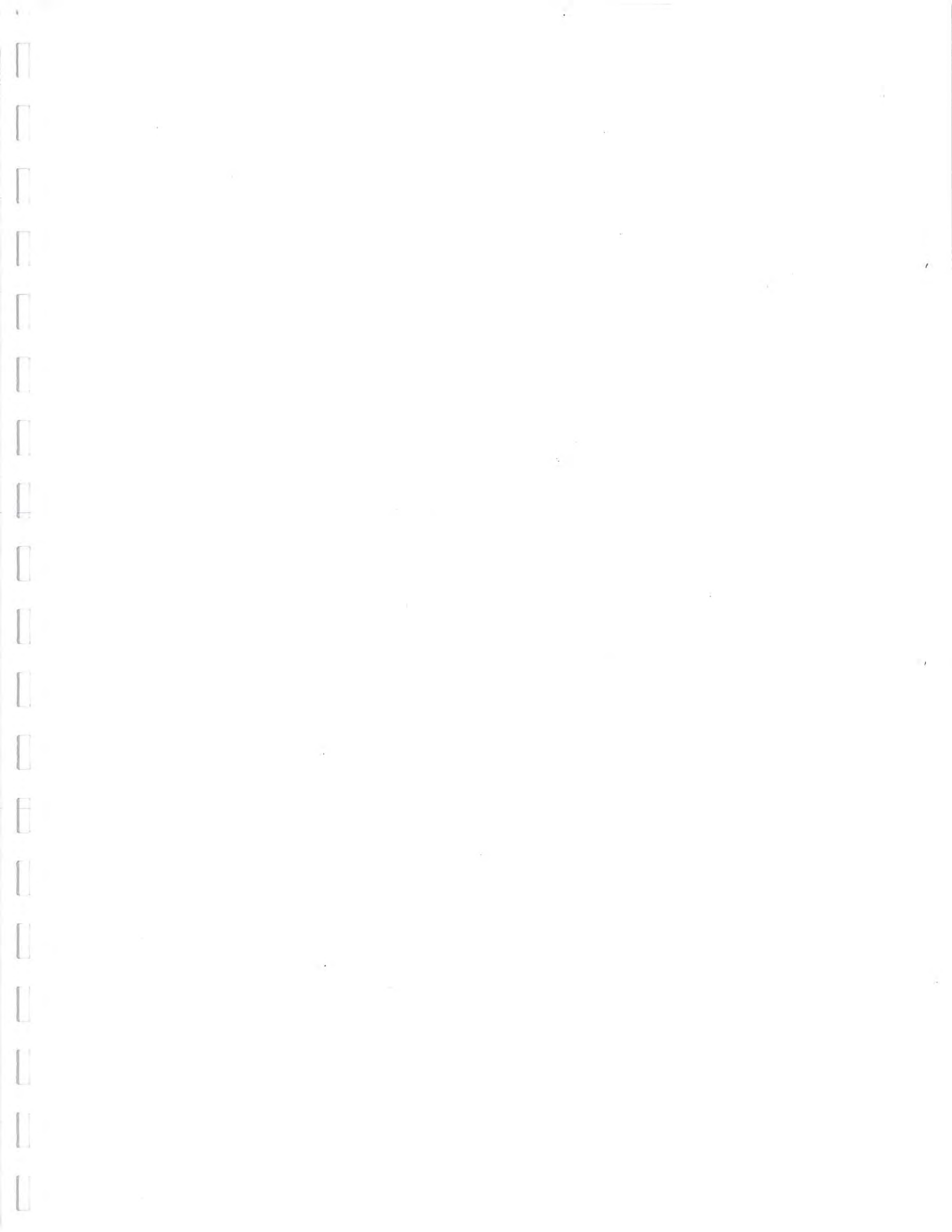
Growth Areas

-  Municipalities
-  Town Center
-  Developing Area
-  Existing Development Area
-  Coastal Area
-  Commercial
-  Industrial Area

Rural Areas

-  Low Density
-  Protected Land
-  Ag. Preservation District
-  Ag. Preservation Easement





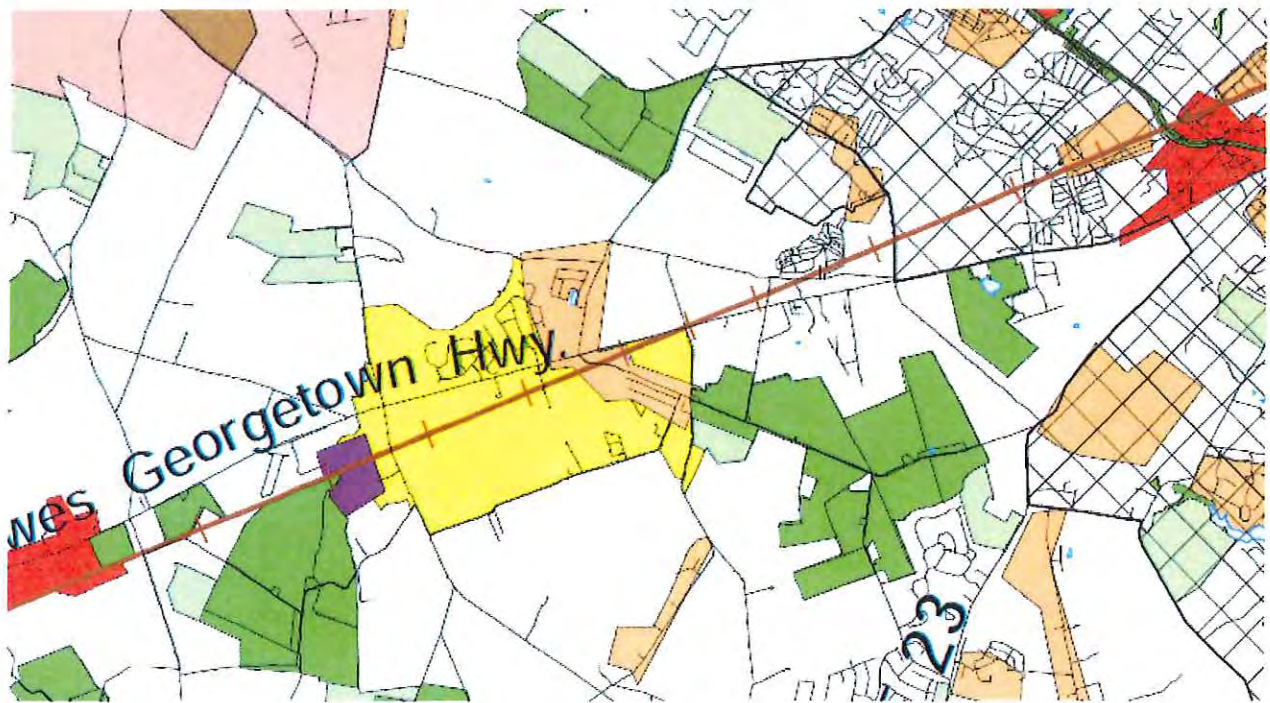
2008 Future Land Use Map

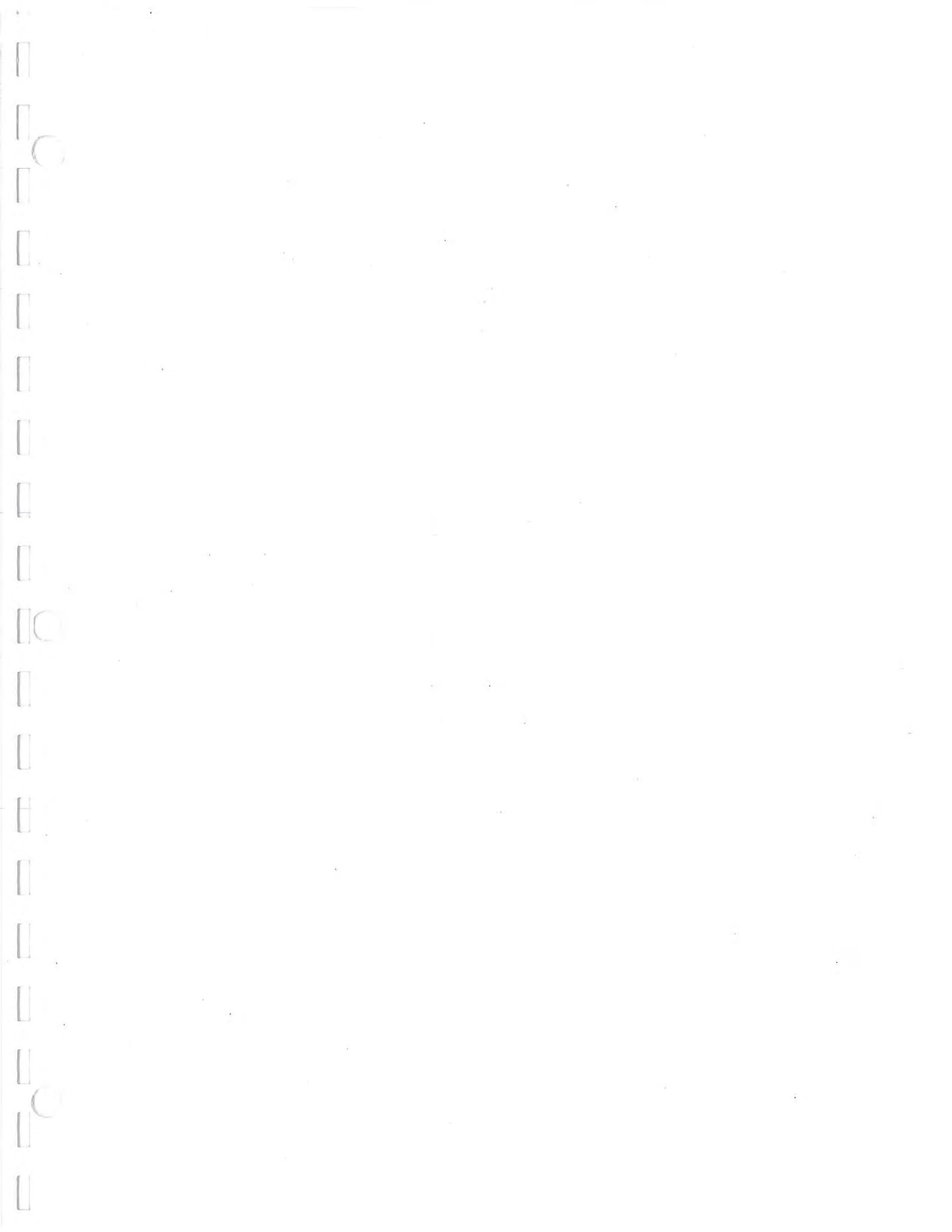
Growth Areas

-  Municipality
-  Town Center
-  Developing Area
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-  Mixed Residential Areas
-  Highway Commercial Areas
-  Planned Industrial Areas

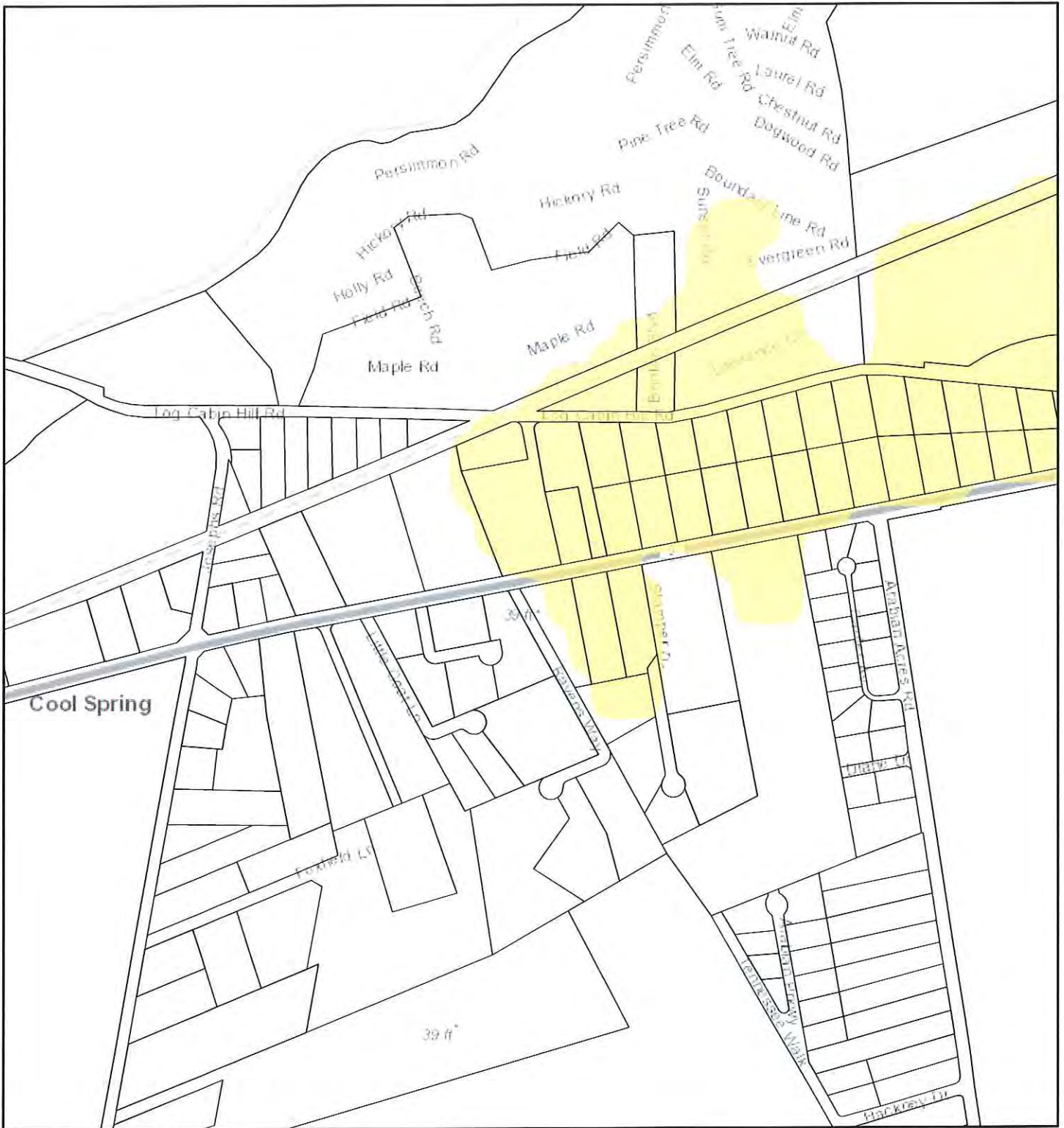
Rural Areas

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(All Federal lands, State lands, agricultural easements, private conservancy lands, major wetlands and lands preserved by other conservation easements)
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Delaware State Strategies 2015



February 15, 2019

DE_2015_State_Strategies

State Strategies 2015

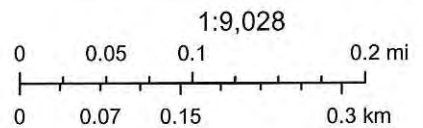
Level 1

Level 2

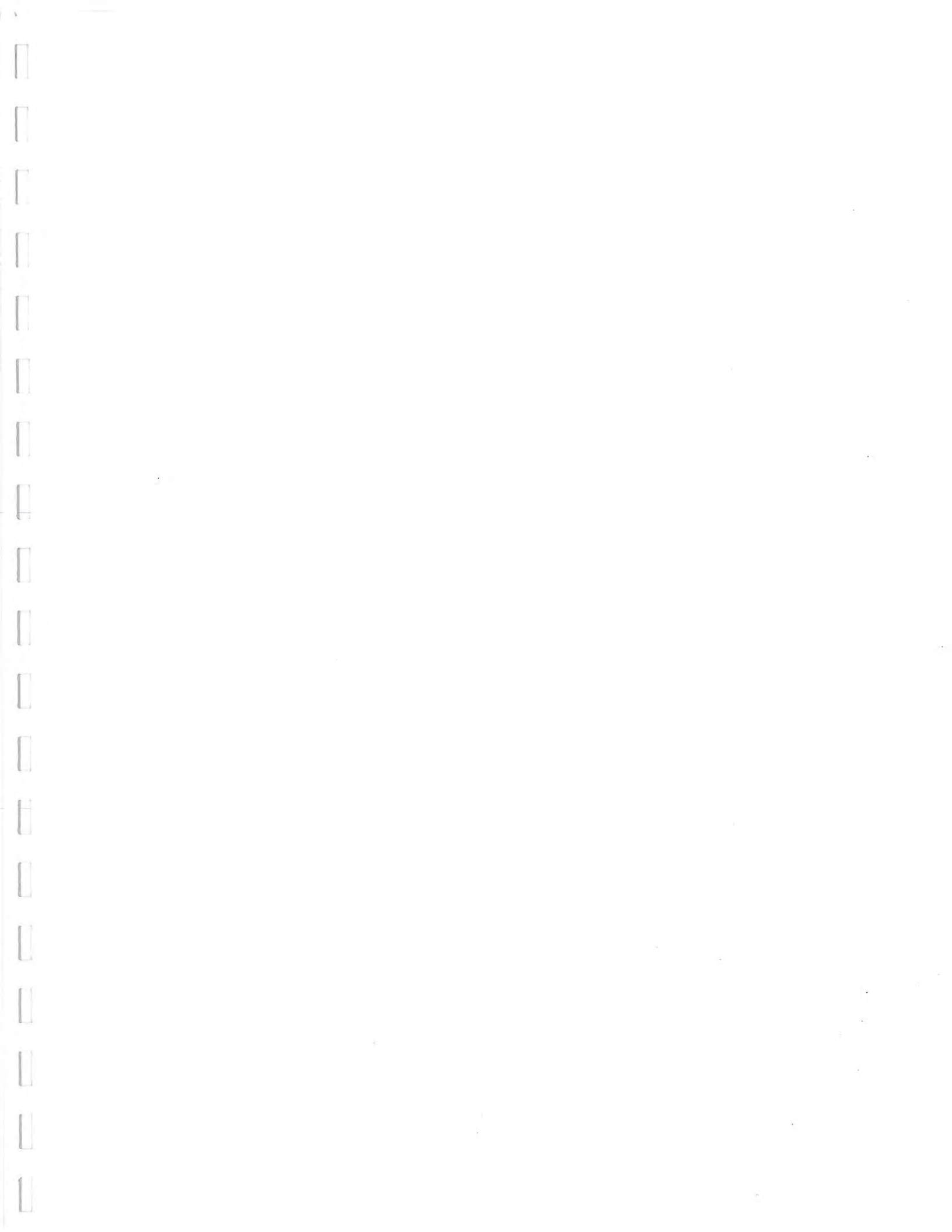
Level 3

Level 4

Out of Play



Delaware Office of State Planning Coordination, Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, © OpenStreetMap contributors, and the GIS



TAX MAP AND PARCEL #: 3-34 4.00 80.00
PREPARED BY & RETURN TO:
Morris James Wilson Halbrook & Bayard, LLP
107 West Market Street
P.O. Box 690
Georgetown, DE 19947
File No. 201854/DLS

24788

BK: 4915 PG: 323

THIS DEED, made this 5th day of July, 2018,

- BETWEEN -

BRIDGET M. KUCHARIK, of 29065 Lewes Georgetown Highway, Lewes, DE 19958,
party of the first part,

- AND -

HOWARD WESTON DEVELOPMENT COMPANY, LLC, A DELAWARE LIMITED LIABILITY COMPANY, of 1 Bassett Avenue, New Castle, DE 19720, party of the second part.

WITNESSETH: That the said party of the first part, for and in consideration of the sum of **TEN and 00/100 Dollars (\$10.00)**, lawful money of the United States of America, the receipt whereof is hereby acknowledged, hereby grants and conveys unto the party of the second part, and its successors and assigns, in fee simple, the following described lands, situate, lying and being in Sussex County, State of Delaware:

ALL THAT CERTAIN lot, piece and parcel of land, situate, lying and being in Lewes and Rehoboth Hundred, Sussex County and State of Delaware, and lying on the North side of Route 18, being known and designated as Lot 12, Stamper Farms, as set forth in a Plot of Stamper Farms, prepared by J. J. McCann, Inc., registered surveyors and land developers, dated the 27th day of November, 1984, and of record in the Office of the Recorder of Deeds in and for Sussex County, at Georgetown, Delaware, in Plot Book 31, at page 159, and as more particularly bounded and described in a survey of said Lot 1, Stamper Farms prepared by J. J. McCann, Inc., dated the 19th day of February, as follows, to-wit:

BEGINNING at an iron pipe set in the northerly right-of-way line of Route 18, said iron pipe marking a common comer for this lot and Lot 14, Stamper Farms; thence running by and with the northerly right-of-way line of Route 18, South 89° 10' 04" West, 150.00 feet to an iron pipe, said iron pipe marking a common comer for this Lot 12 and Lot 10, Stamper Farms; thence turning and running by and with the common boundary line between this Lot 12 and Lot 10, Stamper Farms, North 00° 49' 56" West, 275.95 feet to an iron pipe, said iron pipe marking a common comer between this Lot 12 and Lot 10, Lot 9 and Lot 11, Stamper Farms; thence turning and running by and with the common boundary line between this Lot 12 and Lot 11, Stamper Farms, North 89° 55' 33" East, 150.01 feet to an iron pipe, said iron pipe marking a

8

54

BK# 4915 PG# 324

Stamper Farms, North 89° 55' 33" East, 150.01 feet to an iron pipe, said iron pipe marking a common corner for this Lot 12 and Lot 11, Lot 13 and Lot 14, Stamper Farms; thence turning and running by and with the common boundary line between this Lot 12 and Lot 14, Stamper Farms, South 000 49' 56" East, 273.97 feet to an iron pipe in the northerly right of way line of Route 18, said iron pipe marking the point and place of BEGINNING, said to contain 41,244 square feet, more or less.

BEING the same lands which were conveyed to Bridget M. Kucharik, Thomas M. Kucharik and William M. Kucharik, by Deed from Bridget M. Kucharik dated August 21, 2014 and recorded in the Office of the Recorder of Deeds in and for Sussex County in Deed Book 4336, Page 91.

SUBJECT to Restrictions for Stamper Farms found in a Deed dated February 21, 1990 and recorded in the office of the Recorder of Deeds, Sussex County, Delaware in Deed Book 1701, Page 124, and repeated in a Deed dated August 21, 2014 and recorded in the Office of the Recorder of Deeds in and for Sussex County in Deed Book 4336, Page 91.

SUBJECT to all easements, agreements, covenants, and plans of record, this reference to which shall not be construed to reimpose any such easements, agreement, covenants and plans that have otherwise lapsed, expired, or have otherwise been terminated in accordance with their terms or otherwise, as applicable, but not subject to any mortgages, judgments or other liens of record or otherwise.

IN WITNESS WHEREOF, the party of the first part has hereunto set her hand and seal the day and year first above written.

Signed, Sealed and Delivered in the presence of:

County 3,075.00
State 5,125.00
Town Total 8,200.00
Received: Mary W Jul 10, 2018

Bridget M. Kucharik (SEAL)
Bridget M. Kucharik

RECEIVED
JUL 10, 2018
ASSESSMENT DIVISION
OF SUSSEX COUNTY

STATE OF DELAWARE, COUNTY OF SUSSEX: to-wit

BE IT REMEMBERED, that on July 05, 2018, personally came before me, the subscriber, Bridget M. Kucharik, party of the first part to this Indenture, known to me personally to be such, and acknowledged this Indenture to be her act and deed.

GIVEN under my Hand and Seal of Office the day and year aforesaid.

Notary Public

Consideration: 205,000 My Commission Expires:

Attorney At Law Dennis L. Schrader, Esq.

County 3,075.00
State 5,125.00
Town Total 8,200.00
Received: Mary W Jul 10, 2018

Recorder of Deeds
Scott Dailes
Jul 10, 2018 02:33P
Sussex County
Doc. Surcharge Paid

Mailing List Application Form

For Applications requiring a Public Hearing in Sussex County

Please fill out this form and return it with your application. As a part of your application a Public Hearing is required. The property owners within 200' of the site of the application will be notified. Staff will notify the property owners.

Application Information:

Site Address: 29065 Lewes Georgetown Hwy

Lewes DE

Parcel #: 334-4.00-80.00

Site Address: _____

Parcel #: _____

Applicant Name: Howard Weston Development Company, LLC

Owner Name: same

Type of Application:

Conditional Use:

Change of Zone:

Subdivision:

Board of Adjustment:

Date Submitted: _____

For office use only:

Date of Public Hearing: _____

File #: _____

Date list created: _____

List created by: _____

Date letters mailed: _____

Letters sent by: _____



STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

July 5, 2018

Ms. Janelle Cornwell, Director
Sussex County Planning & Zoning
P.O. Box 417
Georgetown, DE 19947

Dear Ms. Cornwell:

The Department has completed its review of a Service Level Evaluation Request for the **Howard Weston Development Co., LLC** conditional use application, which we received on June 6, 2018. This application is for a 0.95-acre parcel (Tax Parcel: 334-4.00-80.00). The subject land is located on the north side of US Route 9, approximately 230 feet west of the intersection of US Route 9 and Arabian Acres Road (Sussex Road 282). The subject land is currently zoned AR-1 (Agricultural Residential), and the applicant is seeking a conditional use approval to utilize the existing facility to operate a 1,344 square-foot accounting office.

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Ms. Janelle M. Cornwell
Page 2 of 2
July 5, 2018

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence.

Sincerely,



T. William Brockenbrough, Jr.
County Coordinator
Development Coordination

TWB:cjm

cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues
Howard Weston Development Co., LLC, Applicant
J. Marc Coté, Assistant Director, Development Coordination
Gemez Norwood, South District Public Works Manager, Maintenance and
Operations
Steven Sisson, Sussex County Subdivision Coordinator, Development Coordination
Derek Sapp, Subdivision Manager, Development Coordination
Brian Yates, Subdivision Manager, Development Coordination
Susanne Laws, Subdivision Manager, Development Coordination
Troy Brestel, Project Engineer, Development Coordination
Claudy Joinville, Project Engineer, Development Coordination

PLANNING & ZONING COMMISSION

MARTIN L. ROSS, CHAIRMAN
KIM HOEY STEVENSON, VICE CHAIRMAN
R. KELLER HOPKINS
DOUGLAS B. HUDSON
ROBERT C. WHEATLEY



Sussex County

DELAWARE
sussexcountyde.gov
302-855-7878 T
302-854-5079 F
JANELLE M. CORNWELL, AICP
DIRECTOR

Service Level Evaluation Request Form

This form **shall** be submitted to the Planning and Zoning Office and a response **shall** be received back from DelDOT prior to the applicant being able to submit an application to the Planning and Zoning Office.

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Site Information:

Site Address/Location: 29065 Georgetown Lewes Hwy

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Proposed Zoning: C.U.

Land Use Classification: Low Density

Proposed Use(s): Accounting Office

Square footage of any proposed buildings or number of units: 1,344 sq.ft.

Applicant Information:

Applicant's Name: Howard Weston Development Co., LLC

Applicant's Address: 1 Bassett Avenue

City: New Castle State: DE Zip Code: 19720

Applicant's Phone Number: (302) 856-0010

Applicant's e-mail address: dschrader@morrisjames.com

LANDS N/F
ANNETTE M. WRIGHT
DEED REF: 4804/200
PARCEL 62
LOT 9
RESIDENTIAL USE

LANDS N/F
JEFFREY E. & LINDA K. KRAEMER
DEED REF: 4874/142
PARCEL 63
LOT 11
RESIDENTIAL USE

LANDS N/F
TERRY C. RAWLEY
DEED REF: 2382/118
PARCEL 64
LOT 13
RESIDENTIAL USE

Based on the Federal Emergency Management Agency Flood Insurance Rate Map, Panel 326 of 660, Community Panel No 10005C0326J, Dated January 8, 2005. The property shown hereon is located within zone X (Area of minimal flooding).

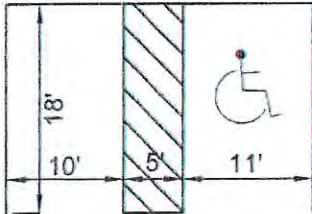


VICINITY MAP
NO SCALE

LANDS N/F
JOSEPH M. & MELISSA R. CRISPIN
DEED REF: 3718/87
PARCEL 81
LOT 10
USED AS ROOFING BUSINESS

LANDS N/F
SAMUEL J. & BARBARA D. CHRISTMAN
DEED REF: 2411/125
PARCEL 79
LOT 14
RESIDENTIAL USE

PARKING NOTES:
DWELLING = 1,373 Sq. Feet
7 TOTAL SPACES REQUIRED
8 TOTAL SPACES PROVIDED
(7 STANDARD SPACES)
(1 HANDICAP SPACE)



- NOTES:
1. EXISTING DRIVE AREA = 2,811 S.F.
2. DRIVE/PARKING & SIGN AREA = 6,471 S.F.
3. NET PROPOSED AREA OF DEVELOPMENT = 3,860 S.F.



LEWES-GEORGETOWN HIGHWAY
DELAWARE STATE ROUTE 404
U.S. ROUTE 9

- IRFO ○ IRON REBAR FOUND
- IRS ○ IRON REBAR SET
- IPF ○ IRON PIPE FOUND
- BOUNDARY
- BUILDING SETBACK LINE
- SIGN SETBACK LINE
- AREA OF PROPOSED PARKING AND DRIVE

NOTE: ZONED AGRICULTURAL RESIDENTIAL (AR-1)

ATLANTIC SURVEYING & MAPPING, L.L.C.
P.O. BOX 247
HARBESON, DE 19951
PH. 302-684-2980

Boundary Survey Plan For Conditional Use Application
Lot 12, Stamper Farms, 29065 Lewes Georgetown Hwy
Lewes, Lewes and Rehoboth Hundred, Sussex County, Delaware
Plat Ref.: Bk. 31, Pg. 159
Scale: 1" = 40'
Class "B" Survey
Client: Howard Weston Development
TAX MAP: 3-34-4.00-80.00

No recorded rights-of-way, easements or other encumbrances affecting these lands have been provided to the Surveyor by the Client. No warranty as to title to any lands depicted hereon is explicitly or implicitly provided.

SURVEYED BY: V. WALCH PLS
DRAWN BY: MCS
CHECKED BY: PEL
PROJECT #: 180809
DATE: 10/3/18
SHEET NO: 1





A FULL SERVICE SIGN COMPANY
Rogers Sign Co., Inc.
 WE'RE FULL OF BRIGHT IDEAS.

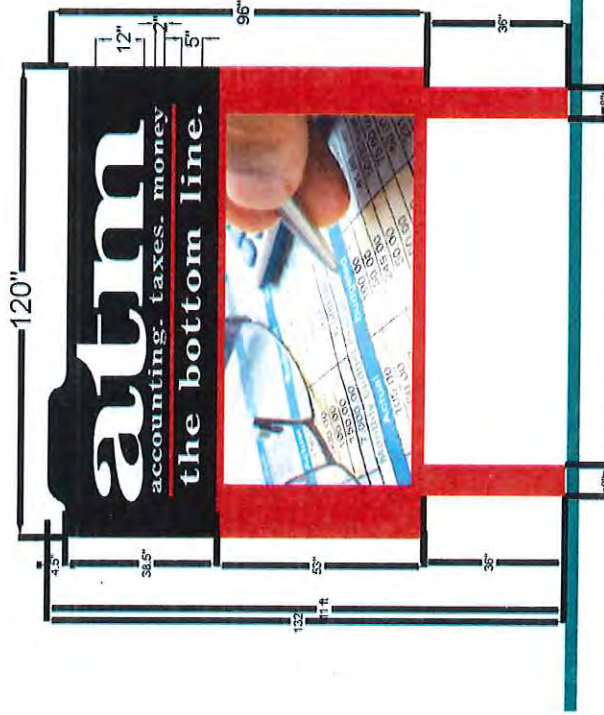
110 Lavinia St., Milton, De 19968
 www.rogerssign.com
 302-684-8338 302-684-0700 Fax

AIM

Job Name
 Project Location 26065 LEWES GEORGETOWN
 Client Contact
 order # 00000 Date 07/2/18 Artist Name DEB BRENNEMAN

After deposit all projects include 3 free proof revisions, thereafter billed at our hourly design rate

Proof # 1/3



29065 LEWES GEORGETOWN HWY



PRODUCT DETAIL: ELECTRONIC MESSAGE CENTER - 51"0"H X 79" W
 16MM
 64 X 144 metric
 2 sided

FONTS:

MATERIALS USED:

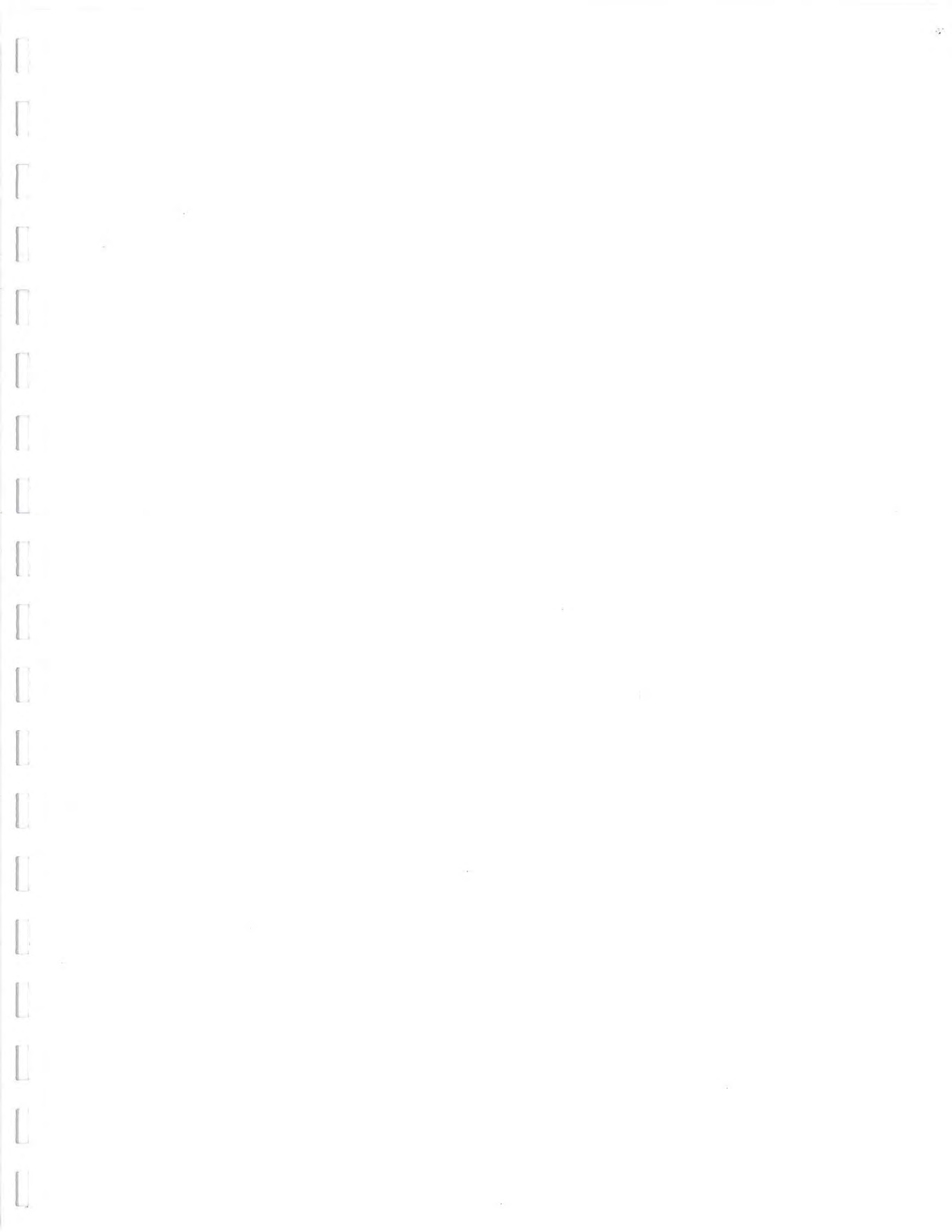
VINYL MATERIAL:

PLEASE REVIEW CAREFULLY! Check all spelling, phone numbers, websites, addresses, dates, etc. Also check for any omissions. Rogers Sign Co., Inc., will not be held responsible for any errors once this design has been approved.

All Drawings, Renderings, and/or Details are sole property of Rogers Sign Co., Inc. and are not to be duplicated or to be shown to anyone unauthorized by Rogers Sign Co., Inc.

- Approved
- Approved Pending Revisions
- Revise and Resubmit

AUTHORIZED SIGNATURE _____ DATE ____/____/____
 X



**PROPOSED
FINDINGS OF FACT
HOWARD WESTON DEVELOPMENT COMPANY, LLC**

1. This is an application is made pursuant to Sussex County Code § 115-22 for the conditional use of land in an AR-1 Agriculture Residential District for professional offices for accounting, tax preparation, and bookkeeping services.
2. The subject property is located in Lewes and Rehoboth Hundred, on the north side of Lewes-Georgetown Highway (Route 9), approximately 0.38 mi. west of its intersection with Sweetbriar Road.
3. This parcel is Lot 12, Stamper Farms, and its address is 29065 Lewes-Georgetown Highway.
4. The applicant, Howard Weston Development Company, LLC, owns the property.
5. At present, the surrounding area is a community that has formed from existing and developing subdivisions and has enjoyed commercial growth, including retail appliance sales, antiques, builder supplies, gun shops, roofing contractor, architect, etc.
6. The proposed project will be served with on-site water and central on-site wastewater treatment.
7. In the Sussex County Comprehensive Plan, the area for the proposed project is identified for purposes of future land use as a “low density area” which encourages agricultural activities, single-family detached homes, and related commercial activities through conditional uses. The Strategies for State Policies and Spending identify the area as Investment level 3.

8. The proposed conditional use will not significantly change the appearance of the site, is in character with the nature of the area, and will not adversely affect the neighboring and adjacent properties.
9. The proposed application meets the purpose of the Zoning Ordinance in that it promotes the orderly growth, convenience, order, prosperity and welfare of the County.

PROPOSED CONDITIONS

1. Final site plan of the conditional use shall be subject to review by Sussex County Planning & Zoning Commission.
2. Signage shall be permitted as if the project were located in a CR-1 Commercial Residential District; that is 96” in height and 120” in width as shown in Applicant’s Exhibit Book.
3. The hours of operation shall be Monday through Friday from 7:00 AM until 9:00 PM; Saturday, 7:00 AM until 5:00 PM; and Sundays, closed.
4. The project shall be served by on-site water and central on-site wastewater treatment.
5. The applicant shall provide for the maintenance, repair and replacement, if necessary, of interior streets and roads, buffers, stormwater management facilities, and other common areas.

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
HOLLY J. WINGATE
J. BRUCE MEARS



Sussex County

DELAWARE
sussexcountyde.gov
302-855-7878 T
302-854-5079 F
JANELLE CORNWELL, AICP
DIRECTOR

PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET
Planning Commission Public Hearing Date February 28, 2019

Application: CZ 1872 T.S. Smith & Sons, Inc.

Applicant: T.S. Smith & Sons, Inc.
8899 Redden Road
Bridgeville, DE 19933

Owner: Charles W. Smith III, Matthew Smith & Thomas Smith
10562 Redden Road
Bridgeville, DE 19933

Site Location: 8899 Redden Road, west side of Sussex Highway, south side of Fawn Road, east side of Main Street and north side of Redden Road.

Current Zoning: AR-1 (Agricultural Residential District)

Proposed Zoning: C-3 (Heavy Commercial District)

Comprehensive Land Use Plan Reference: Town Center Area

Councilmatic District: Mr. Vincent

School District: Woodbridge School District

Fire District: Bridgeville Fire District

Sewer: Private On-Site

Water: Private On-Site

Site Area: 25.6694 ac. +/-

Tax Map ID.: 131-10.00-89.00





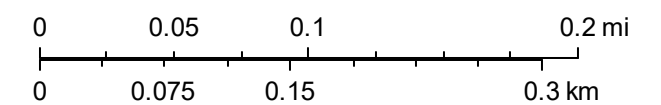
Sussex County



PIN:	131-10.00-89.00
Owner Name	SMITH T S & SONS INC
Book	0
Mailing Address	PO BOX 275
City	BRIDGEVILLE
State	DE
Description	W/RT 13 INT
Description 2	N/RT 40 S/RT 600
Description 3	FX
Land Code	

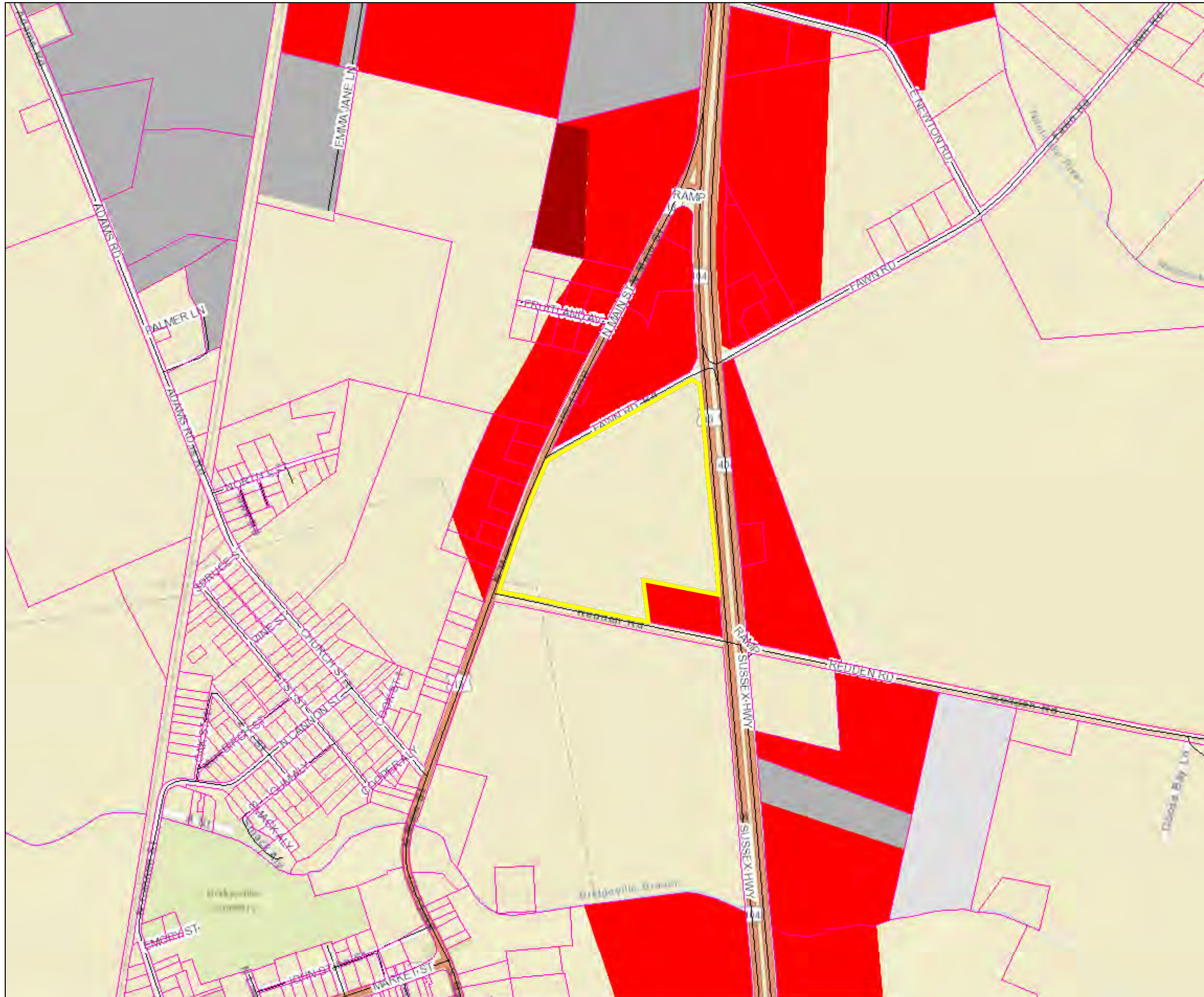
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Override 1
- polygonLayer**
Override 1
- Tax Parcels
- Streets
- County Boundaries

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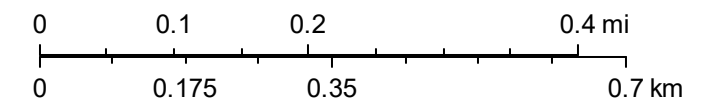
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- polygonLayer**
Override 1
- polygonLayer**
Override 1
- Tax Parcels
- Streets
- Zoning**
- Agricultural Residential - AR-1
- Agricultural Residential - AR-2
- Medium Residential - MR
- General Residential - GR
- High Density Residential - HR-1
- High Density Residential - HR-2
- Vacation, Retire, Resident - VRP
- Neighborhood Business - B-1
- General Commercial - C-1
- Commercial Residential - CR-1
- Marine - M
- Limited Industrial - LI-1
- Limited Industrial - LI-2
- Heavy Industrial - HI-1

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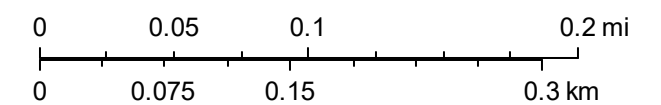
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- County Boundaries

1:4,514



PLANNING & ZONING

JANELLE M. CORNWELL, AICP
DIRECTOR

(302) 855-7878 T
(302) 854-5079 F



Sussex County

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sussexcountyde.gov

Memorandum

To: Sussex County Planning Commission Members
From: Janelle Cornwell, AICP, Planning & Zoning Director
CC: Vince Robertson, Assistant County Attorney and applicant
Date: February 21, 2019
RE: Staff Analysis for CZ 1872 T.S. Smith & Sons, Inc.

This memo is to provide background and analysis for the Planning Commission to consider as a part of application CZ 1872 T.S. Smith & Sons, Inc. to be reviewed during the February 28, 2019 Planning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

The request is for a Change of Zone for parcel 131-10.00-89.00 to allow for change from AR-1 (Agricultural Residential District) to C-3 (Heavy Commercial District) to be located at 8899 Redden Rd. The size of the properties is 25.6694 ac. +/-.

The 2008 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework of how land is to be developed. As part of the Comprehensive Plan a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use map indicates that the properties have the land use designation Town Center.

The surrounding land use to the north, south, east and west is Town Center. Some of the land to the west is located within the Town of Bridgeville. The Town Center land use designation recognizes that a range of housing types are appropriate including single family, townhouse and multi-family. It also recognizes that commercial uses should serve the daily needs of residents, worker and visitors and retail and office uses compatible with adjacent uses are appropriate; however, large intense shopping centers should be encouraged in the Highway Commercial land use designation. Smaller low impact industrial uses may be appropriate within the land use classification.

The property is zoned AR-1 (Agricultural Residential District). The properties to the north, south, east and west are zoned C-1 (General Commercial District). Some of the parcels to the south are located within the Town of Bridgeville. There is a Conditional Uses for a portion of the property (CU 1762 retail farmers market with petting zoo).

Based on the analysis of the land use, surrounding zoning and uses, the Change of Zone from AR-1 (Agricultural Residential District) to C-3 (Heavy Commercial District) could be considered consistent with the land use, area zoning and uses.





STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION
800 BAY ROAD
P.O. BOX 778
DOVER, DELAWARE 19903

JENNIFER COHAN
SECRETARY

September 4, 2018

Ms. Janelle Cornwell, Director
Sussex County Planning & Zoning
P.O. Box 417
Georgetown, DE 19947

Dear Ms. Cornwell:

The Department has completed its review of a Service Level Evaluation Request for the **T.S. Smith and Sons, Inc.** rezoning application, which we received on August 9, 2018. This application is for a 27.38-acre parcel (Tax Parcel: 131-10.00-89.00). The subject land is bounded on the east by US Route 13, on the west by N. Main Street (Sussex Road 5), on the north by Fawn Road (Sussex Road 5A), and on the south by Redden Road (Sussex Road 40). The subject land is currently zoned as AR-1 (Agricultural Residential), and the applicant is seeking to rezone a 12-acre portion of the land, contemplated to be four 3-acre lots, with frontage on US Route 13, to C-3 (Heavy Commercial).

Per the 2017 Delaware Vehicle Volume Summary, the annual average daily traffic volume along the segment of US Route 13 on which the lots would front, which is from Seashore Highway (Sussex Road 6) to N. Main Street, is 27,961 vehicles per day, respectively.

As mentioned above, the subject land also has frontage along N. Main Street, Fawn Road, and Redden Road. The annual average daily traffic along the site frontage on N. Main Street, which is from US Route 13 to the south Bridgeville limits, is 5,807 vehicles per day. The annual average daily traffic along the site frontage on Fawn Road is 12,392 vehicles per day. The annual average daily traffic along the site frontage on Redden Road, which is from N. Main Street to US Route 13, is 2,289 vehicles per day.

Our volume-based criteria for requiring a traffic impact study (TIS), addressed in Section 2.2.2.1 of the Development Coordination Manual, are that a development generates more than 500 trips per day or 50 trips during a weekly peak hour. While it seems that the above criteria could be met, we presently cannot predict the site's trip generation with enough accuracy to make a TIS useful. Thus, we recommend that this rezoning application be considered without a TIS and that the need for a TIS be evaluated when a subdivision or land development plan is proposed.

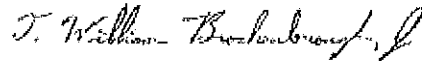


Ms. Janelle M. Cornwell
Page 2 of 2
September 4, 2018

The subject property is adjacent to US Route 13 and thereby is subject to the Department's Corridor Capacity Preservation Program. The main goal of the Program is to maintain the capacity of the existing highway by minimizing and consolidating the number of direct driveway access points on the arterial highway. The Program was established in accordance with the provisions of Title 17, Section 145 of the Delaware Code. Per Program policy, if a property has reasonable alternative access to a secondary road, no direct access to the corridor will be permitted. In this case, the property has reasonable secondary access along Fawn Road, Redden Road, and North Main Street. Therefore site access would be granted along any of those secondary roads; however, no site access would be permitted on US Route 13. The Corridor Capacity Preservation Program policy can be viewed on Department's website at www.deldot.gov.

Please contact Mr. Claudy Joinville, at (302) 760-2124, if you have questions concerning this correspondence or Mr. Thomas Felice, at (302) 760-2338, if you have questions concerning the Corridor Capacity Preservation Program.

Sincerely,



T. William Brockenbrough, Jr.
County Coordinator
Development Coordination

TWB:cjm

cc: Constance C. Holland, Coordinator, Cabinet Committee on State Planning Issues
T.S. Smith and Sons, Applicant
J. Marc Coté, Assistant Director, Development Coordination
Thomas Felice, Corridor Capacity Preservation Program Manager, Development Coordination
Gomez Norwood, South District Public Works Manager, Maintenance and Operations
Steven Sisson, Sussex County Subdivision Coordinator, Development Coordination
Derek Sapp, Subdivision Manager, Development Coordination
Brian Yates, Subdivision Manager, Development Coordination
Susanne Laws, Subdivision Manager, Development Coordination
Troy Brestel, Project Engineer, Development Coordination
Claudy Joinville, Project Engineer, Development Coordination

SUSSEX COUNTY ENGINEERING DEPARTMENT
UTILITY PLANNING DIVISION
C/U & C/Z COMMENTS

TO: **Janelle Cornwell**

REVIEWER: **Chris Calio**

DATE: **2/14/2019**

APPLICATION: **CZ 1872 T.S. Smith & Sons, Inc.**

APPLICANT: **T.S. Smith & Sons, Inc.**

FILE NO: **WSPA-5.02**

TAX MAP &
PARCEL(S): **131-10.00-89.00**

LOCATION: **West side of Sussex Highway, south side of Fawn Road, east side of Main Street and north side of Redden Road.**

NO. OF UNITS: **Upzone from AR-1 to C-3**

GROSS
ACREAGE: **25.6694**


SYSTEM DESIGN ASSUMPTION, MAXIMUM NO. OF UNITS/ACRE: **2**

SEWER:

- (1). Is the project in a County operated and maintained sanitary sewer and/or water district?
Yes No
- a. If yes, see question (2).
b. If no, see question (7).
- (2). Which County Tier Area is project in? **Municipal Growth & annexation Area**
- (3). Is wastewater capacity available for the project? **Yes** If not, what capacity is available? **N/A.**
- (4). Is a Construction Agreement required? **No** If yes, contact Utility Engineering at (302) 855-7717.
- (5). Are there any System Connection Charge (SCC) credits for the project? **No** If yes, how many? **N/A.** Is it likely that additional SCCs will be required? **Yes** If yes, the current System Connection Charge Rate is **\$6,360.00** per EDU. Please contact **Christine Fletcher** at **302-855-7719** for additional information on charges.

- (6). Is the project capable of being annexed into a Sussex County sanitary sewer district? **Yes**
- Attached is a copy of the Policy for Extending District Boundaries in a Sussex County Water and/or Sanitary Sewer District.
- (7). Is project adjacent to the Unified Sewer District? **Yes**
- (8). Comments: **The proposed change of zone is in the Growth and Annexation area of the Town of Bridgeville. Contact the Town of Bridgeville for potential annexation**
- (9). Is a Sewer System Concept Evaluation required? **Yes, Contact Utility Planning at 302-855-1299 to apply**
- (10). Is a Use of Existing Infrastructure Agreement Required? **Yes**

UTILITY PLANNING APPROVAL:



John J. Ashman
Director of Utility Planning

Xc: Hans M. Medlarz, P.E.
Jayne Dickerson
Christine Fletcher

Policy for Extending District Boundaries

1. Property owner (developer) and/or his representative shall make a request to the Utility Planning Division for a Sewer System Concept Evaluation.
2. Property owner (developer) and/or his representative shall meet with the applicable planning and zoning agency to determine if zoning is appropriate for the development being planned.
3. With appropriate zoning, property owner (developer) and/or his representative shall send a letter (with appropriate application fee as listed below) requesting the Sussex County Council to consider extending the water and/or sanitary sewer district boundaries. (Sussex County Code)

Application Fees	
Less than 2 acres	\$500.00
2.1 -9.99 acres	\$750.00
10 - 150.00 acres	\$1,500.00
Greater than 150.00 acres	\$2,500.00

4. The Sussex County Engineering Department shall present, for Sussex County Council's consideration, posting of notices for the proposed extension of the district boundaries.
5. The Sussex County Council approves posting notices for the proposed extension of the boundaries. (If approval to post the notices is not given, the appropriate fee is refunded.)
6. Within ninety days of the posting of the notices, the Sussex County Council approves/disapproves extending the boundaries.
7. The Sussex County Council approves/disapproves of the extension of the water and/or sanitary sewer pipelines under the appropriate Sussex County Ordinance.



LOCATION MAP SCALE: 1 INCH = 2,000 FEET



LEGEND

- Property Line
- - - Field Line
- Power Pole
- Property Corner

PLAN DATA:

PARCEL I.D. No	* 131-10.00-89.00
PLAT REFERENCE	* D.B. 584, PAGE 470, D.B. 585 PAGE 4
ZONING DISTRICT	* AR-1 (ZONING CLASSIFICATION)
ROADWAY CLASSIFICATION	* SCR 13 SUSSEX HIGHWAY, SCR 40 - REDDEN ROAD, SCR 600 - FAWN ROAD, SCR 5 - MAIN STREET
SEWAGE DISPOSAL	* INDIVIDUAL ON-SITE WASTEWATER DISPOSAL SYSTEMS (PRIVATE)
WATER SUPPLY	* INDIVIDUAL ON-SITE WELLS (PRIVATE)
OWNER	* T.S. SMITH & SONS, INC. P.O. BOX 275 BRIDGEVILLE, DE 19933
LOT AREA RATIONALE	* AREA IN LOTS = 25.6894 ACRES LOT A = 2.7035 ACRES LOT B = 3.3795 ACRES LOT C = 3.3796 ACRES LOT D = 3.3334 ACRES LOT E = 10.2212 ACRES RESIDUAL AREA = 2.6522 ACRES
TOTAL No. OF LOTS	* 4 COMMERCIAL LOTS, 1 AR-1 LOT, 1 RESIDUAL LOT

- NOTES:**
- ALL ENTRANCES SHALL CONFORM TO DELDOTS STANDARDS AND REGULATIONS FOR SUBDIVISION STREETS AND STATE HIGHWAY ACCESS AND SHALL BE SUBJECT TO ITS APPROVAL.
 - SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT OF WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHALL BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
 - LOTS A, B, C, AND D ARE PROPOSED TO HAVE THE ZONING CHANGED FROM AR-1 TO COMMERCIAL.
 - THERE ARE NO WETLANDS ON THIS PARCEL.
 - THERE IS NO FEMA 100 YEAR FLOODPLAIN ON THIS SITE.

OWNER'S CERTIFICATION

I HEREBY CERTIFY THAT I AM THE LEGAL OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE DEVELOPED IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

T.S. SMITH AND SONS
8899 REDDEN ROAD
BRIDGEVILLE, DE 19930

DATE

ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH THE APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES.

John B. Roach, Jr. 9/27/2018
 JOHN B. ROACH, JR., P.E. DATE



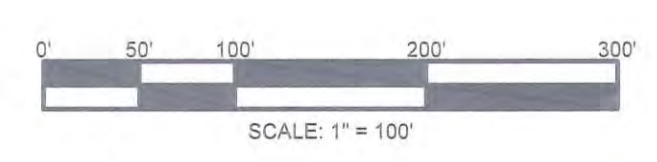
RECORD MINOR SUBDIVISION PLAN

FOR PROPERTY KNOWN AS:
LANDS OF "T.S. SMITH & SONS, INC."

ALSO KNOWN AS:
"8899 REDDEN ROAD, BRIDGEVILLE, DE"

SITUATE IN:
**NORTHWEST FORK HUNDRED * SUSSEX COUNTY
 STATE OF DELAWARE**

TAX MAP#: 131-10.00-89.00 REVISED 9/26/2018



JOHN B. ROACH
Engineering LLC

22184 MELSON ROAD
GEORGETOWN, DELAWARE 19847
PHONE NO. 302-855-1555

Drawn By: JBR	Date: 09-08-2018
Scale: 1"=100'	Sheet 1/1

PLANNING & ZONING

JAMIE WHITEHOUSE
PLANNING & ZONING MANAGER

(302) 855-7878 T
(302) 854-5079 F



Sussex County

DELAWARE
sussexcountyde.gov

Memorandum

To: Sussex County Planning Commission Members
From: Jamie Whitehouse, Planning and Zoning Manager; Lauren DeVore, Planner III; Samantha Bulkilvish, Planner I and Jenny Norwood, Planner I
CC: Vince Robertson, Assistant County Attorney
Date: February 21, 2019
RE: Other Business for February 28, 2019 Planning Commission Meeting

This memo is to provide background for the Planning Commission to consider as a part of the Other Business to be reviewed during the February 28, 2019 Planning Commission meeting.

2018-3 Fox Haven II – Phase 1

HW

Final Subdivision Plan

This is a Final Subdivision Plan for Fox Haven II. This Subdivision Plan is for Phase 1 which is for 47 single family lots out of a total of 95 approved lots. The Fox Haven II Subdivision is located off Johnson Road and can be accessed by a connection and continuation of Fox Tail Road at the southern end of the Fox Haven subdivision. Tax Parcels: 533-11.00-48.00, 45.01 & 518.00. Zoning: GR (General Residential). Staff are in receipt of all agency approvals.

S-19-06 Southern Delaware Therapeutic & Recreational Horseback Riding, Inc.

KS

Final Site Plan

This is a Final Site Plan for the Southern Delaware Therapeutic & Recreational Horseback Riding, Inc. facilities including an office, caretakers house and stables. Conditional Use 2103 was approved on November 7, 2017 for the commercial operation of therapeutic horseback riding. I variance was granted on October 15, 2018 for the required 200' from property lines for an existing horse stable. The Site Plan is in compliance with the Sussex County Zoning Code. Tax Parcel: 235-26.00-17.14. Zoning: AR-1 (Agricultural Residential District). Staff are in receipt of all agency approvals.

Canal Point MR-RPC

KS

Revised Site Plan

This is a Revised Site Plan for the Canal Point Residential Planned Community, to provide 2 No. dumpster enclosures within the existing parking areas and a pole shed within the existing amenity area to enable storage of pool equipment. The revisions to the site plan would result in a reduction of the approved 487 car parking spaces to a total of 447 parking spaces. The number One of the dumpster enclosures would be located within the 40' front yard setback to Hebron Road. The dumpster enclosures would include a 7' high solid fence. The revised Site Plan complies with the Zoning and Subdivision Code, and all conditions of approval for the RPC. A formal ballot was held by the Condominium Association during the week of October 15, 2018 and a letter has been submitted with the Revised Site Plan stating that 66.8% of residents have approved the proposed dumpster enclosure and beautification project. Zoning: MR-RPC (Medium Density Residential Planned Community). Tax Parcel: 334-13.00-334.00



S-17-35 Coastal Station - Phase II

BM

Preliminary Site Plan

This is a Preliminary Site Plan for a four-story 71,421 sf. hotel and a 165,800 sf. mixed use building containing retail and 63 condo units. This is phase two of an existing large-scale use that contains a gas station and convenience store, restaurant and retail space located at the south east corner of the intersection of Coastal Highway and Holland Glade Rd. Interconnectivity is not shown because the neighboring parcel is the Town of Rehoboth water tower. Connecting to this parcel is not feasible because public access to the water tower is not encouraged and would not benefit either property. This Site Plan is in compliance with the Sussex County Zoning Code. Tax Parcel: 334-13.00-325.08. Zoning: C-1 (General Commercial District) and CR-1 (Commercial Residential District). Staff are awaiting agency approvals.

S-19-07 Fenwick Light

HW

Preliminary Site Plan

This is a Preliminary Site Plan for 18 condominium units with amenities and parking on a 2.03 ac. parcel located off Lighthouse Road. This Site Plan is in compliance with the Sussex County Zoning Code. Tax Parcel: 134-23.00-3.02. Zoning: C-1 (General Commercial District). Staff are awaiting agency approvals.

Lands of Thompson

KS

Minor Subdivision off a 50' easement

This is a minor subdivision off a 50' easement over an existing driveway to create two (2) lots measuring 1.688 acres +/- with a residual lot measuring 1.686-acres +/- located off of Heritage Rd. There is an existing dwelling that will remain on the residual lands. Tax Parcel: 230-21.00-4.06. Zoning: AR-1 (Agricultural Residential Zoning District). Staff are awaiting agency approvals.

Lands of Savage

KS

Minor Subdivision over existing driveway

This is a minor subdivision over an existing driveway to create one new lot for their daughter. The existing dwelling was built in 1914. The proposed access will be 37' in width over an existing driveway. The Sussex County Council adopted Ordinance 2629 on February 5, 2019 that allows a private thoroughfare to be less than 50'. The conceptual plan if approved will be reviewed by the Planning and Zoning Department for compliance with the Zoning Code prior to any final approvals. Tax Parcel: 235-14.11-49.00. Zoning: AR-1 (Agricultural Residential Zoning District). Staff are awaiting agency approvals.

Lands of Lankford

HW

Minor Subdivision off a 50' easement

This is a minor subdivision off a 50' easement over an existing driveway to create two (2) lots, Lot A measuring 0.9188-acres +/- and Lot B measuring 3.5790-acres +/- with a residual lot measuring 1.1296-acres +/- located off of Mount Pleasant Rd. There is an existing dwelling that will remain on the residual lands. Tax Parcel: 432-6.00-8.06. Zoning: AR-1 (Agricultural Residential Zoning District). Staff are awaiting agency approvals.

FOX HAVEN II

SUSSEX COUNTY, DELAWARE

RECORD PLAT - PHASE 1

SUBDIVISION # 2018-03

GMB FILE NO. 170223

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
EASEMENT LINE	N/A	---
SETBACK LINE	N/A	---
R.O.W. LINE	---	---
PROPERTY CORNER (NOT SPECIFIED)	○	N/A
CONCRETE MONUMENT FOUND	CMF □	CMF □
IRON PIPE FOUND	IPF •	N/A
NON TIDAL WETLANDS	▨	N/A
TREE LINE	~~~~~	~~~~~
TAX DITCH R.O.W.	N/A	---
ENVIRONMENTAL BUFFER	N/A	---

LIST OF DRAWINGS

G1.0	COVER SHEET
RP-1	DELDOT RECORD PLAT
P1.0	KEY SHEET
P1.1	RECORD PLAT
P1.2	RECORD PLAT
P1.3	FINAL SITE PLAN
P2.0	LINE AND CURVE TABLE
P3.0	LIGHTING PLAN
P4.0	LANDSCAPING PLAN

SITE DATA:

DEVELOPER / OWNER
SAVAGE FARM, LLC
32996 LIGHTHOUSE ROAD
SELBYVILLE, DE 19975

CONTACT: DOUG BROWN
302-436-5144

CIVIL ENGINEER
GEORGE, MILES & BUHR, LLC
206 WEST MAIN STREET
SALISBURY, MD 21801

CONTACT: STEVEN L. MARSH, P.E.
410-742-3115

TAX MAP DISTRICT 533, MAP 11.00, PARCELS 48.00, 45.01, 518.00

TOTAL SITE AREA: 48.89 ACRES

PHASE 1
SITE AREA: 20.37 ACRES
EXISTING WOODED AREA: 3.97 ACRES
PROPOSED OPEN SPACE: 7.86 ACRES (39%)
(SWM PONDS, WOODED WETLANDS, PLANTED BUFFER)
PROPOSED DEVELOPED AREA: 12.51 ACRES (61%)
PROPOSED DELDOT PAVED AREA: 4,881 SF

PROPOSED IMPERVIOUS AREA:
ROADS: ±65,900 SF (7%)
SIDEWALKS: ±25,800 SF (3%)

ZONING DATA
PRESENT ZONING: GR
PROPOSED ZONING: ESDDOZ CLUSTER
PRESENT USE: AGRICULTURAL
PROPOSED USE: RESIDENTIAL

PHASE 1 SITE DATA:

UNIT COUNTS
SINGLE FAMILY: 47

SETBACKS
FRONT: 30'
SIDE: 10'
REAR: 10'

REQUIRED PARKING: 94 (2 PER UNIT)
PARKING PROVIDED: 100 SPACES (2 PER UNIT AND 6 ON STREET)
(2.13 PER UNIT)

ALLOWABLE DENSITY: 4 UNITS/ACRE = 81 UNITS

GROSS DENSITY: 2.31 UNITS/ACRE
NET DENSITY: 3.76 UNITS/ACRE

AMENITIES
PASSIVE OPEN SPACE, INCLUDES EXISTING WOODS, PLANTED BUFFER, & SWM PONDS

FLOOD ZONE FEMA MAP# 10050635K, DATED MAR 16, 2015, ZONE X & AE 4

WATER PROVIDER - ARTESIAN WATER CO.

SEWER PROVIDER - SUSSEX COUNTY

NOTES:

- ALL INTERIOR SIDE LOT LINES ARE RESERVED FOR THE CENTERLINE OF A 10' WIDE DRAINAGE AND/OR UTILITY EASEMENT. A 10' WIDE DRAINAGE AND/OR UTILITY EASEMENT IS RESERVED ON EACH LOT ALONG THE FRONT AND REAR PROPERTY LINES. THIS PLAT AND SURVEY DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHT-OF-WAYS OR EASEMENTS PERTAINING TO THIS PROPERTY.
- MAINTENANCE OF THE STREETS WITHIN THIS SUBDIVISION WILL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS WITHIN THE SUBDIVISION, OR BOTH. THE STATE ASSUMES RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF STREETS WITHIN INDICATED DELDOT RIGHT-OF-WAYS ONLY.
- MAINTENANCE OF STORM DRAIN AND STORMWATER MANagements FACILITIES WILL BE THE RESPONSIBILITY OF THE DEVELOPERS, THE PROPERTY OWNERS WITHIN THE SUBDIVISION, OR BOTH. THE STATE ASSUMES RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF STORM DRAIN WITHIN INDICATED DELDOT RIGHTS OF WAY ONLY.
- ALL SIDEWALKS MUST BE INSTALLED IN CONJUNCTION WITH THE ROADS, AND FOR THE PROJECT TO ACHIEVE SUBSTANTIAL COMPLETION FROM THE PUBLIC WORKS DIVISION.
- WATER SERVICE WILL BE PROVIDED BY CONNECTION TO AN EXISTING PUBLIC SYSTEM. ALL DISTRIBUTION EQUIPMENT WILL BE INSTALLED AND MAINTAINED BY ARTESIAN WATER CO. ALL PROPOSED FACILITIES WILL BE SUBJECT TO REVIEW AND APPROVAL BY SUSSEX COUNTY AND DELAWARE DIVISION OF PUBLIC HEALTH.
- WASTEWATER TREATMENT AND DISPOSAL WILL BE PROVIDED BY THE SUSSEX COUNTY ENGINEERING DEPARTMENT, SOUTH COASTAL WASTE WATER TREATMENT FACILITY. THE COLLECTION AND TRANSMISSION SYSTEM WILL CONSIST OF VARIOUS DIAMETER GRAVITY SEWERS. THE COLLECTION AND TRANSMISSION SYSTEM WILL BE SUBJECT TO REVIEW AND APPROVAL BY SUSSEX COUNTY AND DNREC.
- THERE IS NO ACTIVE AGRICULTURAL PROPERTY GREATER THAN 10 ACRES DIRECTLY ABUTTING THE PROPOSED DEVELOPMENT.
- NON-TIDAL WETLANDS EXIST ON THE PROPERTY.
- STORMWATER MANAGEMENT PRACTICES WILL BE DESIGNED TO MEET STORMWATER QUALITY AND QUANTITY MANAGEMENT REQUIREMENTS. ALL STORMWATER MANAGEMENT DESIGN WILL BE IN ACCORDANCE WITH DELAWARE STORMWATER DESIGN MANUAL STANDARDS.
- EASEMENTS SHALL BE PROVIDED WHERE NECESSARY TO MEET PUBLIC UTILITY REQUIREMENTS. NECESSARY EASEMENTS ALONG PERIMETER BOUNDARIES OF THE DEVELOPMENT SHALL BE NO LESS THAN TEN (10) FEET IN WIDTH ON THE INTERIOR SIDE OF THE BOUNDARY.
- BOUNDARY & TOPOGRAPHICAL SURVEY SHOWN HEREIN PROVIDED BY AXIOM ENGINEERING, LLC, DATE JAN 11, 2018.
- PROJECT WILL BE CONSTRUCTED IN TWO PHASES. PHASE 1 SHALL CONSIST OF LOTS 101-147 AND PHASE 2 SHALL CONSIST OF LOTS 148-195.
- THE POOL AND CLUBHOUSE AMENITY WILL BE CONSTRUCTED AS PART OF PHASE 2. THE AMENITY WILL BE AVAILABLE FOR THE RESIDENTS OF THE ENTIRE FOX HAVEN COMMUNITY.
- EXISTING TAX DITCHES AND THEIR RESPECTIVE RIGHTS OF WAY ARE TO BE MAINTAINED UNLESS OTHERWISE NOTED ON THE SITE PLANS HEREWITH.
- ALL WOODED BUFFERS WILL BE MAINTAINED IN PERPETUITY BY THE FOX HAVEN HOMEOWNER'S ASSOCIATION.
- THERE ARE NO SIGNS PROPOSED FOR THIS DEVELOPMENT. HOWEVER, ANY FUTURE SIGNS WOULD REQUIRE A SEPARATE PERMIT.

WETLANDS CERTIFICATION:

I, EDWARD M. LAUNAY, PWS, STATE THAT THE BOUNDARIES OF WATERS OF THE UNITED STATES INCLUDING WETLANDS SUBJECT TO THE CORPS OF ENGINEERS REGULATORY PROGRAM DELINEATED UPON THIS PLAN HAVE BEEN DETERMINED USING MY PROFESSIONAL JUDGEMENT IN ACCORDANCE WITH THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, REGULATIONS AND SUPPLEMENTAL GUIDANCE (33 CFR 328.3(a)(8)), WATERS OF THE U.S. DEFINITION/CECW-OR, 10-7-1991, QUESTIONS AND ANSWERS ON THE 1987 COE MANUAL/CECW-OR, 9-26-1990, RGL 90-7/CECW-OR, 3-6-1992, CLARIFICATION AND INTERPRETATION OF THE 1987 MANUAL). THIS DELINEATION HAS NOT BEEN CONDUCTED FOR USDA PROGRAM OR AGRICULTURAL PURPOSES. DNREC STATE REGULATED WETLANDS HAVE BEEN IDENTIFIED IN ACCORDANCE WITH DNREC WETLAND MAP NOS. 2 & 28 SUSSEX COUNTY.

EDWARD M. LAUNAY, PWS NO. 875 DATE
SOCIETY OF WETLAND SCIENTISTS
CORPS OF ENGINEERS
CERTIFIED WETLAND DELINEATOR WDCP93M005100368

ENGINEER'S CERTIFICATION:

I, STEPHEN L. MARSH, P.E. HEREBY CERTIFY THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEVE REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

STEPHEN L. MARSH, P.E. DATE
GEORGE, MILES & BUHR, LLC.
206 W. MAIN STREET
SALISBURY, MD 21801

HOA CERTIFICATION:

I HEREBY CERTIFY THAT WE, THE HOMEOWNER'S ASSOCIATION OF FOX HAVEN AGREE WITH THE CHANGES TO LOT 53 AS SHOWN ON THIS PLAN.

PRESIDENT
FOX HAVEN HOMEOWNER'S ASSOCIATION

DEVELOPER'S CERTIFICATION:

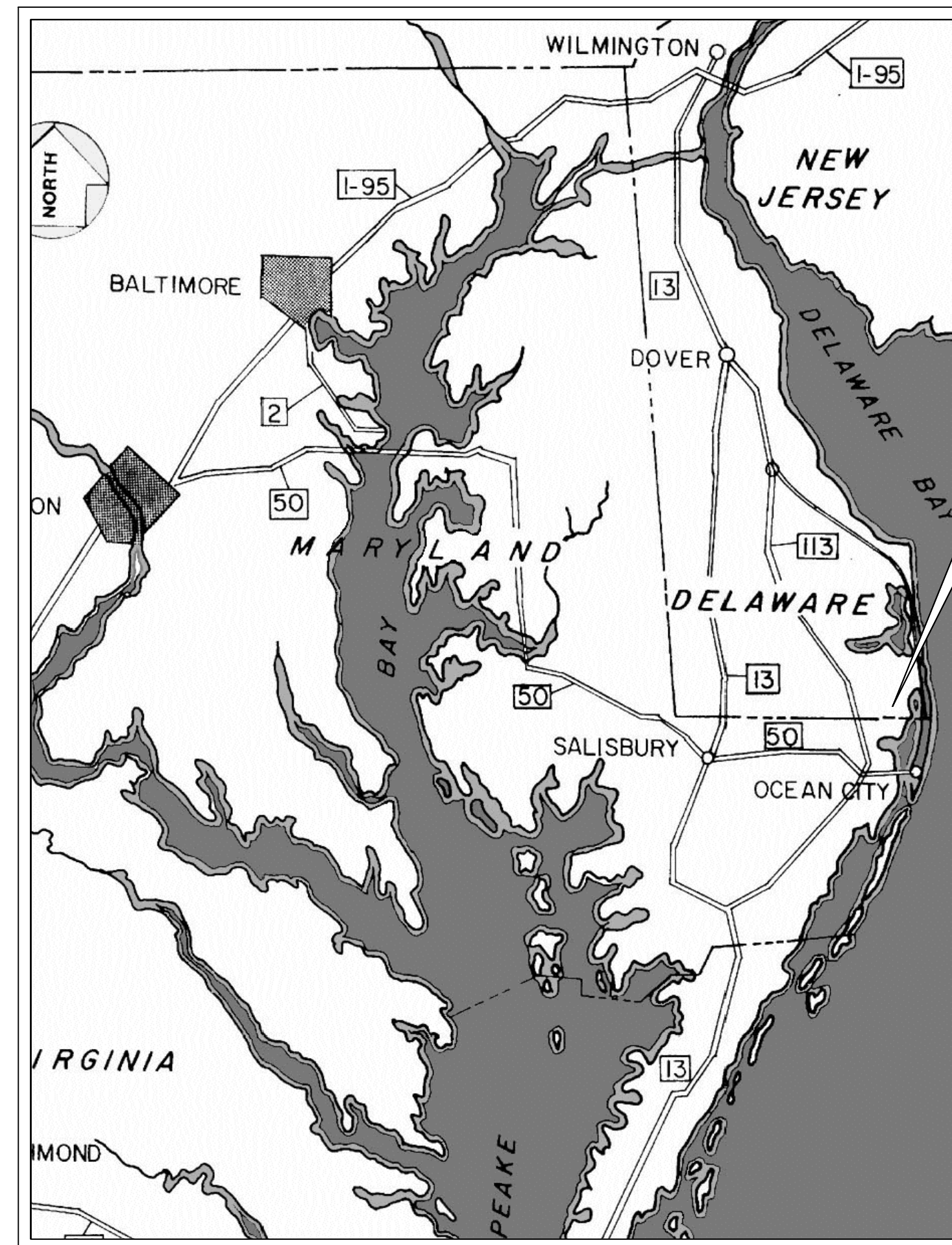
I HEREBY CERTIFY THAT I AM THE DEVELOPER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN AND THAT THE PLAN WAS MADE AT MY DIRECTION.
(PARCEL 48.00)

DOUG BROWN DATE
SAVAGE FARM, LLC
32996 LIGHTHOUSE ROAD
SELBYVILLE, DELAWARE 19975

DEVELOPER'S CERTIFICATION:

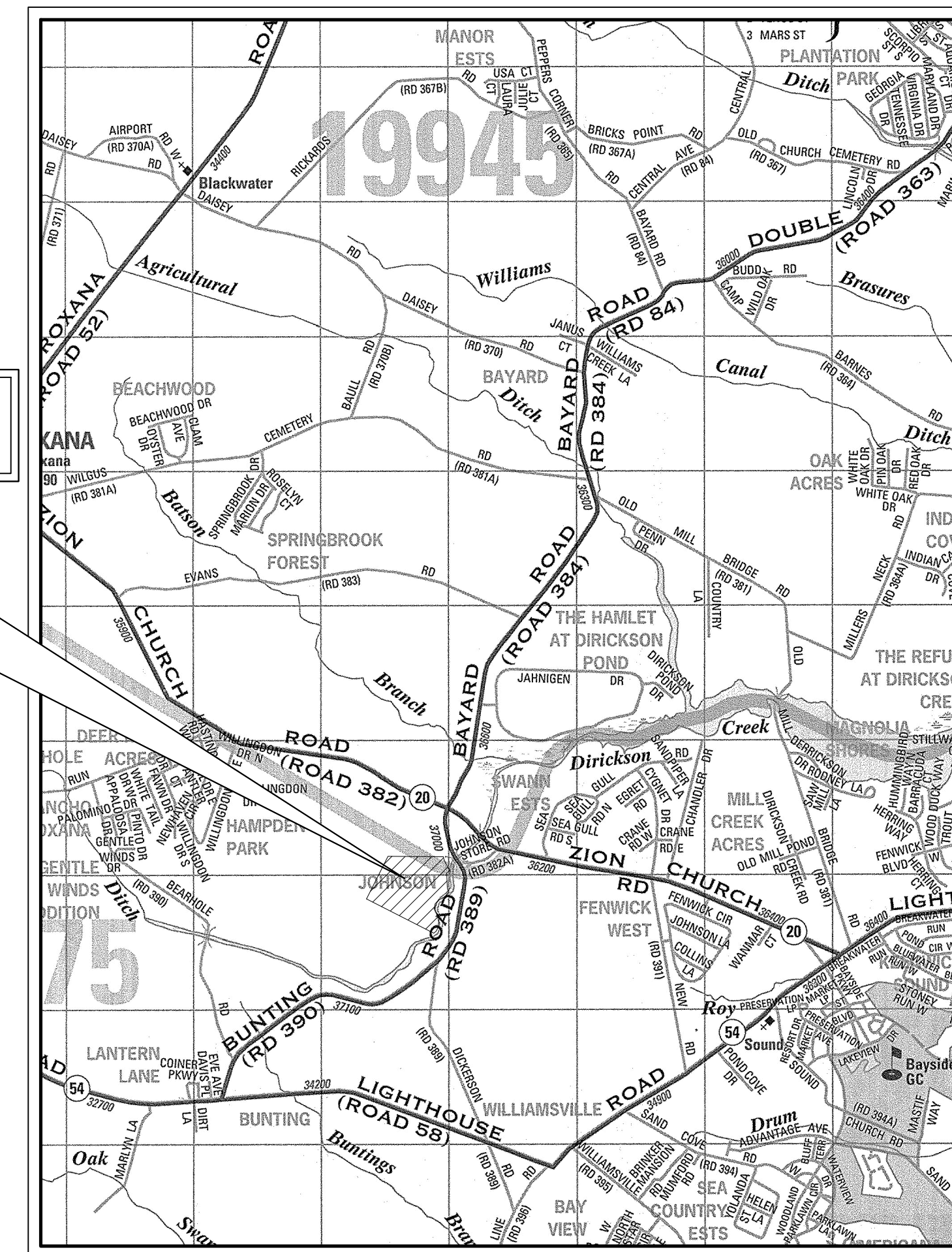
I HEREBY CERTIFY THAT I AM THE DEVELOPER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN AND THAT THE PLAN WAS MADE AT MY DIRECTION.
(PARCELS 45.01, 518)

BAY TWENTY, LLC DATE
13 BRIGHTON STREET
OCEAN VIEW, DELAWARE 19970



VICINITY MAP

SCALE: 1" = 20 MILES



LOCATION MAP

SCALE: 1" = 2000'

GMB

GEORGE, MILES & BUHR, LLC
ARCHITECTS & ENGINEERS
SALISBURY • BALTIMORE • SEAFORD
206 WEST MAIN STREET
SALISBURY, MARYLAND 21801
410-742-3115, FAX 410-548-5790
www.gmbnet.com

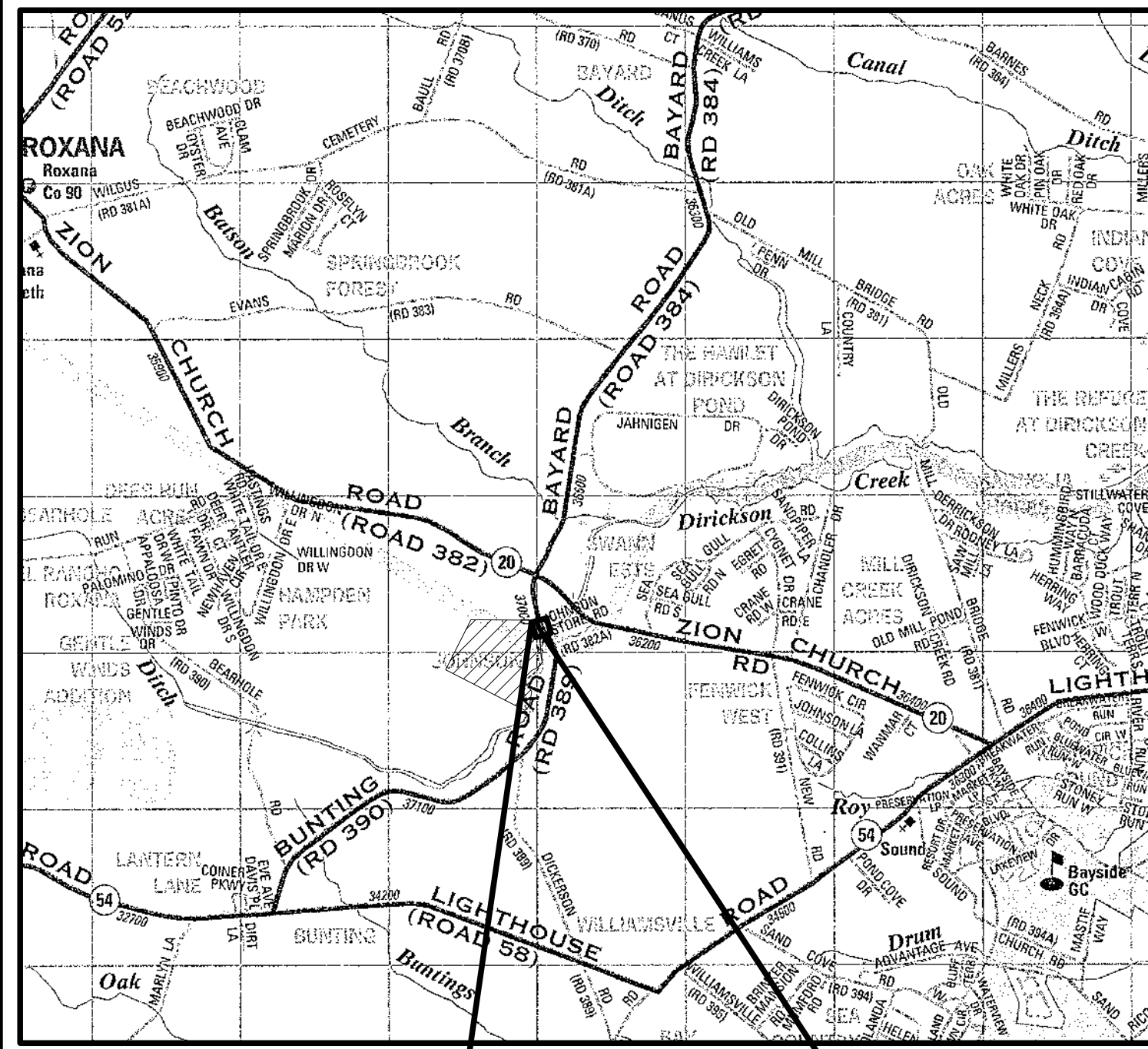
JANUARY 2019

APPROVED BY _____
SUSSEX COUNTY COUNCIL
CHAIRMAN OR VICE CHAIRMAN

APPROVED BY _____
SUSSEX COUNTY
PLANNING AND ZONING COMMISSION

APPROVED BY _____
SUSSEX COUNTY
SOIL CONSERVATION DISTRICT

APPROVED BY _____
SUSSEX COUNTY
ENGINEERING DEPARTMENT



LOCATION MAP
1" = 2,500'

BEGIN CONSTRUCTION
JOHNSON ROAD
STATION 6+73.14

END CONSTRUCTION
JOHNSON ROAD
STATION 10+30.67

CONTACTS

DEVELOPER: SAVAGE FARM, LLC.
32996 LIGHTHOUSE ROAD
SELBYVILLE, DE 19975

CONTACT: DOUG BROWN
(PHONE) 302-436-5144

GEORGE, MILES & BUHR, LLC
206 WEST MAIN STREET
SALISBURY, MARYLAND 21801

CIVIL: STEPHEN L. MARSH, P.E.
(PHONE) 410-742-3115

ENGINEERS CERTIFICATION:

"I, STEPHEN L. MARSH, P.E. HEREBY CERTIFY THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HERE ON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE."

ENGINEER'S SIGNATURE _____ DATE _____

DEVELOPER'S SIGNATURE

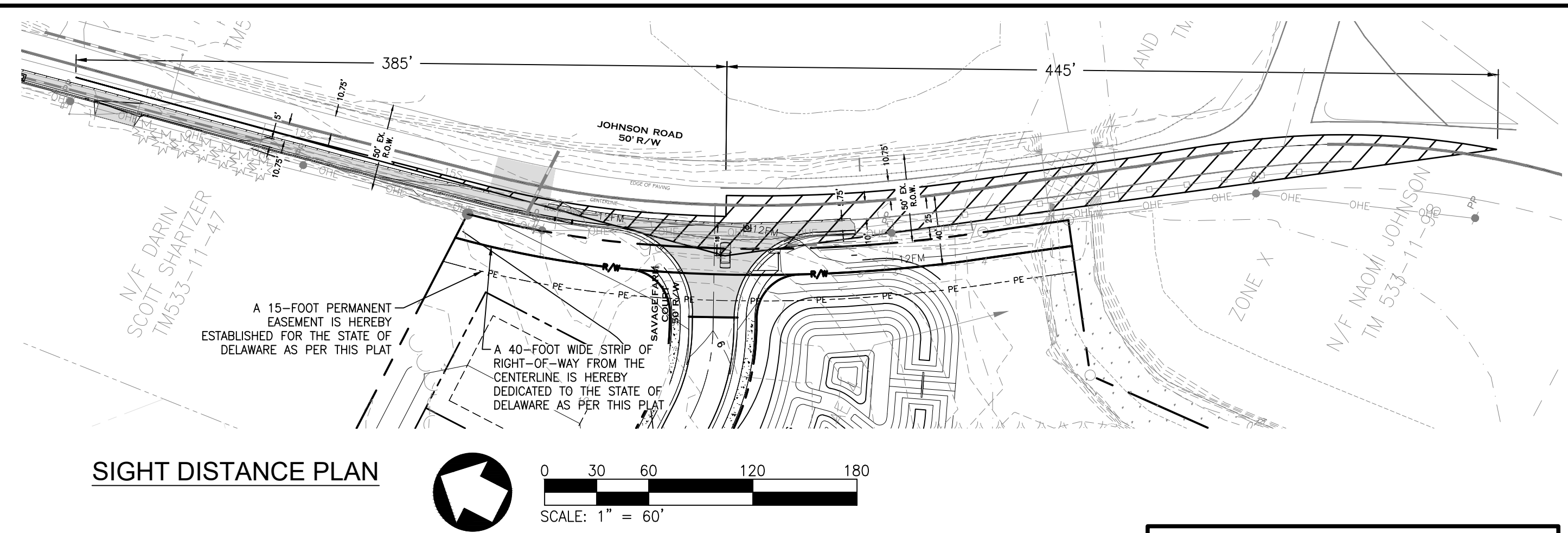
I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN AND THAT THE PLAN WAS MADE AT MY DIRECTION. I ACKNOWLEDGE THE SAME TO BE MY ACT AND IT IS MY DESIRE TO HAVE THE PLAN RECORDED.

DEVELOPER: DOUG BROWN _____ DATE _____

GENERAL NOTES (LAST REVISED 12/8/17):

- THE CONTRACTOR SHALL COORDINATE PROPOSED DRAINAGE AND ENTRANCE CONSTRUCTION WITH ALL PROPOSED UTILITIES.
- SUBDIVISION STREETS CONSTRUCTED WITHIN THE LIMITS OF THE RIGHT-OF-WAY ARE PRIVATE AS SHOWN ON THIS PLAN AND ARE TO BE MAINTAINED BY THE DEVELOPER, PROPERTY OWNERS OR BOTH. THE STATE OF DELAWARE ASSUMES NO MAINTENANCE RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- NO LANDSCAPING SHALL BE ALLOWED WITHIN R/W UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL (DCM).
- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S "SHARED-USE PATH AND/OR SIDEWALK TERMINATION POLICY".
- ALL LOTS SHALL HAVE ACCESS FROM THE INTERNAL SUBDIVISION STREET. DRIVEWAYS WILL NOT BE PERMITTED TO BE PLACED AT CATCH BASIN LOCATIONS.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS ON THE DEDICATED SUBDIVISION STREET RIGHT-OF-WAY IN ACCORDANCE WITH SECTION 3.24.1 OF THE DEVELOPMENT COORDINATION MANUAL, AND THE REQUIREMENTS OF THE LAND USE AGENCY. RIGHT OF WAY MONUMENTS SHALL BE PLACED ALONG THE RIGHT-OF-WAY LINES, AT A MINIMUM ON ONE SIDE OF THE STREET AT EVERY CHANGE IN HORIZONTAL ALIGNMENT TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE CENTERLINE AND RIGHT-OF-WAY LINE.
- PRIOR TO THE ISSUANCE OF THE 48th CERTIFICATE OF OCCUPANCY, THE DELDOT ENTRANCE CONSTRUCTION SHALL BEGIN AND SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE 60th CERTIFICATE OF OCCUPANCY.

SIGHT DISTANCE PLAN



SITE DATA:

GROSS ACREAGE OF PROPERTY: 48.89 ± ACRES

ZONING: GENERAL RESIDENTIAL

PRESENT USE: AGRICULTURAL

PROPOSED USE: RESIDENTIAL

SEWER PROVIDER: SUSSEX COUNTY (JOHNSON'S CORNER SANITARY SEWER DISTRICT)

WATER PROVIDER: ARTESIAN WATER COMPANY, INC.
WATER IS SUBJECT TO THE APPROVAL OF THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND THE DELAWARE DIVISION OF PUBLIC HEALTH.

TAX PARCEL NUMBER: 533-11.00-48.00, 45.01, 518.00

TOTAL NUMBER OF LOTS, EXISTING AND PROPOSED: 76 EXISTING, 97 PROPOSED

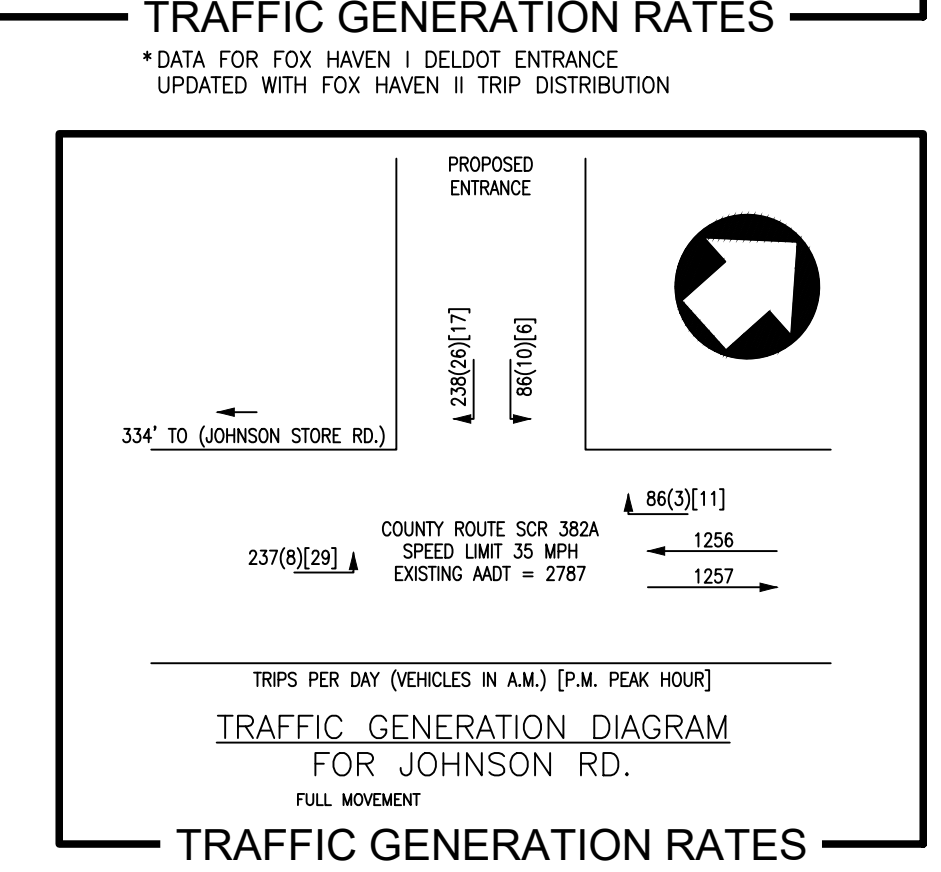
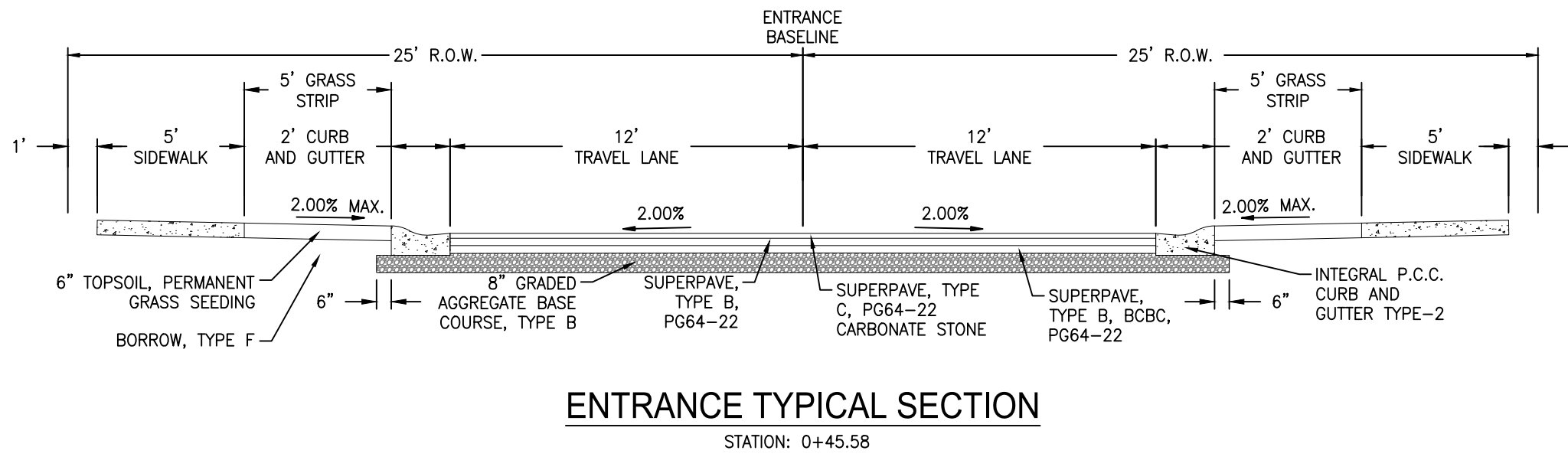
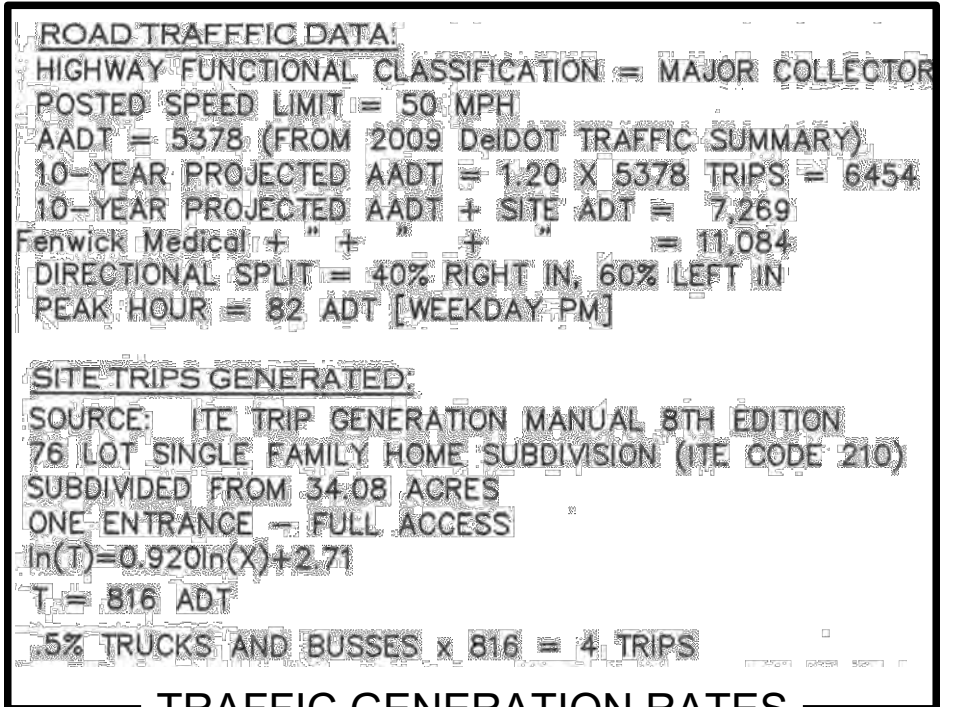
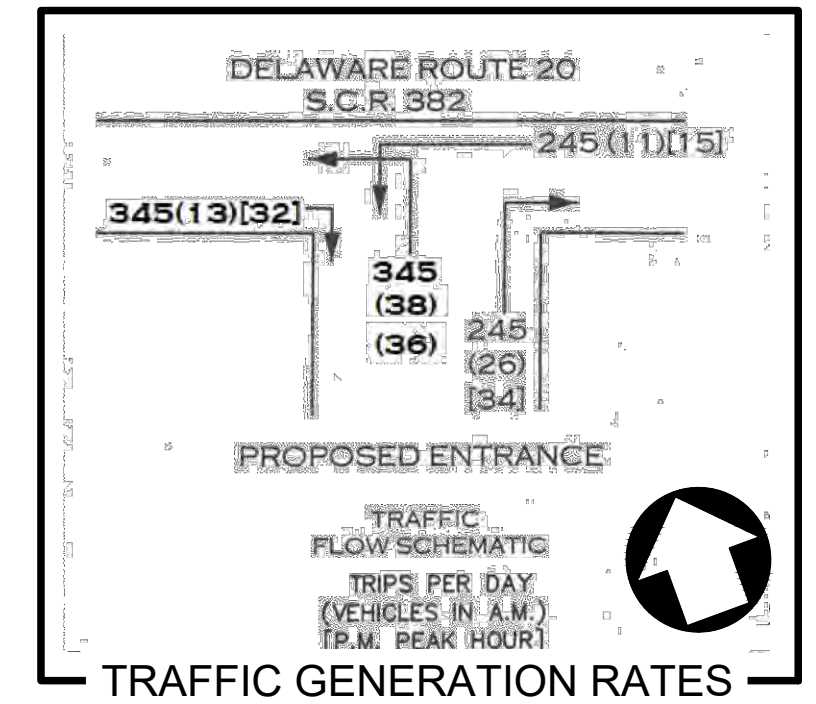
TOTAL PARKING SPACES REQUIRED: 194 (2 PER UNIT)

TOTAL PARKING SPACES PROVIDED: 214 (2 PER UNIT AND 20 ON STREET) (2.21 PER UNIT)

POSTED SPEED LIMIT ON FRONTAGE ROAD: 35 MPH

PROXIMITY TO IDENTIFIED TRANSPORTATION DISTRICTS (TID): N/A

INVESTMENT LEVEL AREA: LEVEL 3



TRAFFIC GENERATION DATA:
FUNCTIONAL CLASSIFICATION - MAJOR COLLECTOR
POSTED SPEED LIMIT - 35 MPH
EXISTING ROAD AADT = 2,787 TRIPS (FROM 2017 DELDOT TRAFFIC SUMMARY)
10 YEAR PROJECTED AADT = 1.20 X 2,787 TRIPS = 3,344 TRIPS
10 YEAR PROJECTED AADT + SITE ADT = 4,313 TRIPS
DIRECTIONAL SPLIT = 70% / 30%
TRAFFIC PATTERN GROUP = 7
PEAK HOUR = 15.43% X 4,313 = 64 TRIPS

SITE TRIPS GENERATED:
SOURCE: THE TRIP GENERATION MANUAL 10th. EDITION.
97 - SINGLE FAMILY DETACHED UNITS (210)
ONE ENTRANCE - FULL MOVEMENT
DESIGN VEHICLE: SU-30
62 - SINGLE FAMILY DETACHED UNITS = 670 TRIPS
EXISTING ENTRANCE - FULL MOVEMENT
35 - SINGLE FAMILY DETACHED UNITS = 341 TRIPS
97 - SINGLE FAMILY DETACHED UNITS X 10.42 = 1,011 TRIPS
TOTAL ADT FOR SUBDIVISION = 1,011 TRIPS
DIRECTIONAL DISTRIBUTION:
36% OF NEW ADT EXISTING ENTERING FROM THE EXISTING ENTRANCE
17% TO AND FROM THE NORTH
47% TO AND FROM THE SOUTH
14% TRUCKS & BUSES X 354 = 5

LEGEND

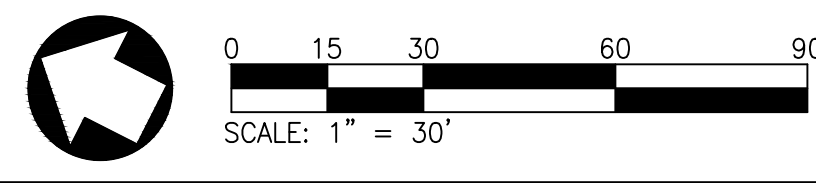
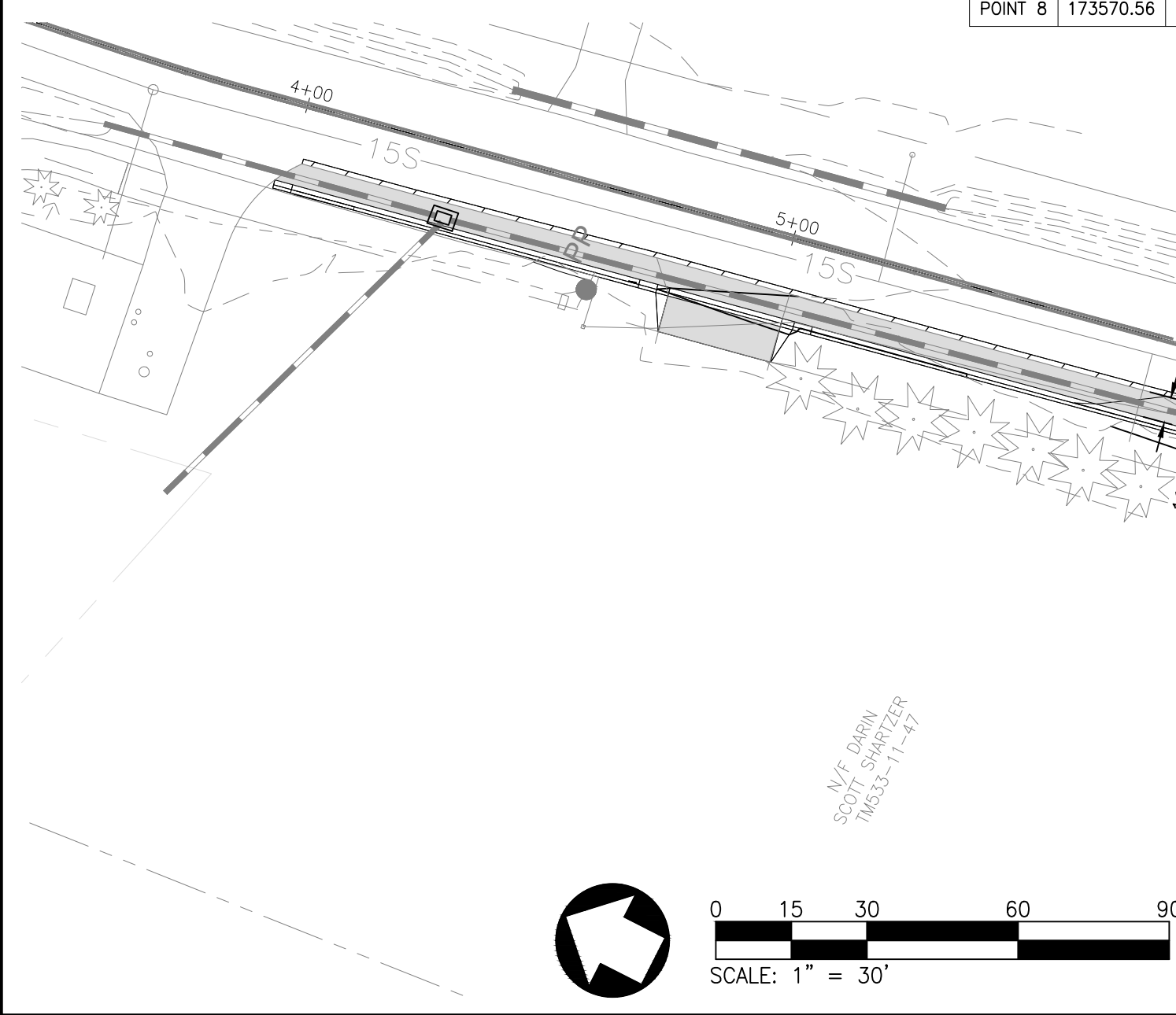
PROPOSED		EXISTING/PROPOSED OTHER PHASES	
[Symbol]	PAVED ROAD	[Symbol]	PROPERTY LINE/RIGHT OF WAY
[Symbol]	CONTOUR	[Symbol]	CONTOUR
[Symbol]	SANITARY SEWER, MANHOLE AND CLEANOUT	[Symbol]	PROJECT BOUNDARY
[Symbol]	STORM DRAIN, INLET, AND MANHOLE	[Symbol]	PAVED ROAD
[Symbol]	CURB & GUTTER	[Symbol]	SANITARY SEWER, MANHOLE, AND CLEANOUT
[Symbol]	GUARD RAIL	[Symbol]	STORM DRAIN
[Symbol]	WATER	[Symbol]	LOT LINE
[Symbol]	EDGE OF PAVEMENT	[Symbol]	BUILDING RESTRICTION LINE
[Symbol]	LOT LINE	[Symbol]	RIGHT OF WAY
[Symbol]	BUILDING RESTRICTION LINE	[Symbol]	PERMANENT EASEMENT
[Symbol]	RIGHT OF WAY	[Symbol]	TEMPORARY CONSTRUCTION EASEMENT

POINT TABLE		
POINT #	NORTH	EAST
IP-1	173260.31	735458.24
IP-2	173570.35	735304.24
POINT 1	173251.69	735445.96
POINT 2	173292.30	735417.40
POINT 3	173465.62	735321.16
POINT 4	173570.45	735288.89
POINT 5	173243.07	735433.69
POINT 6	173283.63	735405.16
POINT 7	173459.87	735307.31
POINT 8	173570.56	735273.56

LINE TABLE		
LINE	LENGTH	DIRECTION
L1	49.71'	S35°06'52"E
L2	49.65'	S35°06'52"E
L3	49.59'	N35°06'52"W
L4	15.00'	S54°54'36"W
L5	15.00'	S54°54'36"W
L6	15.33'	S89°36'29"E
L7	15.35'	S89°36'29"E

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD
C1	195.33'	863.40'	125°7'44"	S29°02'40"E	194.91'
C2	198.67'	878.40'	125°7'31"	S29°02'34"E	198.25'
C3	202.01'	893.40'	125°7'19"	N29°02'28"W	201.58'
C4	115.90'	592.05'	111°3'00"	N16°57'18"W	115.72'
C5	109.85'	577.05'	105°4'29"	S17°06'35"E	109.68'
C6	103.79'	562.05'	103°4'50"	S17°16'23"E	103.64'

PLOT CODE: PEN-RED (200 INCHES (50mm)), PEN-ORANGE (200 INCHES (50mm)), PEN-YELLOW (200 INCHES (50mm)), PEN-GREEN (200 INCHES (50mm)), PEN-BLUE (200 INCHES (50mm)), PEN-MAGENTA (200 INCHES (50mm)), PEN-BROWN (200 INCHES (50mm)), PEN-GRAY (200 INCHES (50mm))



PRINTS ISSUED FOR REVIEW

DATE	REVISIONS	NO.

GMB
GEORGE, MILES & BUHR, LLC
ARCHITECTS & ENGINEERS
SALISBURY - BALTIMORE - SEAFORD
206 WEST MAIN STREET
SALISBURY, MARYLAND 21801
410-742-3115, FAX 410-548-5790
www.gmbnet.com

FOX HAVEN II
SUBDIVISION
JOHNSON ROAD ENTRANCE PLANS
BALTIMORE HUNDRED
SELBYVILLE, DELAWARE

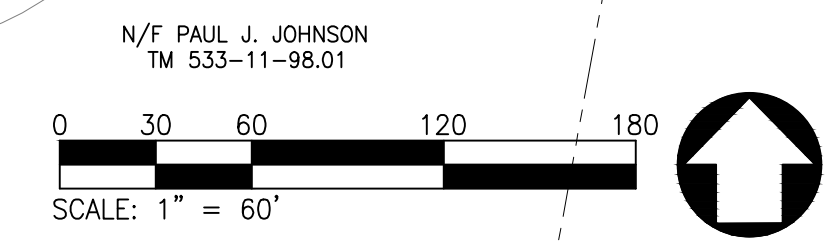
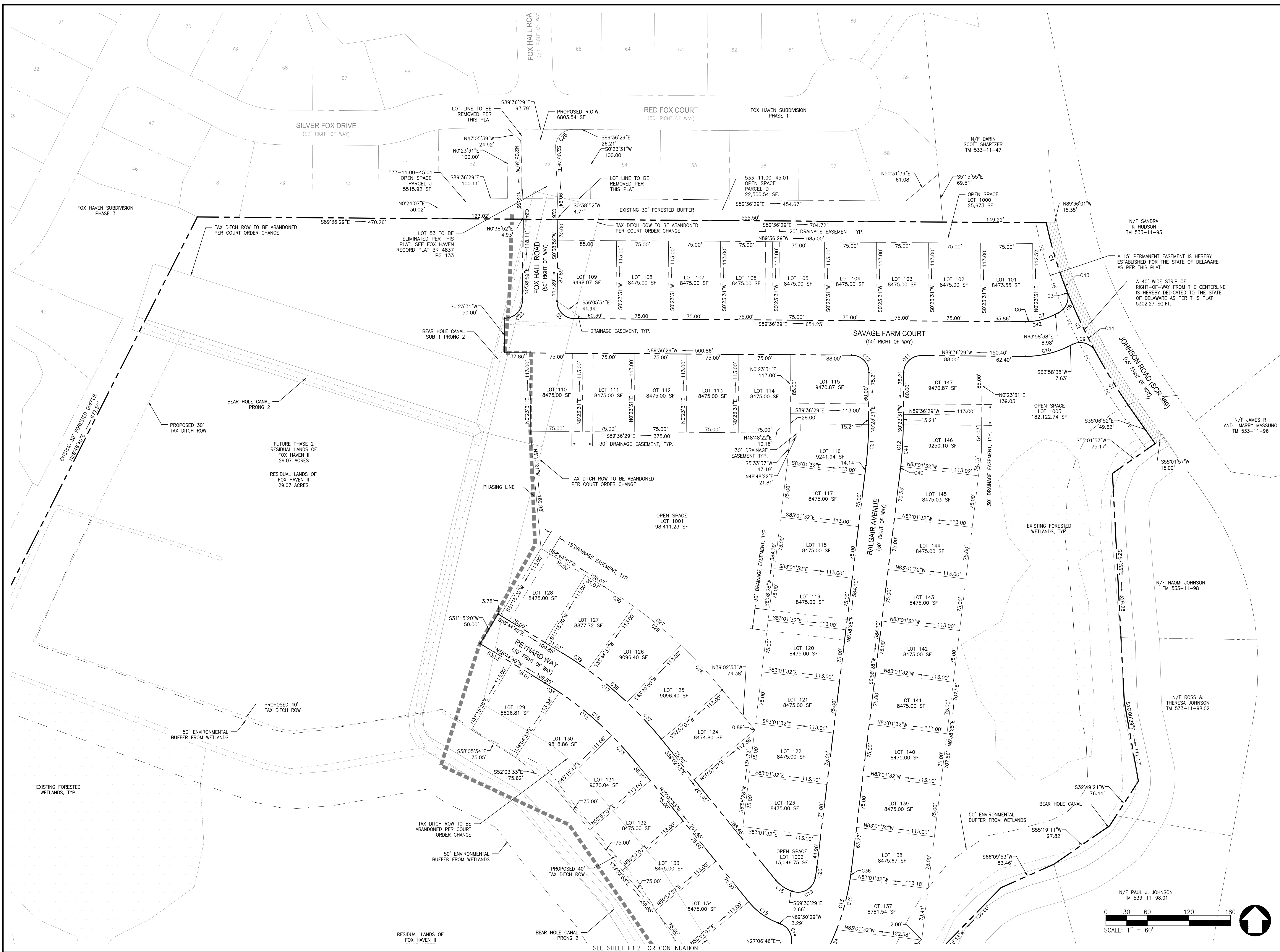
RECORD PLAT

SCALE: AS NOTED SHEET NO. RP-1

DESIGN BY: DLB
DRAWN BY: KJP
CHECKED BY: SLM
GMB FILE: 170223
DATE: JULY 2018

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C:\Projects\2017\170223 Fox Haven - Phase 1.dwg, 2/14/2019 10:09 AM, London M, dck
 PLOT DATE: 02/14/2019 10:09 AM
 PLOT CODE: 022 INCHES (20mm)
 PLOT SCALE: 1" = 60'
 PLOT UNIT: INCHES (20mm)
 PLOT SIZE: 24 INCHES (610mm) x 36 INCHES (914mm)
 PLOT ORIGIN: 0,0



PRINTS ISSUED FOR:
 APPROVAL &
 RECORDATION

DATE	REVISIONS	NO.

GMB
 GEORGE, MILES & BUHR, LLC
 ARCHITECTS & ENGINEERS
 SALISBURY - BALTIMORE - SEAFORD
 206 WEST MAIN STREET
 SALISBURY, MARYLAND 21801
 410-742-3115, FAX 410-548-5790
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FOX HAVEN II - PHASE 1
 SUSSEX COUNTY, DELAWARE

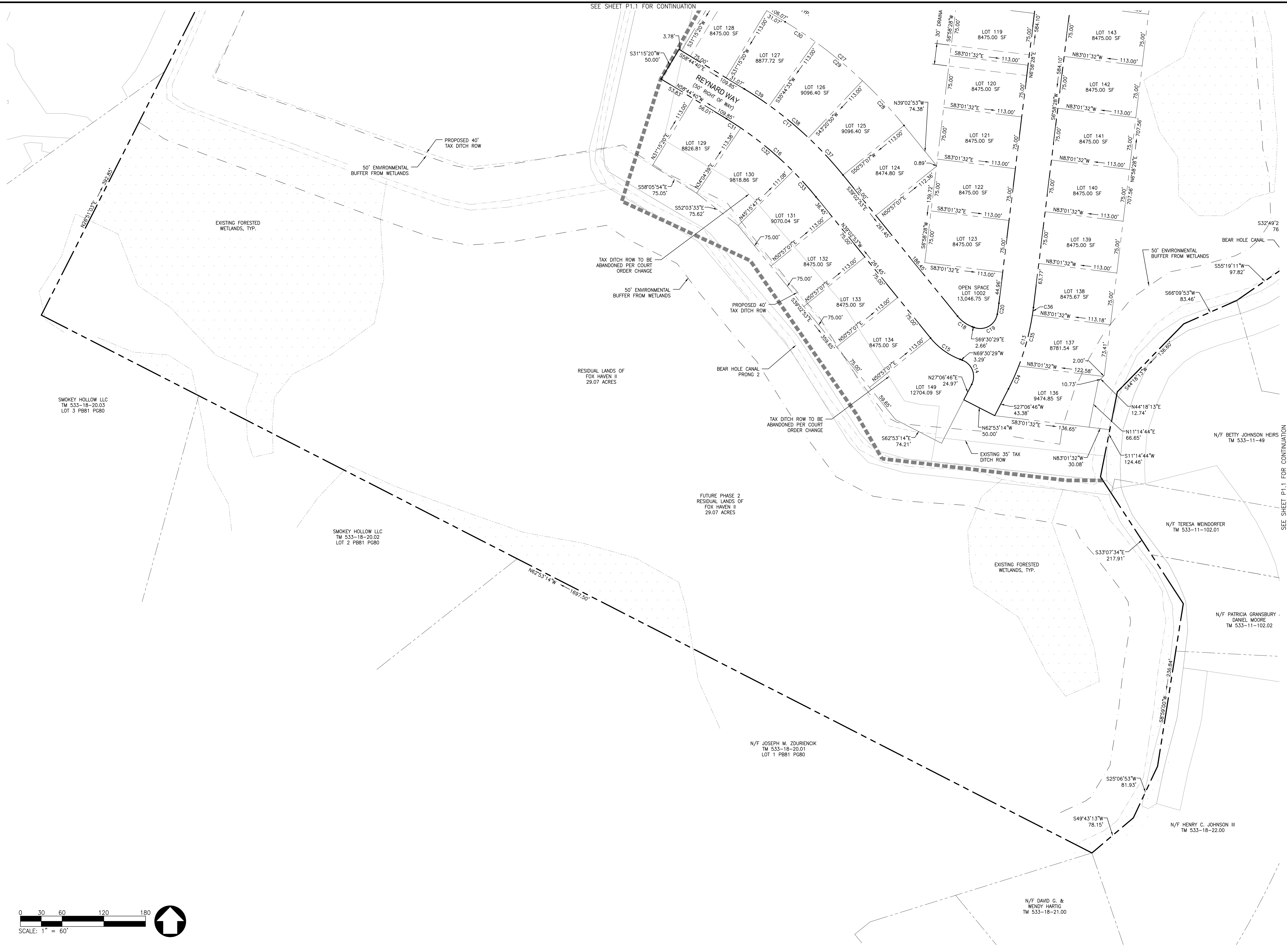
RECORD PLAT

SCALE: 1" = 60'	SHEET NO.
DESIGN BY: RLM	P1.1
DRAWN BY: RLM	
CHECKED BY:	
GMB FILE: 170223	
DATE: JAN 2019	© COPYRIGHT 2019 GEORGE, MILES & BUHR, LLC

C:\projects\170223 Fox Haven - Phase 1.dwg, 2/14/2019 10:09 AM, Landon Myrick
 PEN=RED 0.01 INCHES (0.25mm) PEN=GREEN 0.01 INCHES (0.25mm) PEN=BLUE 0.01 INCHES (0.25mm) PEN=WHITE 0.01 INCHES (0.25mm)
 PEN=BLACK 0.01 INCHES (0.25mm) PEN=CYAN 0.01 INCHES (0.25mm) PEN=MAGENTA 0.01 INCHES (0.25mm)
 PEN=GRAY 0.01 INCHES (0.25mm) PEN=ORANGE 0.01 INCHES (0.25mm)



SEE SHEET P1.1 FOR CONTINUATION



SEE SHEET P1.1 FOR CONTINUATION

NO.	REVISIONS	DATE

PRINTS ISSUED FOR:
 APPROVAL &
 RECORDATION

GMB
 GEORGE, MILES & BUHR, LLC
 ARCHITECTS & ENGINEERS
 SALISBURY - BALTIMORE - SEAFORD
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FOX HAVEN II - PHASE 1
 SUSSEX COUNTY, DELAWARE

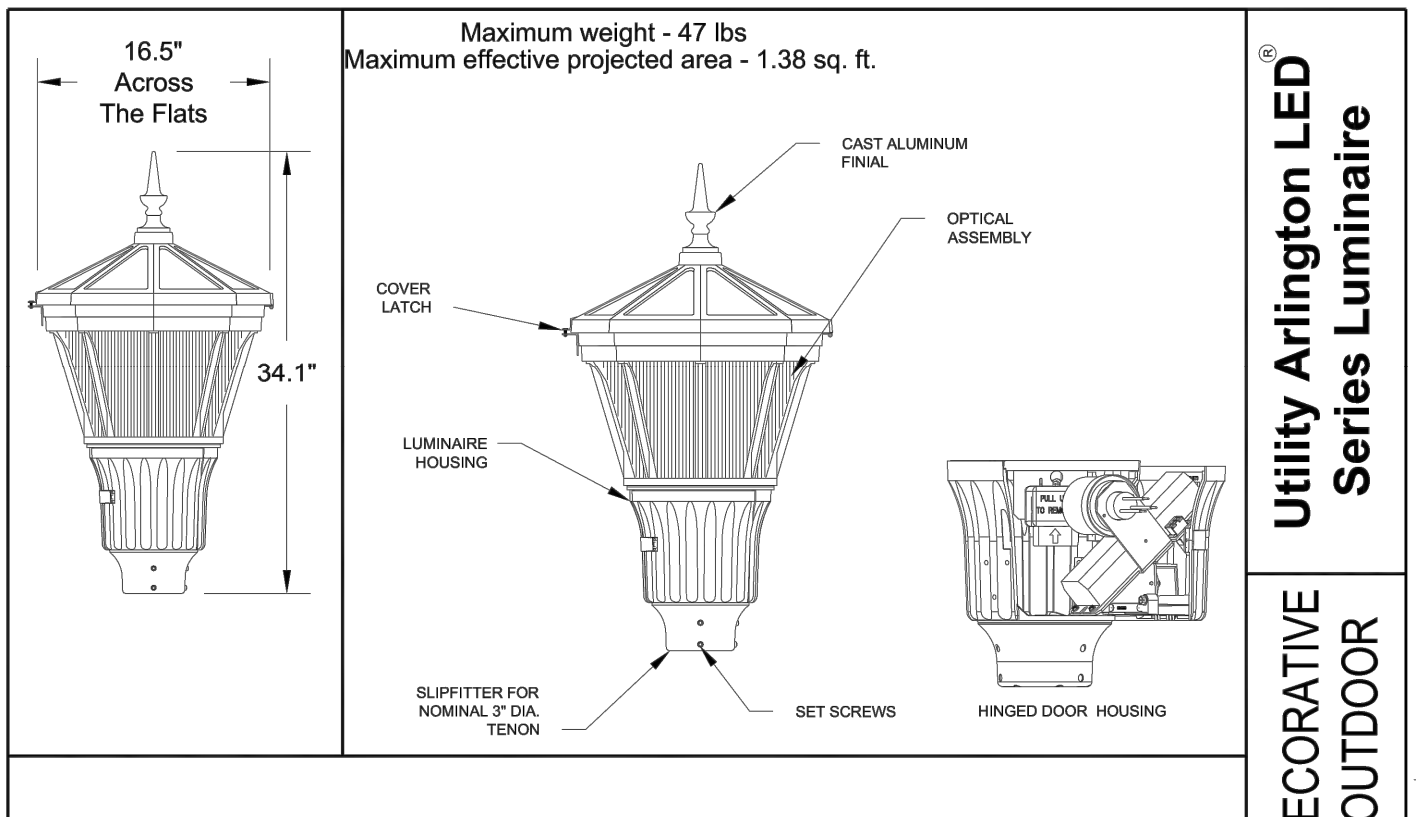
RECORD PLAT

SCALE : 1" = 60'	SHEET NO.
DESIGN BY : RLM	P1.2
DRAWN BY : RLM	
CHECKED BY :	
GMB FILE : 170223	
DATE : JAN 2019	

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CURVE TABLE							
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD	BEGINNING COORDINATE	ENDING COORDINATE
C1	108.67'	878.40'	7.09	N31°58'40"W	108.61'	N 173292.30,E 735417.40	N 173384.43,E 735359.89
C2	89.99'	878.40'	5.87	N25°29'54"W	89.96'	N 173384.43,E 735359.89	N 173465.62,E 735321.16
C3	7.19'	577.05'	0.71	N22°12'23"W	7.19'	N 173465.62,E 735321.16	N 173472.28,E 735318.44
C4	102.66'	577.05'	10.19	N16°45'10"W	102.52'	N 173472.28,E 735318.44	N 173570.45,E 735288.89
C5	39.38'	25.00'	90.26	S44°28'49"E	35.43'	N 173457.39,E 734582.86	N 173432.11,E 734607.69
C6	9.16'	88.00'	5.96	N87°24'41"E	9.15'	N 173427.65,E 735258.93	N 173428.07,E 735268.07
C7	31.41'	88.00'	20.45	N74°12'15"E	31.25'	N 173428.07,E 735268.07	N 173436.57,E 735298.14
C8	37.45'	25.00'	85.83	N21°03'51"E	34.04'	N 173440.51,E 735306.21	N 173472.28,E 735318.44
C9	38.22'	25.00'	87.59	N72°13'41"W	34.60'	N 173384.43,E 735359.89	N 173394.99,E 735326.93
C10	63.62'	138.00'	26.41	S77°11'04"W	63.06'	N 173391.64,E 735320.07	N 173377.65,E 735258.58
C11	39.27'	25.00'	90.00	S45°23'31"W	35.36'	N 173378.68,E 735108.19	N 173353.85,E 735083.02
C12	64.57'	562.00'	6.58	S3°40'59"W	64.53'	N 173278.64,E 735082.50	N 173214.24,E 735078.36
C13	123.02'	350.00'	20.14	S17°02'37"W	122.39'	N 172634.47,E 735007.43	N 172517.45,E 734971.56
C14	42.16'	25.00'	96.62	N21°11'51"W	37.34'	N 172523.85,E 734918.66	N 172558.66,E 734905.16
C15	53.16'	100.00'	30.46	N54°16'41"W	52.54'	N 172559.81,E 734902.09	N 172590.49,E 734859.43
C16	171.88'	500.00'	19.70	N48°53'47"W	171.04'	N 172793.53,E 734694.73	N 172905.96,E 734565.84
C17	189.07'	550.00'	19.70	S48°53'47"E	188.14'	N 172948.72,E 734591.79	N 172825.03,E 734733.56
C18	26.58'	50.00'	30.46	S54°16'41"E	26.27'	N 172621.98,E 734898.26	N 172606.65,E 734919.59
C19	43.84'	25.00'	100.48	N60°15'15"E	38.44'	N 172605.72,E 734922.08	N 172624.79,E 734955.45
C20	15.93'	300.00'	3.04	N8°29'43"E	15.93'	N 172624.79,E 734955.45	N 172640.54,E 734957.80
C21	58.82'	512.00'	6.58	N3°40'59"E	58.79'	N 173220.32,E 735028.73	N 173278.98,E 735032.51
C22	39.27'	25.00'	90.00	N44°36'29"W	35.36'	N 173354.20,E 735033.02	N 173379.37,E 735008.19
C23	39.16'	25.00'	89.74	N45°31'11"E	35.28'	N 173432.79,E 734507.69	N 173457.51,E 734532.86
C24	5.98'	125.00'	2.74	N0°43'24"W	5.98'	N 173580.55,E 734534.25	N 173586.53,E 734534.17
C25	40.35'	25.00'	92.49	S44°08'56"W	36.11'	N 173705.15,E 734605.97	N 173679.23,E 734580.82
C26	8.37'	175.00'	2.74	S0°43'24"E	8.37'	N 173588.35,E 734584.14	N 173579.98,E 734584.25
C27	227.92'	663.00'	19.70	N48°53'47"W	226.80'	N 172896.22,E 734821.31	N 173045.32,E 734650.42
C28	88.00'	663.00'	7.60	S42°51'02"E	87.93'	N 172960.68,E 734761.51	N 172896.22,E 734821.31
C29	88.00'	663.00'	7.60	N50°27'19"W	87.93'	N 172960.68,E 734761.51	N 173016.67,E 734693.70
C30	51.92'	663.00'	4.49	S56°30'04"E	51.91'	N 173045.32,E 734650.42	N 173016.67,E 734693.70
C31	24.63'	500.00'	2.82	S57°20'00"E	24.62'	N 172905.98,E 734565.84	N 172892.69,E 734586.57
C32	97.61'	500.00'	11.19	N50°19'47"W	97.46'	N 172830.47,E 734661.59	N 172892.69,E 734586.57
C33	49.64'	500.00'	5.69	S41°53'33"E	49.62'	N 172830.47,E 734661.59	N 172793.53,E 734694.73
C34	35.89'	350.00'	5.88	N24°10'31"E	35.87'	N 172517.45,E 734971.56	N 172550.18,E 734986.25
C35	75.90'	350.00'	12.42	N15°01'32"E	75.75'	N 172550.18,E 734986.25	N 172623.34,E 735005.89
C36	11.23'	350.00'	1.84	N7°53'38"E	11.23'	N 172623.34,E 735005.89	N 172634.47,E 735007.43
C37	73.00'	550.00'	7.60	N42°51'02"W	72.95'	N 172825.03,E 734733.56	N 172878.51,E 734683.95
C38	73.00'	550.00'	7.60	N50°27'19"W	72.95'	N 172878.51,E 734683.95	N 172924.95,E 734627.70
C39	43.07'	550.00'	4.49	N56°30'04"W	43.06'	N 172924.95,E 734627.70	N 172948.72,E 734591.79
C40	4.67'	562.00'	0.48	N6°44'11"E	4.67'	N 173214.24,E 735078.36	N 173218.88,E 735078.91
C41	59.90'	562.00'	6.11	N3°26'43"E	59.87'	N 173218.88,E 735078.91	N 173278.64,E 735082.50
C42	40.57'	88.00'	26.41	N77°11'04"E	40.21'	N 173427.65,E 735258.93	N 173436.57,E 735298.14
C43	109.85'	577.05'	10.91	S17°06'35"E	109.68'	N 173570.45,E 735288.89	N 173465.62,E 735321.16
C44	198.67'	878.40'	12.96	S29°02'34"E	198.25'	N 173465.62,E 735321.16	N 173292.30,E 735417.40

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 GEORGE, MILES & BUHR, LLC ARCHITECTS & ENGINEERS SALISBURY • BALTIMORE • SEAFORD 206 WEST MAIN STREET SALISBURY, MARYLAND 21801 410-742-3115, FAX 410-548-5790 www.gmbnet.com	
FOX HAVEN II - PHASE 1 SUSSEX COUNTY, DELAWARE	
LINE AND CURVE TABLES	
SCALE : 1" = 60'	SHEET NO.
DESIGN BY : RLM	P2.0
DRAWN BY : RLM	
CHECKED BY :	
GMB FILE : 170223	
DATE : JAN 2019	



Utility Arlington LED Series Luminaire
 DECORATIVE OUTDOOR

ORDERING INFORMATION:

WATTAGE / DRIVER 50 = 50W 350mA 75 = 75W 350mA 100 = 100W 350mA	COLOR TEMPERATURE AK = 4,000K CCT BK = 5,000K CCT BK = 6,000K CCT	OPTICS A3 = ASYMMETRIC ACRYLIC REFRACTOR G3 = ASYMMETRIC GLASS REFRACTOR P3 = ASYMMETRIC POLY REFRACTOR	COLOR A = AS SPECIFIED B = BLACK D = DARK GREEN E = BROWN GREEN F = DARK GREEN H = DARK GREEN N = GREEN W = WHITE Z = BRONZE	FINIAL FACTORY INSTALLED B = BALL S = SPIKE
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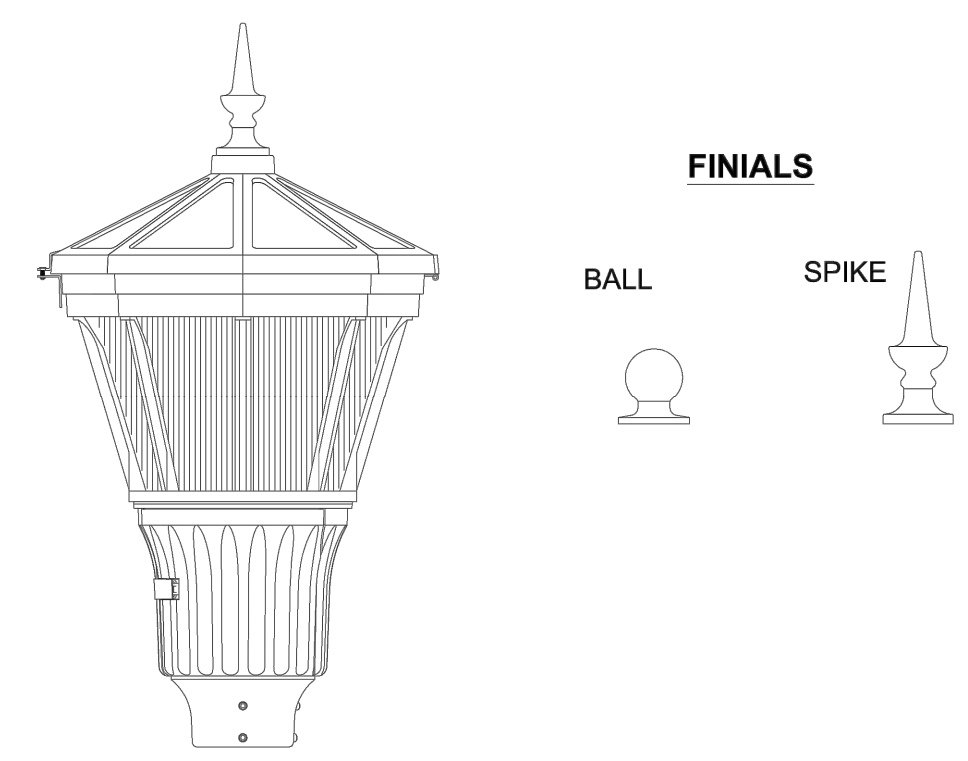
VOLTAGE
A5 = AUTO-SENSING (120-277) 50/60 HZ
A6 = AUTO-SENSING (247-480) 50/60 HZ

HOLOPHANE
An Utility Brands Company

ORDER #: N
TYPE: DRAWING
DRAWN: KRW
DATE: 04/11/11
DIWG #: LUM_ARUE

OPTIONS
D = DIMMING
H = NEMA TWISTLOCK PHOTOCONTROL RECEPTACLE
L1H = 1.5 FEET OF PREWIRED LEADS
L10 = 10 FEET OF PREWIRED LEADS
L20 = 20 FEET OF PREWIRED LEADS
L30 = 30 FEET OF PREWIRED LEADS
P27 = DTI TWISTLOCK PHOTOCONTROL 120/277 VOLT
P34 = DTI TWISTLOCK PHOTOCONTROL 347 VOLT
P48 = DTI TWISTLOCK PHOTOCONTROL 480 VOLT
PSC = SHORTING CAP
PE = DBS PHOTOCONTROL

ACCESSORIES
SPORLUIN = REPLACEMENT SURGE PROTECTOR 120-277
SPORLUIN48 = REPLACEMENT SURGE PROTECTOR 347-480



Utility Arlington LED Series Luminaire
 DECORATIVE OUTDOOR

Specifications

GENERAL DESCRIPTION
 The Utility Arlington LED is designed for ease of maintenance with the plug-in electrical module common to each of the luminaires in Holophane's Utility Luminaire Series. A precision optical system maximizes post spacings while maintaining uniform illumination.

OPTICAL SYSTEM
 The optical system consists of a precisely molded refractor operating in conjunction with a formed polished reflector and LED circuit board with dedicated heat sink located in the top cover. Positive pressure from the reflector and gaskets at the top and bottom of the refractor create a sealed optical compartment. Refractors designed to provide an I.E.S. Type III distribution are available molded from thermal resistant borosilicate glass and acrylic or polycarbonate plastic.

LUMINAIRE HOUSING
 The luminaire housing, cast of aluminum, cradles the refractor and provides an enclosure for the plug-in electrical module. A slipfitter will accept a 3" high by 2 7/8" to 3 1/8" O.D. pole tenon.

LUMINAIRE HOUSING / DOOR
 Cast of aluminum, the housing / door opens without the use of tools and is retained on a hinge. For units with an E.E.I.-N.E.M.A. twist lock photocell receptacle, the door contains an acrylic "window" to allow light to reach the cell.

ELECTRICAL MODULE
 The electrical components are mounted on a steel plate that is removable with minimum use of tools. A matching five conductor plug connects to the receptacle in the luminaire housing to complete the wiring. Where a starting aid is required, it is provided with a separate plug-in connector and can be replaced without the use of tools. For photoelectric operation, the electrical module is provided with an E.E.I.-N.E.M.A. twist lock photocell receptacle.

TOP COVER
 The octagonal cover, cast of aluminum, is attached to the top ring of the luminaire housing by a stainless steel pins hinge and latch a color matched bracket & screw which secures entry to the LED optical chamber.

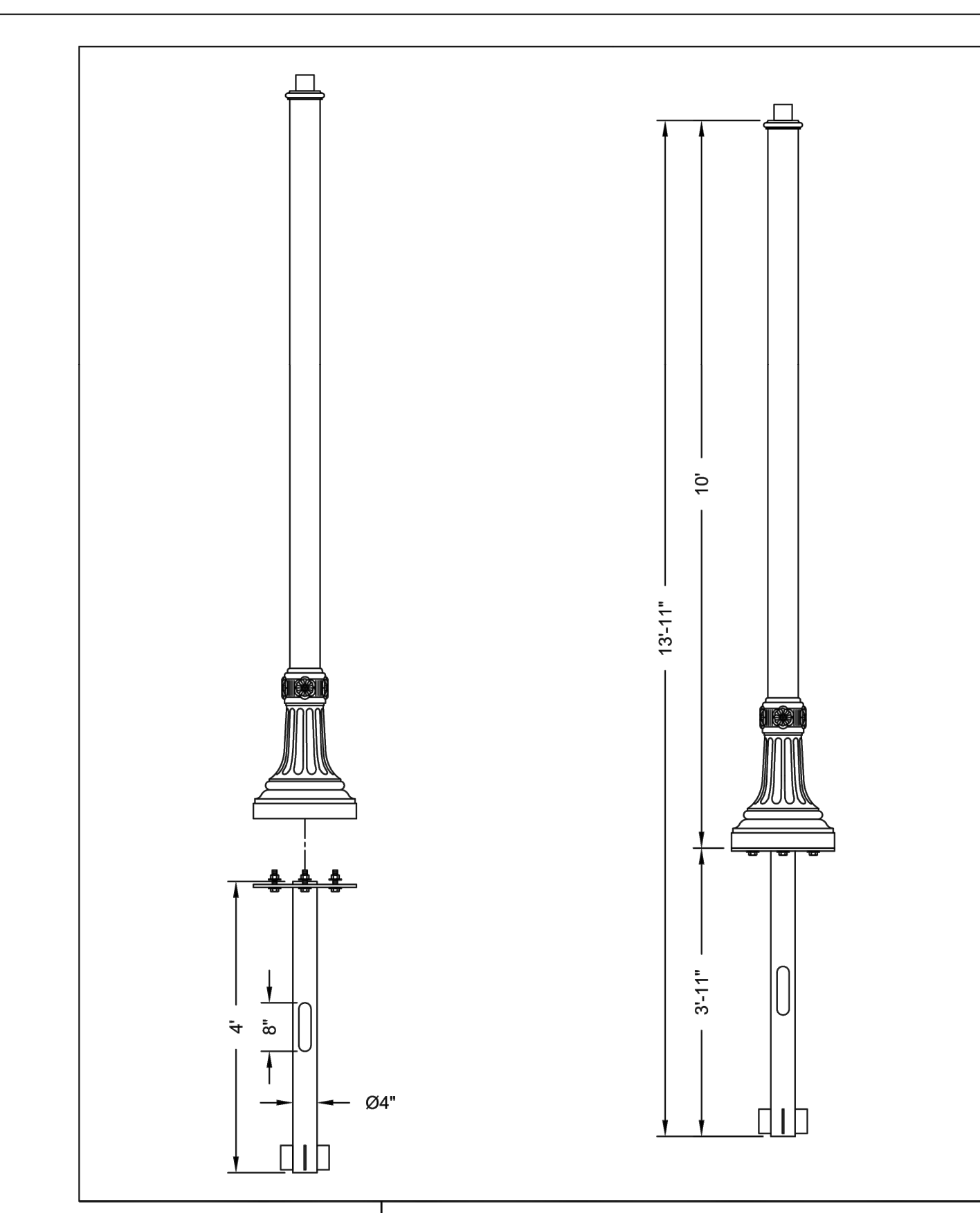
ELECTRONIC DRIVER
 (Refer to the handbook for specific operating characteristics)

FINISH
 The luminaire is finished with polyester powder paint to insure maximum durability.

CSA
 The luminaire is CSA listed as suitable for wet locations at a maximum of 40 degrees C ambient temperature.

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AN UTILITY BRANDS COMPANY

ORDER #: N
TYPE: DRAWING
DRAWN: KRW
DATE: 04/11/11
DIWG #: LUM_ARUE

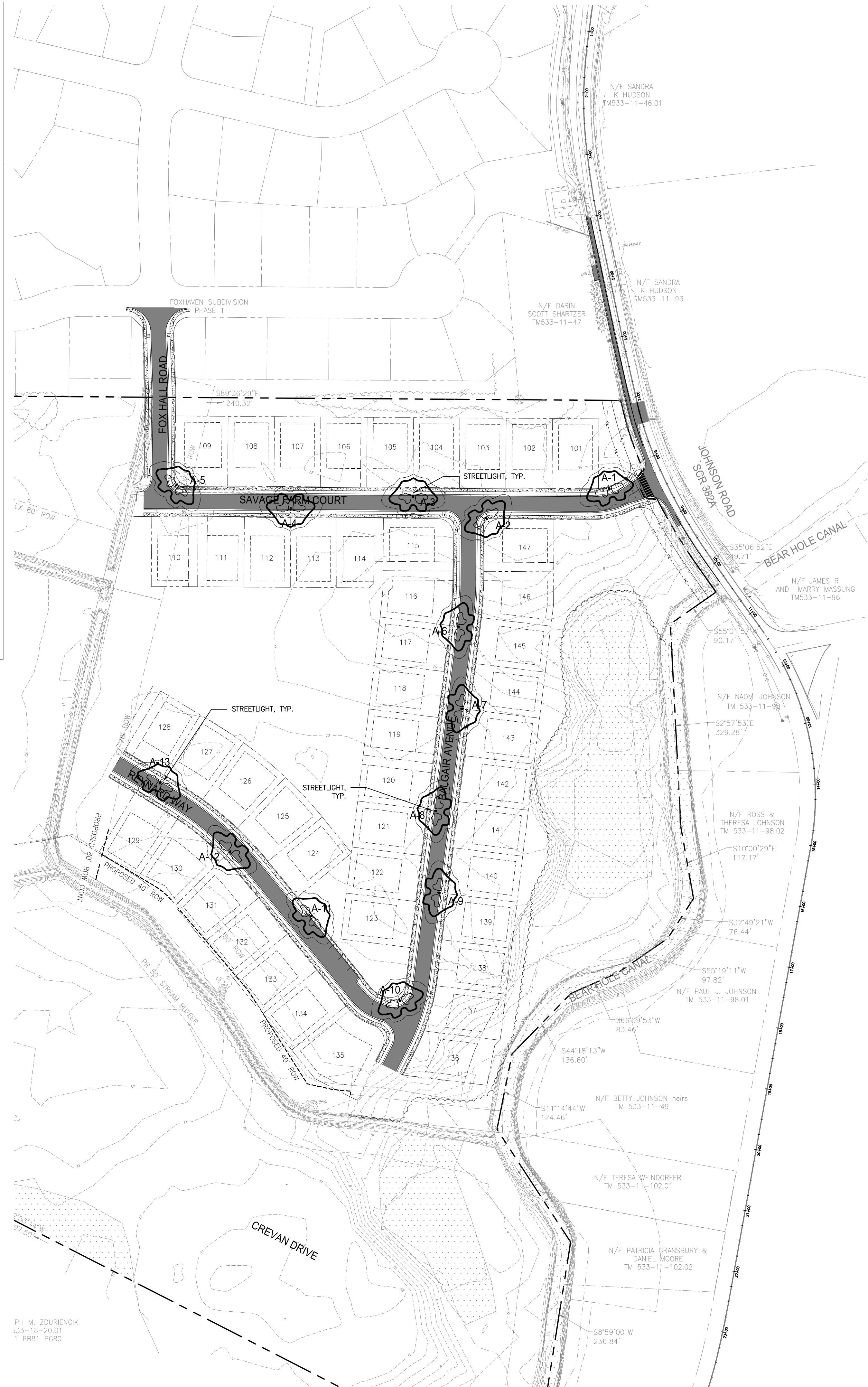


HOLOPHANE
LEADER IN LIGHTING SOLUTIONS
An Utility Brands Company

DBB Drawing

ORDER #:	TYPE:	DRAWING #:
REVISION:	REVISION DATE:	TSG001395
DRAWN: ACH	ORIGIN DATE: 06-27-06	PAGE: 1 of 1

THIS DRAWING, WHEN APPROVED, SHALL SHOW THE COMPLETE SPECIFICATIONS FOR THE MATERIALS TO BE FURNISHED BY CONTRACTOR ON THE CONSTRUCTION PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.



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 410-742-3115, FAX 410-548-5790
 www.gmbnet.com

FOX HAVEN II - PHASE 1
 SUSSEX COUNTY, DELAWARE

LIGHTING PLAN

SCALE : NO SCALE	SHEET NO.
DESIGN BY : RLM	P3.0
DRAWN BY : RLM	
CHECKED BY :	
GMB FILE : 170223	
DATE : JAN 2019	

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TEMPORARY TRAFFIC CONTROL NOTES:

- ALL WORK SHALL BE PERFORMED IN A MANNER THAT WILL REASONABLY PROVIDE THE LEAST PRACTICABLE OBSTRUCTION TO ROAD USERS, INCLUDING VEHICULAR TRAFFIC, BICYCLE TRAFFIC AND PEDESTRIAN TRAFFIC.
- ALL TEMPORARY TRAFFIC CONTROL AND TEMPORARY TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, THE LATEST EDITION OF THE MANUAL TITLED "STATE OF DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)" (HEREINAFTER REFERRED TO AS THE "DELAWARE MUTCD"), CURRENT STATE OF DELAWARE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND SUPPLEMENTAL SPECIFICATIONS, INCLUDING ALL REVISIONS AS OF THE DATE OF THE ENTRANCE PERMIT APPROVAL.
- THE DEPARTMENT RESERVES THE RIGHT TO STOP THE CONTRACTOR'S OPERATIONS, IF, IN THE OPINION OF THE DEPARTMENTS REPRESENTATIVE, THE CONTRACTOR'S OPERATIONS ARE NOT IN COMPLIANCE WITH THE DELAWARE MUTCD, THE SPECIFICATIONS OR THE PLANS OR IF THE CONTRACTOR'S OPERATIONS ARE DEEMED UNSAFE.
- IF THE CONTRACTOR DESIRES TO DEVIATE FROM THE TEMPORARY TRAFFIC CONTROL PLAN (TTCP) PROVIDED IN THE PLAN SET OR DESIRES CHANGES TO THE PHASING OR SCOPE OF THE TTCP, THE CONTRACTOR SHALL SUBMIT A NEW TTCP TO THE DISTRICT SAFETY OFFICER FOR APPROVAL PRIOR TO THE START OF WORK AT EACH AND EVERY LOCATION. THE TTCP SHALL BE PREPARED, SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF DELAWARE AND SHALL BE PREPARED IN ACCORDANCE WITH ALL APPLICABLE DELDOT STANDARDS. THE TTCP SHALL BE SUBMITTED 14 CALENDAR DAYS IN ADVANCE OF STARTING WORK.
- ALL ROADWAY CLOSURES OR LANE CLOSURES BEYOND THOSE SPECIFIED AND APPROVED IN THE PLANS SHALL BE APPROVED BY THE DISTRICT SAFETY OFFICER A MINIMUM OF TWO WEEKS IN ADVANCE OF THE PROPOSED RESTRICTION.
- TEMPORARY TRAFFIC CONTROL DEVICES SHALL BE MAINTAINED IN GOOD CONDITION IN ACCORDANCE WITH THE BROCHURE ENTITLED "QUALITY GUIDELINES FOR TEMPORARY TRAFFIC CONTROL DEVICES" PUBLISHED BY THE AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION (ATSSA). ANY TEMPORARY TRAFFIC CONTROL DEVICES THAT DO NOT MEET THE QUALITY GUIDELINES SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE DEVICES. FAILURE TO COMPLY WILL RESULT IN WORK STOPPAGE.
- TEMPORARY TRAFFIC CONTROL DEVICES USED ON ALL ROADWAYS OPEN TO THE PUBLIC IN DELAWARE SHALL CONFORM TO THE DELAWARE MUTCD AND SHALL BE IN NEW OR REFURBISHED CONDITION. ALL DEVICES SHALL BE CRASHWORTHY IN ACCORDANCE WITH THE NATIONAL COOPERATIVE HIGHWAY RESEARCH PROGRAM (NCHRP) REPORT 350 AND/OR IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL FOR ASSESSING SAFETY HARDWARE (MASH), PUBLISHED BY THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO). THE CONTRACTOR SHALL SUBMIT CERTIFICATION FOR ALL TEMPORARY TRAFFIC CONTROL DEVICES USED SPECIFICALLY ON THIS PROJECT TO THE DISTRICT SAFETY OFFICER AT OR PRIOR TO THE PRE-CONSTRUCTION MEETING. THE CONTRACTOR SHALL NOT BEGIN WORK OR PLACE ANY TEMPORARY TRAFFIC CONTROL DEVICES UNTIL THE CERTIFICATION OF DEVICES HAS BEEN APPROVED BY THE DISTRICT SAFETY OFFICER.
- ANY DEFICIENCIES RELATED TO TEMPORARY TRAFFIC CONTROL THAT ARE REPORTED TO THE CONTRACTOR IN WRITING SHALL BE CORRECTED WITHIN 24 HOURS OR AS DIRECTED BY THE DISTRICT SAFETY OFFICER. CORRECTIVE ACTIONS ON SEVERE DEFICIENCIES SHALL BE TAKEN IMMEDIATELY. FAILURE TO COMPLY WILL RESULT IN THE SUSPENSION OF WORK UNTIL DEVICES ARE BROUGHT BACK INTO COMPLIANCE.
- ACCESS TO ALL BUSINESSES AND RESIDENCES WITHIN THE PROJECT LIMITS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THIS CONTRACT. ANY TEMPORARY CLOSURE OF A DRIVEWAY OR ENTRANCE FOR TIE-IN PURPOSES SHALL BE COORDINATED WITH THE ENGINEER AND THE PROPERTY OWNER IN ADVANCE OF THE CLOSURE.
- ACCESS TO ALL TRANSIT STOPS LOCATED WITHIN THE PROJECT LIMITS SHALL BE MAINTAINED UNLESS OTHERWISE DIRECTED BY THE PLANS OR THE ENGINEER. MAINTAINING ACCESS TO THE TRANSIT STOP SHALL INCLUDE MAINTAINING AN AREA OF THE TRANSIT VEHICLE TO STOP TO PICK-UP AND DISCHARGE PASSENGERS AND ALSO AN ACCESSIBLE PATH FOR PEDESTRIANS TO SAFELY ACCESS THE TRANSIT STOP.
- THE CONTRACTOR SHALL PROVIDE ALL PROPERTY OWNERS AND RESIDENTS WHO LIVE ADJACENT TO THE WORK ZONE WITH WRITTEN NOTICE, 48 HOURS IN ADVANCE OF THE START OF CONSTRUCTION WORK. THIS NOTICE SHALL INCLUDE THE SCOPE OF WORK, WORKING HOURS, ANTICIPATED START AND COMPLETION DATES, A SCHEDULE OF CONSTRUCTION ACTIVITIES WHICH MAY INTERFERE WITH ACCESS TO THE PROPERTY INCLUDING A SCHEDULE AND ACCESS COORDINATION PLAN, CONTRACTOR'S NAME AND ADDRESS AND A DELDOT CONTACT PHONE NUMBER. FAILURE TO GIVE PROPER NOTICE WILL RESULT IN A SUSPENSION OF THE WORK REQUIRING NOTICE UNTIL PROPER NOTICE IS PROVIDED. THE CONTRACTOR SHALL PROVIDE WRITTEN VERIFICATION TO THE ENGINEER THAT THE PROPERTY OWNERS AND RESIDENTS WERE NOTIFIED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE LOCAL 911 CENTER, LOCAL SCHOOLS AND THE DELDOT PUBLIC INFORMATION CENTER OF ALL ROADS AND LANES TO BE CLOSED A MINIMUM OF SEVEN CALENDAR DAYS BEFORE THE CLOSURE.
- THE CONTRACTOR SHALL NOTIFY THE LOCAL 911 CENTER IF ACCESS TO A FIRE HYDRANT IS TEMPORARILY RESTRICTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE TRANSPORTATION MANAGEMENT CENTER IS NOTIFIED EACH AND EVERY DAY WHEN WORK IS BEING PERFORMED IN STATE RIGHT-OF-WAY. THE CONTRACTOR SHALL IDENTIFY THE TYPE OF WORK, ANY LANES OR SHOULDERS CLOSED, THE LENGTH OF TIME FOR WORK, WHEN THE LANE RESTRICTIONS ARE IN PLACE AND WHEN LANE RESTRICTIONS ARE LIFTED. CONTACT PERSON/PHONE NUMBER AND STATE INSPECTOR, THE TRANSPORTATION MANAGEMENT CENTER CAN BE REACHED AT (302) 659-4600.
- AT THE END OF EACH WORKDAY, THE CONTRACTOR SHALL CORRECT ALL VERTICAL DIFFERENCES IN ACCORDANCE WITH TABLE 66-1 OF THE DELAWARE MUTCD.
- AT THE END OF EACH DAY'S OPERATION AND BEFORE TRAFFIC IS RETURNED TO UNRESTRICTED ROADWAY USE, TEMPORARY PAVEMENT MARKINGS SHALL BE APPLIED IN ACCORDANCE WITH THE DELAWARE MUTCD AND DELDOT'S TEMPORARY PAVEMENT MARKINGS POLICY.
- WHEN SIDE ROADS INTERSECT THE WORK ZONE, ADDITIONAL TRAFFIC CONTROL DEVICES SHALL BE ERRECTED INCLUDING PERMANENT WARNING SIGNS.
- ALL STORAGE OF EQUIPMENT AND MATERIAL SHALL COMPLY WITH SECTION 66.21 OF THE DELAWARE MUTCD.
- ALL FLAGGERS SHALL COMPLY WITH CHAPTER 6E OF THE DELAWARE MUTCD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS/HER WORK WITH OTHER CONTRACTORS IN THE AREA.
- ALL PERSONS WORKING WITHIN THE STATE RIGHT-OF-WAY SHALL WEAR A MINIMUM OF AN ANSI CLASS II SAFETY VEST MEETING OR EXCEEDING THE ANSI 107-2004 REQUIREMENTS, AS SPECIFIED IN THE DELAWARE MUTCD.
- ALL PAVEMENT MARKINGS THAT ARE NO LONGER IN USE AND CONFLICT WITH TEMPORARY PAVEMENT MARKINGS SHALL BE REMOVED AND COMPLETELY OBLITERATED BY A METHOD APPROVED BY THE ENGINEER. PAINTING OVER THE CONFLICTING PAVEMENT MARKINGS WILL NOT BE ACCEPTED AS A METHOD OF REMOVAL.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF EXISTING PAVEMENT WITHIN THE PROJECT LIMITS FOR THE DURATION OF THE CONTRACT OR AS DIRECTED BY THE ENGINEER.
- ALL ROADWAYS AND ENTRANCES NOT OPEN TO TRAFFIC SHALL BE CLOSED USING TYPE III BARRICADES AND SHALL BE INSTALLED PER THE DELAWARE MUTCD. IF THE ROADWAY OR ENTRANCE IS CLOSED FOR MORE THAN ONE MONTH, THE CONTRACTOR SHALL ERECT PERMANENT BARRICADES AS DIRECTED IN PART 3 OF THE DELAWARE MUTCD.
- WITH IN THE MAINLINE WORK AREA, PERMANENT ADVANCE WARNING SIGNS WITH THE LEGENDS ROAD WORK AHEAD SHALL BE INSTALLED IN ADVANCE OF THE WORK AREA IN BOTH DIRECTIONS. AN END ROAD WORK SIGN SHALL BE LOCATED 500 FEET DOWNSTREAM OF THE WORK AREA. ON INTERSECTIONS ROADWAYS WITHIN THE PROJECT LIMITS, A ROAD WORK AHEAD SIGN SHALL BE PLACED AT A DISTANCE NOT LESS THAN 500 FEET DOWNSTREAM OF THE WORK AREA. ALL PERMANENT ADVANCE WARNING SIGNS SHALL BE MOUNTED ON TWO NCHRP-350 OR MASH APPROVED BREAKAWAY POSTS AND SHALL BE MOUNTED IN COMPLIANCE WITH THE DELAWARE MUTCD. PERMANENT ADVANCE WARNING SIGNS SHALL BE MOUNTED AT A HEIGHT OF 7 FEET MEASURED FROM THE ROADWAY TO THE BOTTOM OF THE SIGN. THE USE OF SKID MOUNTED SIGN SUPPORTS IS NOT ALLOWED UNLESS THE CONTRACTOR CAN DEMONSTRATE THAT A UTILITY CONFLICT EXISTS, WHICH SHALL BE VERIFIED BY THE DISTRICT SAFETY OFFICER. OR CONCRETE MEDANS PREVENT THE INSTALLATIONS OF THE PERMANENT ADVANCE WARNING SIGNS IN THE APPROPRIATE LOCATION.
- TYPICAL APPLICATIONS PER THE DELAWARE MUTCD SHALL BE INCORPORATED TO ACHIEVE REQUIRED TEMPORARY TRAFFIC CONTROL AND SAFETY REQUIREMENTS. THIS PROJECT IS SUBJECT TO THE FOLLOWING TYPICAL APPLICATIONS UNLESS DIRECTED OTHERWISE BY THE DELDOT DISTRICT SAFETY OFFICER. TYPICAL APPLICATION 3: "WORK ON THE SHOULDER OF A TWO-LANE ROAD (TA-3); TYPICAL APPLICATION 10: "LANE CLOSURE ON A TWO-LANE ROAD USING FLAGGERS" (TA-10) AND TYPICAL APPLICATION 11B: "LANE DIVERSION ON A TWO-LANE ROAD WITH LOW TRAFFIC VOLUMES (TA-11B).

GENERAL NOTES:

- ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE, FEDERAL AND LOCAL CODES. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY OWNER.
- THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THEY DISCOVER IN THE PLAN.
- DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE FOR THE WORK TO BE REJECTED.
- ALL MATERIALS SHALL BE NEW AND SHALL BE ASBESTOS AND VERMICULITE FREE.
- DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK TO BE PERFORMED. IT MUST BE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
- PRIOR TO CONSTRUCTION, CONTRACTOR TO FIELD LOCATE AND RECORD AND DAMAGE TO EXISTING PAVING, SIDEWALK, CURB OR STRUCTURES NOT TO BE REMOVED OR REPLACED, ENGINEER TO VERIFY LOCATION AND EXTENT OF DAMAGE.
- DAMAGE TO EXISTING PAVING, SIDEWALK, CURB OR STRUCTURES NOT TO BE REPLACED OR REMOVED DURING CONSTRUCTION SHALL BE IMMEDIATELY REPORTED TO ENGINEER, CONTRACTOR SHALL REPAIR OR REPLACE ALL DAMAGED WORK WITHOUT CHARGE TO THE OWNER.
- BASED UPON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) NUMBER 100050310K, EFFECTIVE DATE MARCH 16, 2015, THE ENTIRE PROPERTY IS LOCATED IN AN AREA DESIGNATED AS FLOOD ZONE "X" (UNSHADED), WHICH IS AN AREA THAT HAS BEEN DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.
- SUBJECT PROPERTY IS CURRENTLY ZONED "AR-1" (AGRICULTURAL RESIDENTIAL).
- TOTAL AREA FOR SUBJECT SITE IS 9.38 ACRES.
- THE BOUNDARY INFORMATION SHOWN ON THIS PLAT WAS COMPILED FROM DOCUMENTS OF PUBLIC RECORD. ALL PROVIDED EASEMENTS ARE SHOWN ARE SHOWN ON THIS PLAN. HOWEVER, THIS PLAT AND SURVEY DOES NOT VERIFY THE EXISTENCE OR NON-EXISTENCE OF RIGHT-OF-WAYS OR EASEMENTS.
- SURVEY DATUM: HORIZONTAL - NAD83, VERTICAL - NAVD88.
- ALL SITE LIGHTING SHALL BE DOWNWARD SCREENED SO THAT IT DOES NOT SHINE ON NEIGHBORING PROPERTIES OR ROADWAYS.
- NO WETLANDS ARE FOUND TO BE ON SITE PER THE DNREC NAVMAP ONLINE MAPPING SYSTEM.
- ALL FIRE LANES, EXITS, STANDPIPE AND SPRINKLER CONNECTIONS WILL BE MARKED IN ACCORDANCE WITH STATE FIRE PREVENTION REGULATIONS. BUILDING CONSTRUCTION TO BE WOODEN, THREE STORIES AND WILL HAVE SPRINKLERS.
- FIRE ALARM REQUIRED - THE FIRE ALARM SIGNALING SYSTEM SHALL BE AUTOMATIC, SUPERVISED OFF-SITE, AND SHALL CONSIST OF FULL COVERAGE BY SMOKE DETECTION AND ALARM NOTIFICATION, WHERE SMOKE DETECTION DEVICES WILL NOT FUNCTION BY REASON OF DEVICE LIMITATION. HEAT DETECTION SHALL BE PROVIDED IN THOSE SPECIFIC LOCATIONS FIRE ALARM SIGNALING SYSTEM PLANS AND SPECIFICATIONS SHALL BE SUBMITTED FOR REVIEW.
- MISS UTILITY SHALL BE NOTIFIED THREE (3) DAYS PRIOR TO EXCAVATION.
- MAINTENANCE OF THE STREETS WITHIN THE SITE WILL BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR PROPERTY OWNERS WITHIN THE SITE. THE STATE AND COUNTY ASSUME NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- THE HEIGHT, LOCATION, AND MATERIAL OF ALL FENCES, WALLS, SCREEN PLANTING AND LANDSCAPING WILL BE SHOWN ON THE FINAL SITE PLAN.
- ANY PROPOSED SIGN DETAILS WILL BE SUBMITTED SEPARATELY.
- THE MAINTENANCE OF ALL LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/OWNER.

DELDOT RECORD / SITE PLAN NOTES:

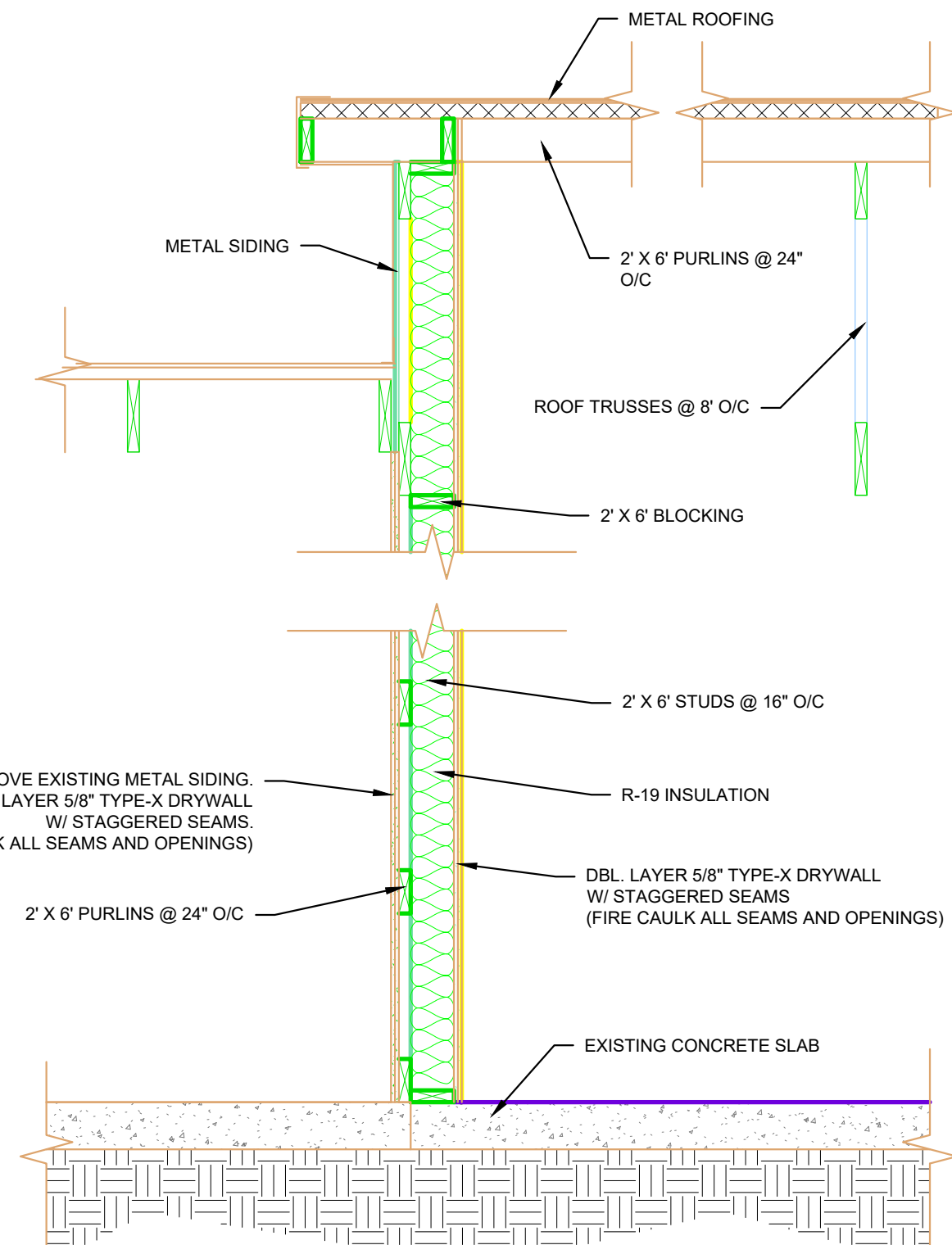
- NO LANDSCAPING SHALL BE ALLOWED WITHIN R/W UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL (DCM).
- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATIONS (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ON AN ADJACENT PROPERTY OWNERS LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S "SHARED-USE PATH AND/OR SIDEWALK TERMINATION POLICY".
- THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE F
- ALL LOTS SHALL HAVE ACCESS FROM THE INTERNAL SUBDIVISION STREET. DRIVEWAYS WILL NOT BE PERMITTED TO BE PLACED AT CATCH BASIN LOCATIONS.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL. THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.
- THIS COMMERCIAL PARCEL HAS DIRECT FRONTAGE ALONG S.R. 22, HARBESON ROAD, WHICH HAS A FUNCTIONAL CLASSIFICATION OF MAJOR COLLECTOR AS DEFINED BY THE STATE OF DELAWARE'S DEPARTMENT OF TRANSPORTATION, PER SECTION 3.6.1 OF THE DELDOT DEVELOPMENT COORDINATION MANUAL (DCM); IT IS THE DEVELOPER'S RESPONSIBILITY TO EVALUATE NOISE LEVELS AND THEIR IMPACTS ON THE PROPOSED DEVELOPMENT, FOR PROJECTS ADJACENT TO EXISTING TRANSPORTATION FACILITIES WITH THIS FUNCTIONAL CLASSIFICATION, ROADWAYS WITH THIS CLASSIFICATION CAN BE EXPECTED TO GENERATE ELEVATED LEVELS OF ROAD AND TRAFFIC RELATED NOISE, SIMILAR TO WHAT CAN BE EXPECTED IN URBAN AREAS. A DETAILED NOISE ANALYSIS PER DCM 3.6 IS TYPICALLY RECOMMENDED TO HELP GAUGE THE ACTUAL IMPACTS THAT ROADWAY RELATED NOISE MAY HAVE ON VARIOUS POTENTIAL LAND-USES (SUCH AS THOSE DESCRIBED IN DCM FIGURE 3.6.3.A: NOISE ABATEMENT CRITERIA) WITH THE INCLUSION OF THIS NOTE, THE DEVELOPER IS ACKNOWLEDGING THAT THE PROPOSED SITE AND/OR BUILDING LOCATION CAN BE EXPECTED TO EXCEED THE SPECIFIC MAXIMUM NOISE LEVELS FOR CERTAIN COMMERCIAL AND NON-RESIDENTIAL USES AS SHOWN IN DCM FIGURE 3.6.3.A. THE DEVELOPER'S WAIVER OF THE NOISE ANALYSIS AND REVIEW OF POTENTIAL NOISE MITIGATION MEASURES ARE SUPPORTED BY THE INFEASIBILITY OF APPLYING NOISE MITIGATION MEASURES, BASED ON ENGINEERING CONSIDERATIONS AND FACTORS THAT WOULD LIMIT THE ABILITY TO ACHIEVE SUBSTANTIAL NOISE REDUCTION, RELATED TO THE COMMERCIAL USE OF THE SITE AND/OR BUILDINGS. THIS WAIVER ACKNOWLEDGES THAT THE DECIBEL LEVEL FOR THIS PARCEL MAY EXCEED THE APPLICABLE LIMITS FOR SOME CURRENT OR FUTURE PROPOSED USES. THE USE OF THIS NOTE SIGNIFIES THE SUBDIVISION ENGINEER'S CONCURRENCE WITH WAIVING THE DEVELOPER'S COMPLETION OF A DETAILED NOISE STUDY AND SUBSEQUENT REVIEW OF RESULTING NOISE ABATEMENT FINDINGS OR MITIGATION MEASURES. ANY FUTURE COMPLAINTS RELATING TO EXISTING OR FUTURE NOISE LEVELS IMPACTING PROPOSED USES ON THIS SITE AND ALONG THIS EXISTING TRANSPORTATION FACILITY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER OR LAND OWNER OR BOTH.

DATA COLUMN:

1. TAX MAP NUMBER: DEED REFERENCE:	235-26.00 PARCELS 17.14 D 4371 162
2. DEVELOPER NAME:	SOUTHERN DELAWARE THERAPEUTIC AND RECREATIONAL HORSEBACK RIDING, INC.
3. DEVELOPER ADDRESS:	17170 HARBESON ROAD MILTON, DE 19968
4. ADDRESS LOCATION:	17170 HARBESON ROAD MILTON, DE 19968 BROADKILL SUSSEX
5. INTENDED USE:	CARETAKER HOUSE, HORSE FARM, STABLES, INDOOR RIDING ARENA, OFFICE RECREATION FACILITY COMMERCIALLY OPERATED FOR THE THERAPUTIC HORSEBACK RIDING, OFFICE
6. WATER SUPPLIER:	PRIVATE
7. MAXIMUM BUILDING HEIGHT:	42' ALLOWED (PROPOSED 42' MAX.)
8. BUILDING CONSTRUCTION:	UNPROTECTED COMBUSTIBLE (WOOD FRAME) NFPA TYPE V (000)
9. AUTOMATIC SPRINKLERS:	YES (TO BE INSTALLED)
10. FIRE DISTRICT:	MILTON FIRE CO

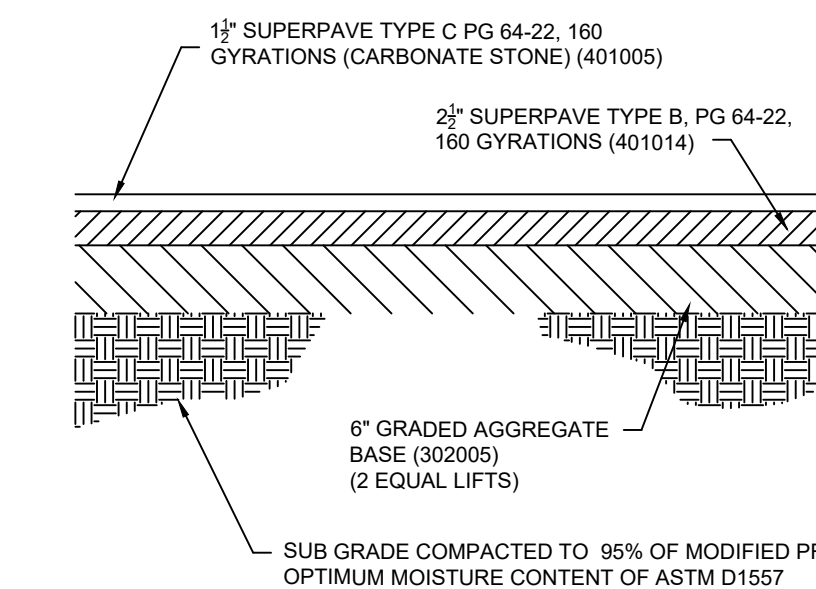
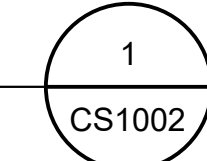
UTILITY NOTES:

- ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL AND LOCAL CODES. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER.
- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.
- LOCK BOX REQUIRED, CONTACT LOCAL FIRE CHIEF FOR ORDERING INFORMATION AND LOCATION OF BOX ON THE BUILDING.
- BUILDING SHALL HAVE STANDPIPES INSTALLED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS AND NFPA 14.
- THIS EXISTING BARN/INDOOR AREA AND CONCRETE CARNSTABLES WILL BE PROTECTED WITH AUTOMATIC SPRINKLERS IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS AND NFPA 13. NO OTHER BUILDINGS ON THE PROPERTY WILL BE PROTECTED BY SPRINKLERS.
- NO OBJECTS, STANDS, DISPLAYS, OR OTHER IMPEDIMENTS (PARKING) SHALL BE LOCATED WITHIN THE DEMARCATION AREA.
- THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THEY DISCOVER IN THE PLAN.
- DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE FOR THE WORK TO BE REJECTED.
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN THE WATER AND SEWER MAINS.
- CONTRACTOR SHALL MAINTAIN A MINIMUM 18" VERTICAL SEPARATION BETWEEN THE WATER AND SEWER MAINS.



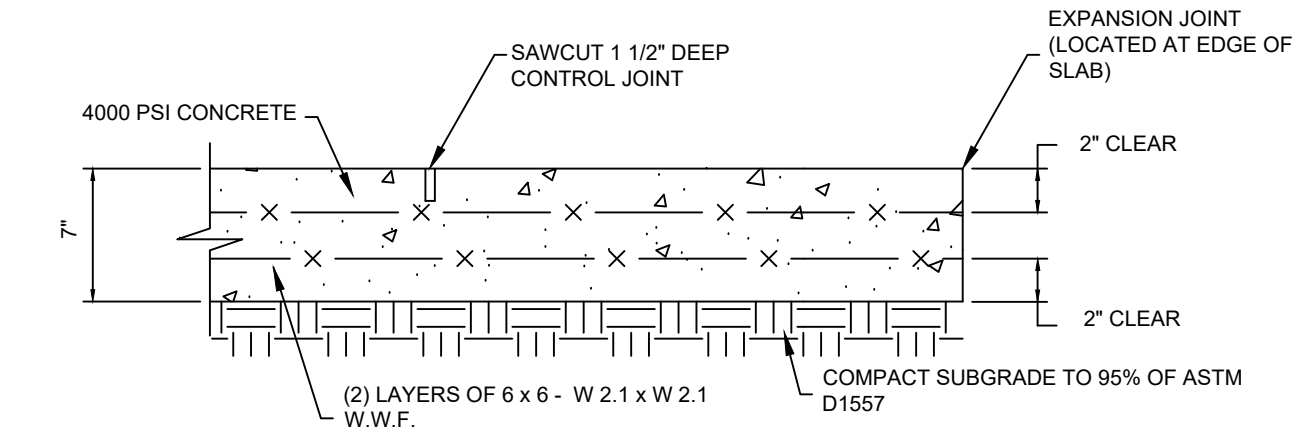
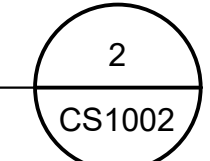
FIRE RATED DESIGN - UL U301

PROPOSED FIREWALL PROVIDED BY
DETAIL- ARCHITECT (ELEMENT DESIGN GROUP)



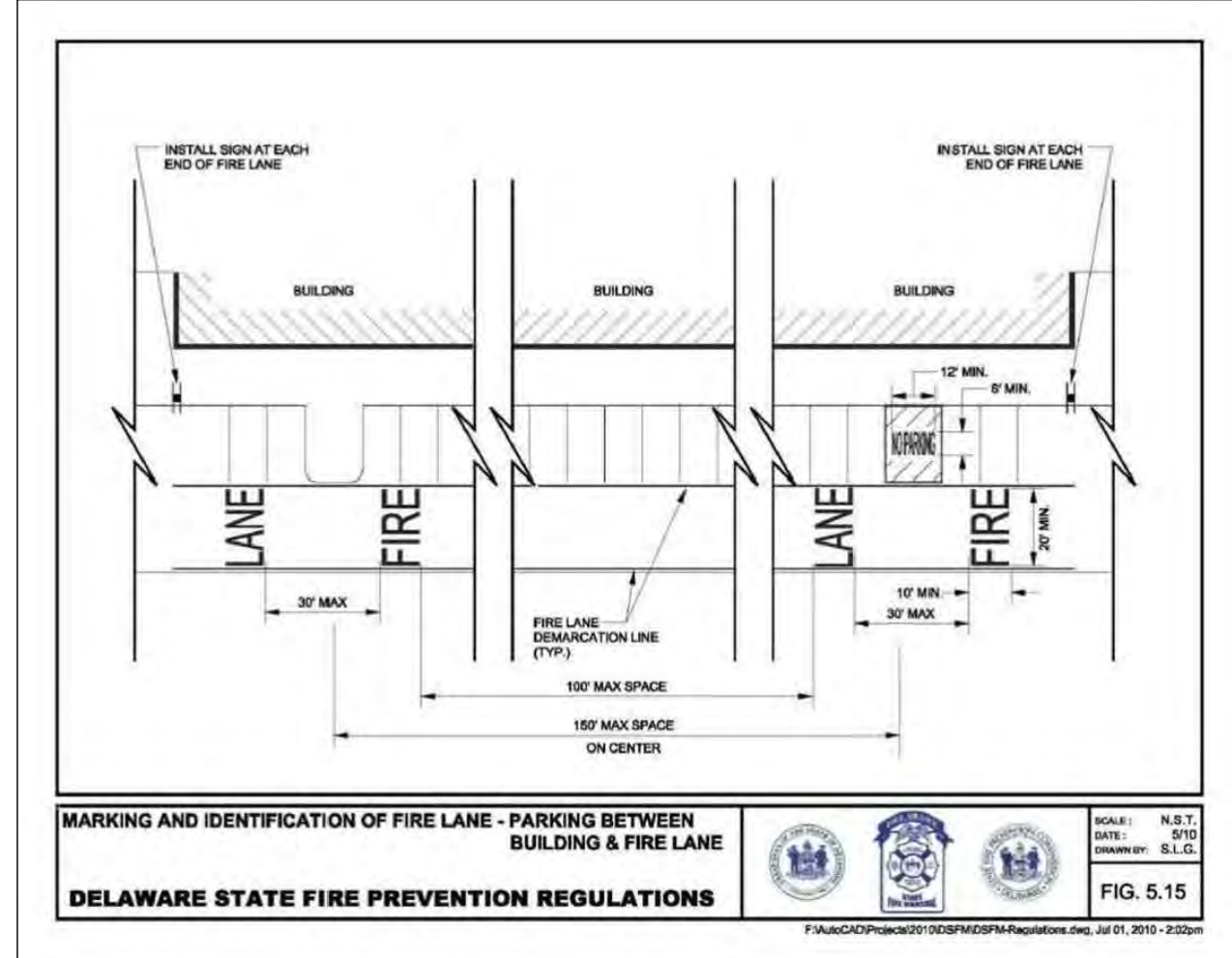
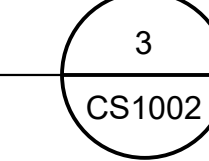
DETAIL- LIGHT DUTY PAVEMENT

NOT TO SCALE



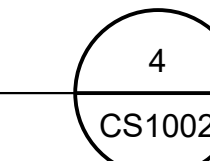
DETAIL- HEAVY DUTY CONCRETE

NOT TO SCALE



DETAIL- FIRE LANE NOTATION

NOT TO SCALE



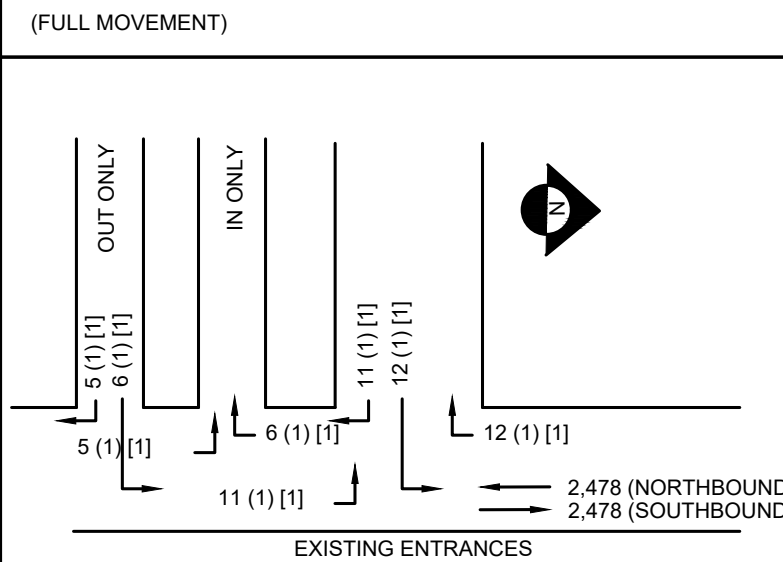
FIRE LANE NOTATION

- THE FIRST WORD "FIRE" SHALL BE CLOSEST TO A DRIVER APPROACHING SUCH MARKING.
- EACH WORD SHALL BE AT LEAST TEN FEET (10') IN HEIGHT AND TWENTY FEET (20') IN WIDTH.
- THE DISTANCE BETWEEN THE WORD "FIRE" AND THE WORD "LANE" SHALL BE NO GREATER THAN 30 FEET.
- THE DISTANCE FROM THE WORD "LANE" TO THE BEGINNING OF THE SECOND SET OF ROADWAY MARKINGS WHERE THE WORD "FIRE" BEGINS SHALL BE NO GREATER THAN 100 FEET.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
[Symbol]	[Symbol]	BUILDING
[Symbol]	[Symbol]	FULL DEPTH PAVEMENT
[Symbol]	[Symbol]	CURB
[Symbol]	[Symbol]	EDGE OF PAVEMENT
[Symbol]	[Symbol]	EX. WOOD PARKING BUMPER
[Symbol]	[Symbol]	FIRE DEPARTMENT CONNECTION
[Symbol]	[Symbol]	PERMANENT EASEMENT
[Symbol]	[Symbol]	FENCE
[Symbol]	[Symbol]	POWER, UTILITY POLE
[Symbol]	[Symbol]	PROPERTY, LINE
[Symbol]	[Symbol]	LEGAL RIGHT-OF-WAY
[Symbol]	[Symbol]	PROPERTY, CORNER FOUND
[Symbol]	[Symbol]	PROPERTY, ADJOINING LINED
[Symbol]	[Symbol]	SITE, MAIL BOX
[Symbol]	[Symbol]	SITE, TRAFFIC SIGN
[Symbol]	[Symbol]	SOIL BOUNDARY
[Symbol]	[Symbol]	SOIL LABEL

TRAFFIC GENERATION - HARBESON ROAD (SCR22)



ROAD TRAFFIC DATA:

FUNCTIONAL CLASSIFICATION - S22 (HARBESON ROADY) - MAJOR COLLECTOR
POSTED SPEED LIMIT - 40 MPH
AADT = 4,956 TRIPS (FROM 2016 DELDOT TRAFFIC SUMMARY)¹
1 YEAR PROJECTED AADT = 1,16 x 4,956 TRIPS = 5,749 TRIPS²
10 YEAR PROJECTED AADT + SITE ADT = 5,817 TRIPS
TRAFFIC PATTERN GROUP = 7 (FROM 2016 DELDOT TRAFFIC SUMMARY)
PEAK HOUR - 15.97% x 5,749 TRIPS = 919 TRIPS¹
TRUCK VOLUME - 9.43% x 5,749 = 542 TRUCKS¹

SITE TRAFFIC DATA:

SOURCE: ITE TRIP GENERATION MANUAL, 10TH EDITION
EXISTING LAND USE:
THE EXISTING ENTRANCE SERVES THE PROPERTY FOR A RIDING ARENA
34 PARKING SPACES = 68 ADT, 7 PEAK HOUR (4 IN, 3 OUT)
PROPOSED LAND USE:
THE EXISTING ENTRANCE SERVES THE PROPERTY FOR A RIDING ARENA
(NEW OWNER CONDUCTING EXISTING BUSINESS)
34 PARKING SPACES = 68 ADT, 7 PEAK HOUR (4 IN, 3 OUT)

PROPOSED TOTAL = 68 TRIPS
DIRECTIONAL DISTRIBUTION:
50% ENTERING, 50% EXITING²
34 TRIPS (50% ENTERING, 50% EXITING)²
34 TRIPS (50% ENTERING, 50% EXITING)²

TRAFFIC GENERATION DIAGRAM

- ADT PEAK HOUR (A.M.) [P.M.]
- 1 DIRECTIONAL DISTRIBUTIONS PROVIDED BY DELDOT
 - 2 DIRECTIONAL DISTRIBUTIONS PROVIDED BY ITE MANUAL

PENNONI ASSOCIATES, INC.
18072 Davidson Drive
Milton, DE 19968
T 302.684.8030 F 302.684.8054

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

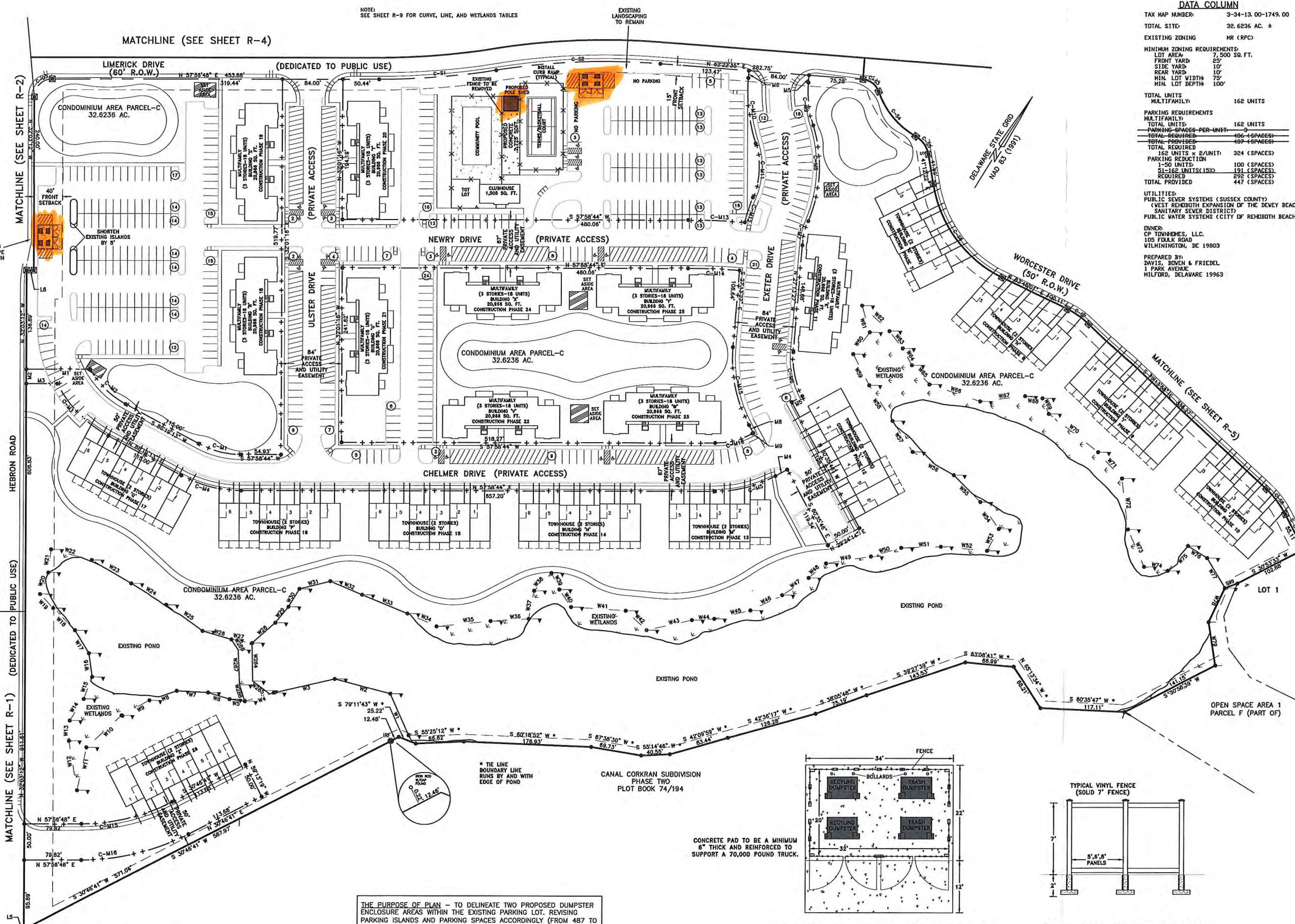
SITE PLAN NOTES

TAX MAP 235-26.00 PARCEL 17.14 | AREA = 9.38± ACRES
SOUTHERN DELAWARE THERAPEUTIC AND RECREATIONAL HORSEBACK RIDING, INC.
17170 HARBESON ROAD
MILTON, DELAWARE 19968

NO.	REVISIONS	BY
1	REVISED PER FIRE MARSHAL COMMENTS	SJD
DATE		
03/02/2025		

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES, AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT	S DTR1701
DATE	2018-05-07
DRAWING SCALE	AS SHOWN
DRAWN BY	MHD
APPROVED BY	MHD/AMD



NOTE:
SEE SHEET R-9 FOR CURVE, LINE, AND WETLANDS TABLES

EXISTING LANDSCAPING TO REMAIN

MATCHLINE (SEE SHEET R-4)

MATCHLINE (SEE SHEET R-2)

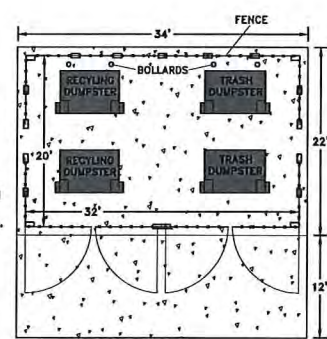
HEBRON ROAD

MATCHLINE (SEE SHEET R-1)

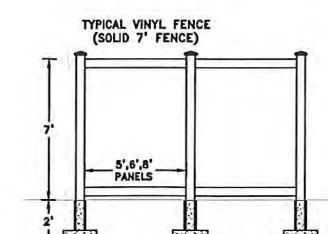
POINT OF BEGINNING
CONDOMINIUM AREA PARCEL-C
N: 251,536,988
E: 746,648,873

THE PURPOSE OF PLAN - TO DELINEATE TWO PROPOSED DUMPSTER ENCLOSURE AREAS WITHIN THE EXISTING PARKING LOT, REVISING PARKING ISLANDS AND PARKING SPACES ACCORDINGLY (FROM 487 TO 447 SPACES). TO SHOW THE PROPOSED LOCATION OF A POLE BUILDING AND 2,725 SQFT. OF ADDITIONAL CONCRETE BY POOL.

CONCRETE PAD TO BE A MINIMUM 6" THICK AND REINFORCED TO SUPPORT A 70,000 POUND TRUCK.



DUMPSTER PAD ENCLOSURE DETAIL
1" = 10'



DUMPSTER FENCE DETAIL
1" = 5'

THIS DRAWING, THE DESIGN AND CONSTRUCTION FEATURES DISCLOSED ARE PROPRIETARY TO DAVIS, BOWEN & FRIEDEL, INC., AND SHALL NOT BE ALTERED OR REUSED WITHOUT WRITTEN PERMISSION.

DATA COLUMN

TAX MAP NUMBER:	3-34-13.00-1749.00
TOTAL SITE:	32.6236 AC. ±
EXISTING ZONING:	HR (RPC)
MINIMUM ZONING REQUIREMENTS:	
LOT AREA:	7,500 SQ. FT.
FRONT YARD:	25'
SIDE YARD:	10'
REAR YARD:	10'
MIN. LOT WIDTH:	75'
MIN. LOT DEPTH:	100'
TOTAL UNITS:	162 UNITS
MULTIFAMILY:	162 UNITS
PARKING REQUIREMENTS:	
MULTIFAMILY:	162 UNITS
TOTAL UNITS:	162 UNITS
PARKING SPACES PER UNIT:	1.0
TOTAL REQUIRED:	162 (SPACES)
TOTAL PROVIDED:	497 (SPACES)
PARKING REDUCTION:	
1-50 UNITS:	100 (SPACES)
51-162 UNITS (15%):	181 (SPACES)
REQUIRED:	282 (SPACES)
TOTAL PROVIDED:	447 (SPACES)
UTILITIES:	
PUBLIC SEWER SYSTEMS (SUSSEX COUNTY):	
WEST REHOBOTH EXPANSION OF THE DEVEY BEACH SANITARY SEWER DISTRICT:	
PUBLIC WATER SYSTEMS (CITY OF REHOBOTH BEACH):	
OWNER:	
CP TOWNHOMES, LLC.	
103 FOULK ROAD	
WILMINGTON, DE 19803	
PREPARED BY:	
DAVIS, BOWEN & FRIEDEL	
1 PARK AVENUE	
MILFORD, DELAWARE 19963	

**CANAL POINT (MULTIFAMILY)
RESIDENTIAL PLANNED COMMUNITY
LEWES AND REHOBOTH HUNDRED, SUSSEX COUNTY, DELAWARE**

DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS, ENGINEERS & SURVEYORS
SALISBURY, MARYLAND (410) 543-9091
MILFORD, DELAWARE (302) 424-1441

REVISIONS:
7/18/04 COUNTY COUNCIL
7/20/04 DEP.
8/25/04 PLANNING DEPT.
9/29/04 PLANNING COM.
9/23/04 PLANNING DEPT.
10/13/04 SUSSEX CO. & SO.
7/04/04 SINGLE FAMILY
LOT LINE REVISIONS
11/24/09 TOWNHOUSE BUILDINGS
F.A.L.L.I.M.A.P.O.P.O.
04/07/10 TOWNHOUSE BUILDINGS &
11/17/10 TOWNHOUSE AND
MULTI-FAMILY CONSTRUCTION
PHASES
1/17/10 DUMPSTER/POLE SHED
ADDED
Date: JUNE 2004
Scale: 1"=80'
Dwn.By: JMJ
Proj.No.: 1229A004
Dwg.No.:

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Revised FILE COPY



February 1, 2019

Mr. Jamie Whitehouse
Department of Planning & Zoning Manager, Sussex County
2 The Circle, PO Box 417
Georgetown, DE 19947

Dear Mr. Whitehouse:

The Grande at Canal Pointe Condominium Association is proposing an amendment to the site development plan filed with Sussex County, Delaware.

The current plan lacks adequate permanent locations of trash collection sites for unit owner use. CP Townhomes, LLC and CP Rental, LLC placed dumpsters in multiple locations during construction - these were not fully enclosed and some relocated. The dumpsters today are located less than 100 feet from some of the balconies and patios of condominium units. Prior to purchasing, owners were informed by CP Townhomes, LLC sales office the dumpsters would be relocated upon completion of the development. The current site plan makes no accommodation for dumpsters, pads or enclosures.

Unightly appearance, illegal use by non-Grande at Canal Pointe condominium owners, and close proximity to condominium units are the major issues the Association is seeking to correct.

In 2018 the COA Council proposed two site location preferences, with the vision that no enclosure would be located within 100 feet from any unit. A town hall meeting was held September 15, 2018 to discuss the project after a survey that began August 28 2018 for 30 days. The survey results showed the majority of owners were interested in splitting the dumpsters between two large parking lots.

The week of October 15, 2018 a formal written ballot of the Grande at Canal Pointe Condominium Association owners was mailed to vote for the Dumpster Enclosure and beautification project and a one-time special assessment of \$261.00. A 77% response was returned of the 265 ballots mailed garnering 66.8% approving the project and assessment and 11% declining.

The approval of the amended site development plan to locate, enclose, and beautify the dumpsters will be an enhancement to the development.

Plan design and details enclosed.

Thank you for your consideration.

Sincerely,

Helaine Catalano

Helaine Catalano
GCP Council Member & Project Lead

RECEIVED
FEB 04 2019
SUSSEX COUNTY
PLANNING & ZONING

**The Grande at Canal Pointe
Condominium Owners Association
Dumpster Enclosure &
Beautification Project Plan**

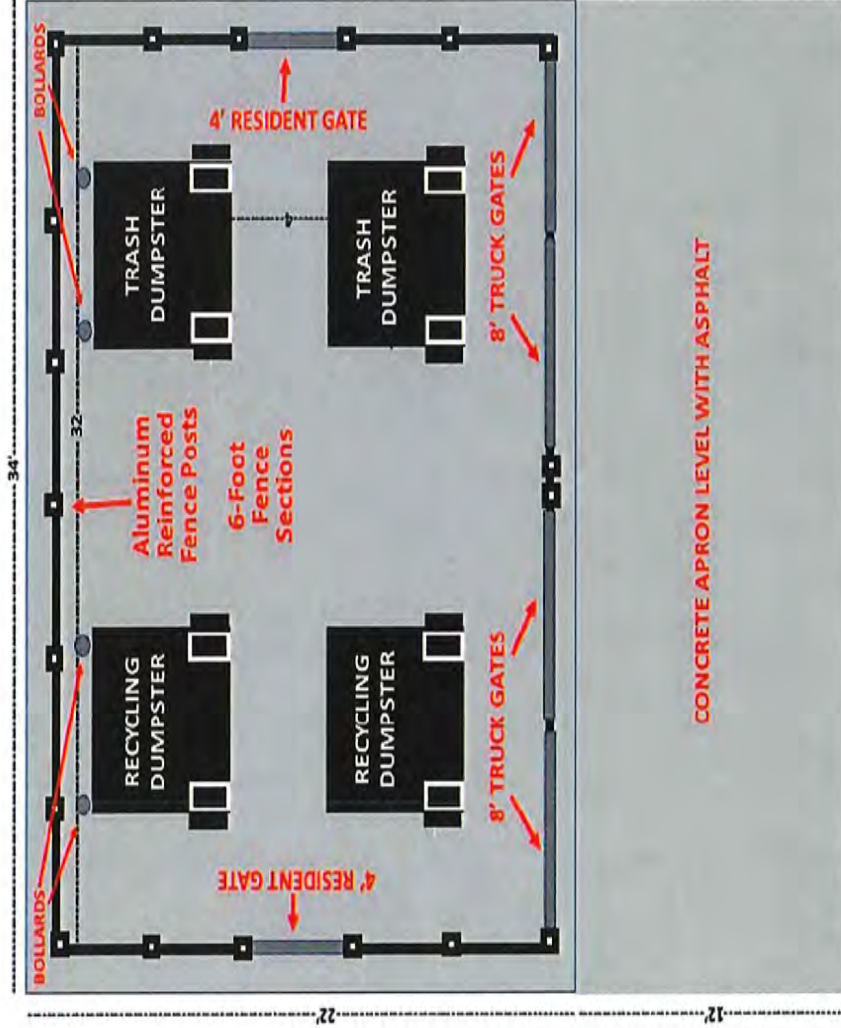
**Zoning & Planning Commission
2/14/19**

SITE 2-Split Location

- 4 containers in an attractive enclosure will be located in the front lot & 4 containers in an attractive enclosure will be located along Limerick in back corner of South Parking lot, adjacent to tennis court.
- Enclosures will contain 2 trash and 2 recycle containers at each location.
- There will be sidewalk access to each of the 2 secured side gates. The gates will be 4' wide.
- Landscaping will be placed to conceal containers from street view (Hebron/Limerick), Parking lot islands will be landscaped.



CONTAINER CONFIGURATION & ENCLOSURE



- 12-Foot Concrete Apron in front of the pad in for Blue Hen truck's front wheels to remain on concrete when moving dumpsters. Prevents asphalt warping.
- Gates are 16 feet wide based on Blue Hen requirement. Side gates 4 ft wide
- Fence enclosure is approximately 32 x 20 feet and assumes 4-foot panels (rather than 6-foot) to ensure strength and easy replacement.
- Pad is 34 x 22 based on Sussex Fence recommendation of one foot border to hold posts.
- Blue Hen recommends concrete to be 6 inches thick and reinforced to support a 70,000 pound truck.
- 7.6 " ft solid Carolina Style fence to enclose and conceal trash containers.
- Vinyl fence material -Khaki color to blend with condo and townhomes

FENCE DESIGNS



Caroline

7.6ft height

COLOR OPTION : Khaki vinyl
GATE OPTION: Steel reinforced

BUILDING ELEVATION NOTES

I. EXTERIOR MATERIAL COLORS TO BE SELECTED BY ARCHITECT AND APPROVED BY OWNER PRIOR TO CONSTRUCTION.

ABBREV.	DESCRIPTION	
M5-1	METAL SIDING: COLOR #1 - LIGHT BLUE	
M5-1	METAL SIDING: COLOR #2 - DARK GREY	
M5-3	METAL SIDING: COLOR #1 - MEDIUM BLUE	
TR-1	AZEK TRIM: COLOR - TBD	
CMU-1	CMU VENEER: COLOR - WHITE	
BR-1	BRICK VENEER: COLOR - TAN	
RF-1	ROOF: COLOR - TBD	



SEAL:
**FOR REVIEW ONLY
NOT FOR
CONSTRUCTION**

PROFESSIONAL CERTIFICATION:
I CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR SUPERVISED BY ME, AND THAT I AM
A LICENSED ARCHITECT UNDER THE LAWS OF
THE STATE OF DELAWARE.

LICENSE NO.: S5-0007610
EXPIRATION NO.: 01.31.2020

THE DOCUMENTS PREPARED BY FISHER
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PURPOSES OF THE SPECIFIED PROJECT. THEY
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ON ANY OTHER PROJECT. FISHER
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SHALL REMAIN THE PROPERTY OF FISHER ARCHITECTURE, LLC.

CONSULTANTS:



1 BUILDING ELEVATION - PROJECT SOUTH
1/16" = 1'-0"



2 EXTERIOR ELEVATION - AREA A - PLAN SOUTH VIEW 1
1/8" = 1'-0"



3 EXTERIOR ELEVATION - AREA A - PLAN SOUTH VIEW 2
1/8" = 1'-0"

**COASTAL STATION:
CONDOMINIUMS & RETAIL**
HOLLAND GLADE RD. AND COASTAL HIGHWAY
REHOBOTH BEACH, DE 19971

SHEET INFO:

BUILDING ELEVATIONS

REV	REV DATE	DESCRIPTION
DATE:	02.18.2019	
PROJECT NO.:	2018086.01	
SCALE:	As Indicated	
PROJ. MGR.:	J.M.	
DRAWN BY:	A.B.	
SHEET NUMBER:		

A-201



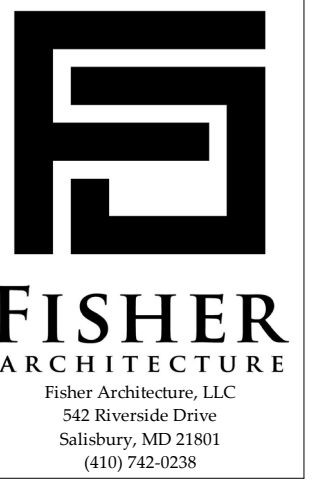
1 BUILDING ELEVATION - PLAN NORTH
1/16" = 1'-0"

BUILDING ELEVATION NOTES

1. EXTERIOR MATERIAL COLORS TO BE SELECTED BY ARCHITECT AND APPROVED BY OWNER PRIOR TO CONSTRUCTION.

ELEVATION MATERIAL SCHEDULE

ABBREV.	DESCRIPTION	
M8-1	METAL SIDING: COLOR #1 - LIGHT BLUE	
M8-1	METAL SIDING: COLOR #2 - DARK GREY	
M8-3	METAL SIDING: COLOR #1 - MEDIUM BLUE	
TR-1	AZEK TRIM: COLOR - TBD	
CMU-1	CMU VENEER: COLOR - WHITE	
BR-1	BRICK VENEER: COLOR - TAN	
RF-1	ROOF: COLOR - TBD	



SEAL:
**FOR REVIEW ONLY
NOT FOR
CONSTRUCTION**

PROFESSIONAL OVERSIGHT:
LICENSEE NO.: S5-0007610
EXPIRATION NO.: 01.31.2020

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CONSULTANTS:



2 EXTERIOR ELEVATION - AREA C - PLAN NORTH
1/8" = 1'-0"



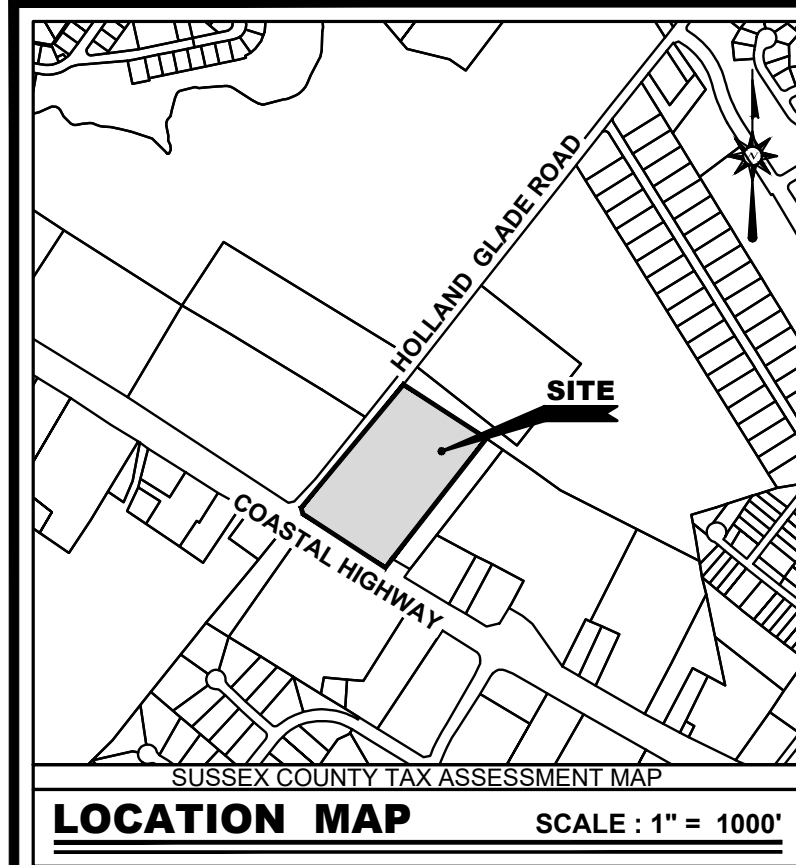
3 EXTERIOR ELEVATION - AREA D - PLAN NORTH
1/8" = 1'-0"

**COASTAL STATION:
CONDOMINIUMS & RETAIL**
HOLLAND GLADE RD. AND COASTAL HIGHWAY
REHOBOTH BEACH, DE 19971

SHEET INFO:

BUILDING ELEVATIONS

REV | REV DATE | DESCRIPTION
DATE: 02.18.2019
PROJECT NO.: 201808.01
SCALE: As Indicated
PROJ. MGR.: J.M.
DRAWN BY: A.B.
SHEET NUMBER:

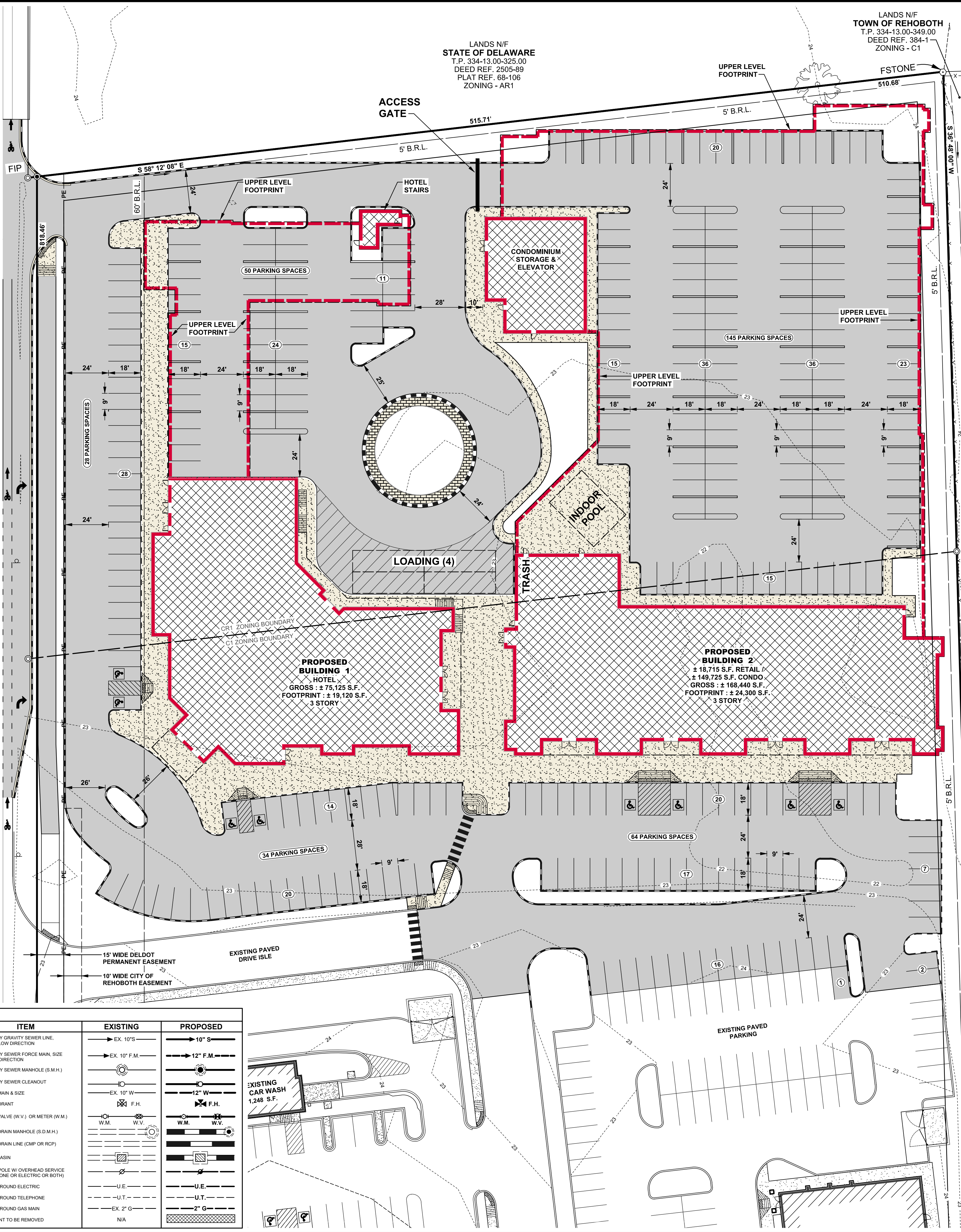


**HOLLAND GLADE ROAD (SCR 271)
"LOCAL ROAD"**

LANDS N/F
COROC / REHOBOTH III LLC
T.P. 334-13.00-325.36
DEED REF. 2931-206
PLAT REF. 54-06
ZONING - AR1

LANDS N/F
STATE OF DELAWARE
T.P. 334-13.00-349.00
DEED REF. 2505-89
PLAT REF. 68-106
ZONING - AR1

LANDS N/F
TOWN OF REHOBOTH
T.P. 334-13.00-349.00
DEED REF. 384-1
ZONING - C1



SITE DATA

- OWNER OF RECORD: COASTAL STATION DEVELOPMENT CO., L.L.C.
1201 N. ORANGE ST., SUITE 300
WILMINGTON, DELAWARE, 19801
(302)228-6080
- ENGINEER / SURVEYOR: BECKER MORGAN GROUP INC.
309 S. GOVERNORS AVENUE
DOVER, DE 19904
(302)734-7950
- PROPERTY MAP NUMBER: 334-13.00-325.08
- ZONING CLASSIFICATION: EXISTING: C1 - GENERAL COMMERCIAL
CR1 - COMMERCIAL RESIDENTIAL
PROPOSED: C1 - GENERAL COMMERCIAL
CR1 - COMMERCIAL RESIDENTIAL
- DEED SUMMARY: BOOK 3449 PAGE 332
- PLAT REFERENCE: BOOK 162 PAGE 80 (SEPTEMBER 21, 2011)
- PARCEL AREA: ± 10.2030 ACRES TOTAL AFTER DEDICATION
- PROJECT AREA: ± 5.24 ACRES TOTAL
- PARKING CALCULATIONS: RETAIL STORE - 1 SPACE PER 200 S.F. FLOOR AREA FOR SALES PLUS 1 SPACE PER EACH 2 EMPLOYEES ON LARGEST SHIFT
REQUIRED: 90 (16,900 S.F. / 200 S.F. + (10 EMPLOYEES / 2) = 85 + 5)
LOADING BERTHS: 2
CONVENIENCE STORE WITH CARWASH
RETAIL STORE - 1 SPACE PER 200 S.F. FLOOR AREA PLUS 1 SPACE PER EACH 2 EMPLOYEES ON LARGEST SHIFT
REQUIRED: 39 (6,760 S.F. / 200 S.F. = 34 SPACES PLUS 5 SPACES)
LOADING BERTHS: 1
RESTAURANT
RESTAURANT - 1 SPACE PER 50 S.F. FOR PATRON USE PLUS 1 SPACE PER EACH 2 EMPLOYEES ON LARGEST SHIFT
REQUIRED: 90 (11,334 S.F. x 30% (PATRON AREA) / 50 S.F. = 70 + 20 = 90 SPACES)
LOADING BERTHS: 1
HOTEL
HOTEL - 1.5 SPACES PER ROOM PLUS 1 SPACE PER 3 EMPLOYEES
REQUIRED: 169 (110 ROOMS * 1.5 + 12 EMPLOYEES / 3 = 165 + 4 = 169 SPACES)
LOADING BERTHS: 2
CONDOMINIUM
CONDOMINIUM - 2 SPACES PER UNIT (15% REDUCTION EXCEEDING 50 UNITS)
REQUIRED: 123 (62 UNITS TOTAL, 50 UNITS * 2 + 100 SPACES PLUS 12 UNITS * 2 * 0.85 = 21, 100 SPACES + 21 SPACES = 121 SPACES)
LOADING BERTHS: 0
TOTAL REQUIRED: 499 SPACES
TOTAL PROPOSED: 522 SPACES
C1/CR1 (PER PLAT BOOK 162 PAGE 80)
FRONT: 60 FEET
SIDE: 5 FEET
REAR: 5 FEET
PROPOSED: 42
- SETBACKS: C1/CR1 (PER PLAT BOOK 162 PAGE 80)
FRONT: 60 FEET
SIDE: 5 FEET
REAR: 5 FEET
PROPOSED: 42
- BUILDING HEIGHT: PERMITTED: 42' MAX.
PROPOSED: 42'
- BUILDING CONSTRUCTION TYPE: ?
- UTILITIES: WATER: REHOBOTH WATER DEPARTMENT
SEWER: SUSSEX COUNTY ENGINEERING
ELECTRIC: DELMARVA POWER
NGS MONUMENTS
VERTICAL: NAVD 88 - HOLT
HORIZONTAL: NAD 83 (2011) - CORS
EXISTING: 9 FOUND
PROPOSED: 0 SET
- SURVEY BENCHMARK: ?
- MONUMENTATION: ?

GENERAL NOTES:

- BOUNDARY AND TOPOGRAPHIC DATA SHOWN HEREON WAS PREPARED BY BECKER MORGAN GROUP, DOVER, DE, IN DECEMBER OF 2015.
- THE BOUNDARY LINES PORTRAYED HEREON HAVE BEEN ESTABLISHED BASED SOLELY ON PHYSICAL EVIDENCE DISCOVERED IN THE FIELD IN CONJUNCTION WITH DETERMINATIONS FROM SOURCE OF TITLE AND ADJACENT DEED RECORD INFORMATION. NO TITLE EXAMINATION PERFORMED.
- PROPERTY SHOWN HEREON IS SUBJECT TO ANY RIGHT-OF-WAY, EASEMENTS, RESTRICTIONS, ETC. AS MAY BE SHOWN OR NOTED IN ANY RECORD, PUBLIC OR OTHERWISE, OR ANY REQUIREMENT OR REGULATION OF ANY PUBLIC AGENCY.
- ALL MEASUREMENTS MADE ARE BASED ON A GNSS RTK SITE CALIBRATION SET BY BECKER MORGAN GROUP, DOVER, DE, IN DECEMBER OF 2015. BOTH VERTICAL AND HORIZONTAL COORDINATES FOR SITE CALIBRATION WERE DERIVED THROUGH A LIMITED CONSTRAINT POST PROCESS OF STATIC GNSS OBSERVATIONS. VERTICAL DATUM IS BASED ON NGS MONUMENT HOLT (NAVD 88) WITH TIES TO OTHER NEAR BY PASSIVE NGS MONUMENTS. HORIZONTAL DATUM IS BASED ON ACTIVE NGS MONUMENTS: DELAWARE STATE PLANE NAD 83 (2011).
- THE PARCEL IS NOT LOCATED WITHIN THE ONE HUNDRED YEAR FLOOD PLAIN ZONE, BASED ON FIRM MAP 10005C0353K, PANEL 353 OF 660, DATED MARCH 16, 2015.
- THE EXISTING UTILITIES SHOWN WERE TAKEN FROM THE BEST AVAILABLE RECORDS. THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELMARVA (1-800-282-2855) TO VERIFY THEIR EXACT LOCATION PRIOR TO THE START OF ANY CONSTRUCTION. ANY DAMAGE INCURRED TO ANY UTILITIES SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTORS EXPENSE. IF THE CONTRACTOR RELIES ON THE UTILITY LOCATIONS SHOWN HEREON, HE DOES SO AT HIS OWN RISK AND WILL NOT BE ENTITLED TO ADDITIONAL COMPENSATION DUE TO TIME DELAYS FROM SAID RELIANCE.
- BECKER MORGAN GROUP, INC. CERTIFIES THAT THERE ARE NO FRESH WATER WETLANDS LOCATED ON THE PROJECT SITE.
- ALL ROADS, PARKING AND OTHER PAVED AREAS LOCATED WITHIN THE PROJECT EXTENTS WILL BE PRIVATELY OWNED AND MAINTAINED AND ARE NOT INTENDED FOR DEDICATION.
- DELAWARE REGULATIONS PROHIBIT THE REMOVAL OF CONSTRUCTION DEMOLITION DEBRIS, INCLUDING TREES AND STUMPS, ON CONSTRUCTION SITES. ANY SOLID WASTE FOUND DURING EXCAVATION MUST BE REMOVED AND PROPERLY DISCARDED.
- ALL HANDICAPPED PARKING DEMARCATION, STALLS, AND BUILDING ACCESSIBLE ROUTES SHALL COMPLY WITH THE AMERICAN WITH DISABILITIES ACT (ADA) 1998 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES.
- THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENT FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
- BEFORE THE CONTRACTOR CAN BEGIN CONSTRUCTION HE MUST OBTAIN THE PROPER PERMITS AND/OR APPROVALS FROM SUSSEX COUNTY, THE CITY OF REHOBOTH, DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL (DNREC), DELAWARE DEPARTMENT OF TRANSPORTATION (DELDOT), SUSSEX CONSERVATION DISTRICT (SCD) AND ALL APPROPRIATE STATE AND COUNTY AGENCIES.
- ALL CONSTRUCTION METHODS AND MATERIALS SHALL BE ACCORDING TO THE SUSSEX COUNTY, CITY OF REHOBOTH AND THE STATE OF DELAWARE (DELDOT) STANDARDS AND CONSTRUCTION SPECIFICATIONS.
- ALL FIRE LANE DEMARCATION AND FIRE LANE SIGNS SHALL BE IN ACCORDANCE WITH ALL STATE FIRE PREVENTION REGULATIONS.
- ALL WORK WITHIN CITY MAINTAINED ROAD RIGHT-OF-WAYS SHALL MEET THE REQUIREMENTS AS SET FORTH IN THE CURRENT REVISION OF THE STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, BY THE DELAWARE DEPARTMENT OF TRANSPORTATION AND ALL CITY OF DOVER REQUIREMENTS.
- TRAFFIC AND SAFETY CONTROL SHALL BE MAINTAINED DURING CONSTRUCTION IN CONFORMANCE WITH THE CURRENT VERSION OF THE DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR CONSTRUCTION AND MAINTENANCE OPERATIONS.
- STORMWATER MANAGEMENT AND SEDIMENT / EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CURRENT VERSION DELAWARE SEDIMENT AND STORMWATER REGULATIONS BY THE DELAWARE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL/STRUCTURAL DRAWINGS OF PROPOSED STRUCTURES FOR ALL DIMENSIONS OF BUILDINGS AND FOUNDATIONS, PROPOSED BUILDING FOOTPRINTS, AS SHOWN ON SITE PLAN, SHOULD ONLY BE USED AS A REFERENCE TO THE ABOVE MENTIONED PLANS.
- HYDRANT CONNECTIONS BY THE CONTRACTOR ARE PROHIBITED. THIS METHOD MAY NOT BE UTILIZED DURING ANY PHASE OF THE PROJECT.
- IF THE APPROVED PLAN NEEDS TO MODIFIED DUE TO ERRORS OR OMISSIONS OR FIELD CONDITIONS, ADDITIONAL SEDIMENT AND STORM WATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY THE SUSSEX CONSERVATION DISTRICT (SCD).
- THE SUSSEX CONSERVATION DISTRICT (SCD) RESERVES THE RIGHT TO ENTER PRIVATE PROPERTY FOR PURPOSES OF PERIODIC SITE INSPECTION.
- THE PARCEL IS SUBJECT TO AN EXISTING SUSSEX COUNTY 10' WIDE PERMANENT WATER & SEWER EASEMENT. DEED REFERENCES: 1871/186, 1871/190, 1883/25.
- LOCK BOX REQUIRED, CONTACT LOCAL FIRE CHIEF FOR ORDERING INFORMATION AND LOCATION OF BOX ON BUILDING.

OWNERS CERTIFICATION

WE, COASTAL STATION DEVELOPMENT CO., L.L.C., HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT OUR DIRECTION, AND THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

TODD BARIGLIO _____ DATE _____

ENGINEERS CERTIFICATION

I, J. MICHAEL RIEMANN, HEREBY CERTIFY THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

J. MICHAEL RIEMANN _____ P.E. NO. 13772 _____ DATE _____

LEGEND	
ITEM	PROPOSED
CONCRETE CURB & GUTTER	
CONCRETE SIDEWALK, SLAB / PAVING	
PERVIOUS SURFACED ROAD, DRIVE OR LOT	
INDIVIDUAL TREE OR BUSH	
WIRE FENCE	
CHAINLINK FENCE	
STOCKADE FENCE	
STRUCTURE (CONCRETE, WOOD, METAL, ETC.)	
DRAINAGE DITCH OR SWALE	
EMBANKMENT SIDESLOPES (DOWN)	
CONTOUR	
ELEVATION SPOT SHOT	
BENCH MARK	
PROPERTY OR RIGHT-OF-WAY LINE	
CENTERLINE	
LIGHT POLE	
CONSTRUCTION NOTE	



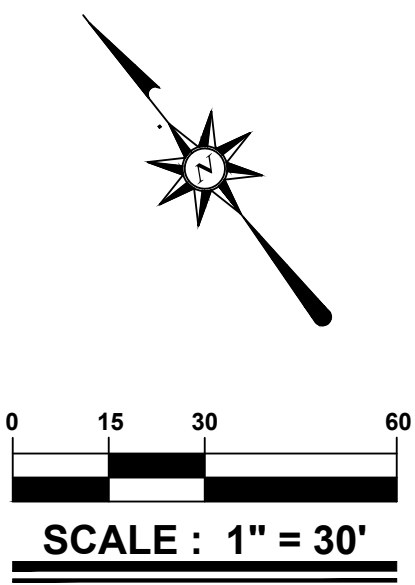
ARCHITECTURE
ENGINEERING

Dover, DE
309 S. Governors Ave.
Dover, DE 19904
Ph. 302.734.7950
Fax 302.734.7965

Salisbury, MD
312 West Main St. Suite 300
Salisbury, MD 21801
Ph. 410.546.9100
Fax 410.546.5824

Wilmington, NC
3333 Jaeckle Drive, Suite 120
Wilmington, North Carolina 28403
Ph. 910.341.7600
Fax 910.341.7506

www.beckermorgan.com

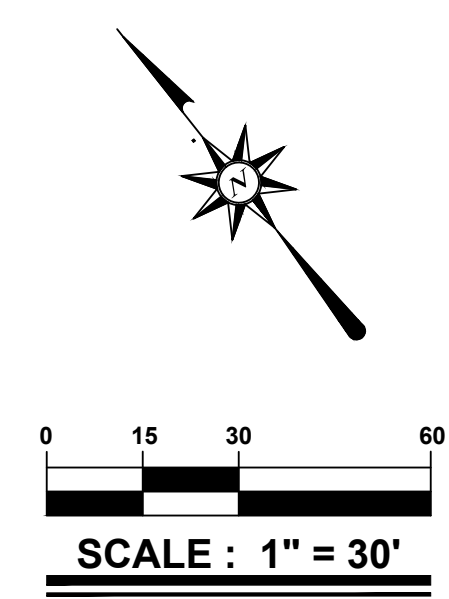


COASTAL STATION PHASE 2

REHOBOTH BEACH
SUSSEX COUNTY, DE

PRELIMINARY SITE PLAN

MARK	DATE	REVISION / COMMENTS	DESCRIPTION
1	2/15/2019	REVISED PER SUSSEX COUNTY COMMENTS	
PROJECT NO.: 2015046.08			
DATE: 1/16/2019			
SCALE: 1" = 30'			
DRAWN BY: S.T.F. / PROJ. MGR.: S.T.F.			
SHEET			
C-001			
COPYRIGHT 2019			



PROJECT TITLE

**COASTAL
STATION
PHASE 2**

REHOBOTH BEACH
SUSSEX COUNTY, DE

SHEET TITLE

**EXISTING
CONDITIONS PLAN**

ISSUE BLOCK

MARK	DATE	DESCRIPTION
1	2/15/2019	REVISED PER SUSSEX COUNTY COMMENTS
		LAYER STATE: C-101

PROJECT NO.: 2015046.08

DATE: 1/16/2019

SCALE: 1" = 30"

DRAWN BY: S.T.F. PROJ. MGR.: S.T.F.

SHEET
C-101

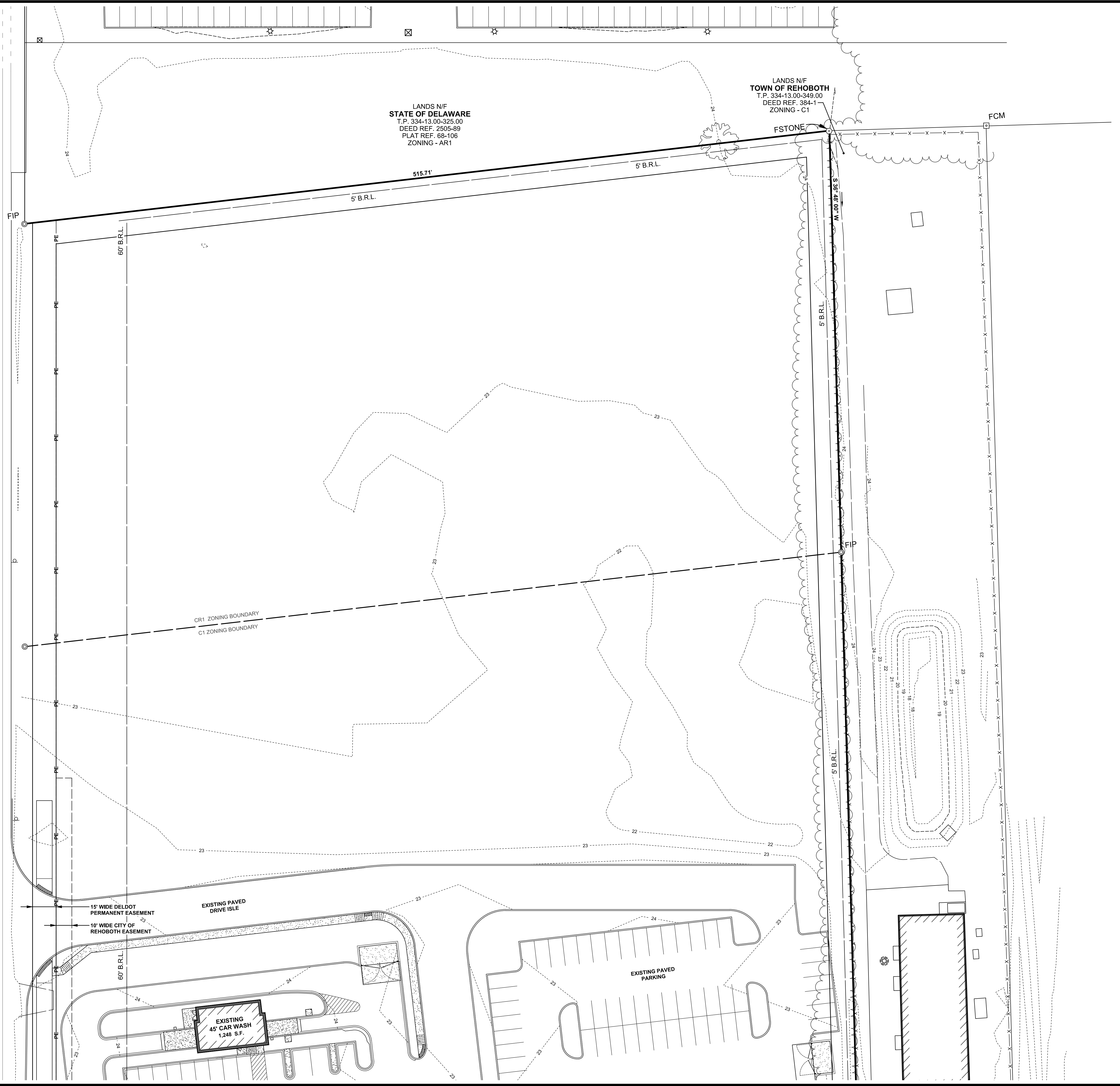
COPYRIGHT: 2019

**HOLLAND GLADE ROAD (SCR 271)
"LOCAL ROAD"**

LANDS N/F
OROC / REHOBOTH III LLC
T.P. 334-13.00-325.36
DEED REF. 2931-206
PLAT REF. 54-06
ZONING - AR1

LANDS N/F
STATE OF DELAWARE
T.P. 334-13.00-325.00
DEED REF. 2505-89
PLAT REF. 68-106
ZONING - AR1

LANDS N/F
TOWN OF REHOBOTH
T.P. 334-13.00-349.00
DEED REF. 384-1
ZONING - C1



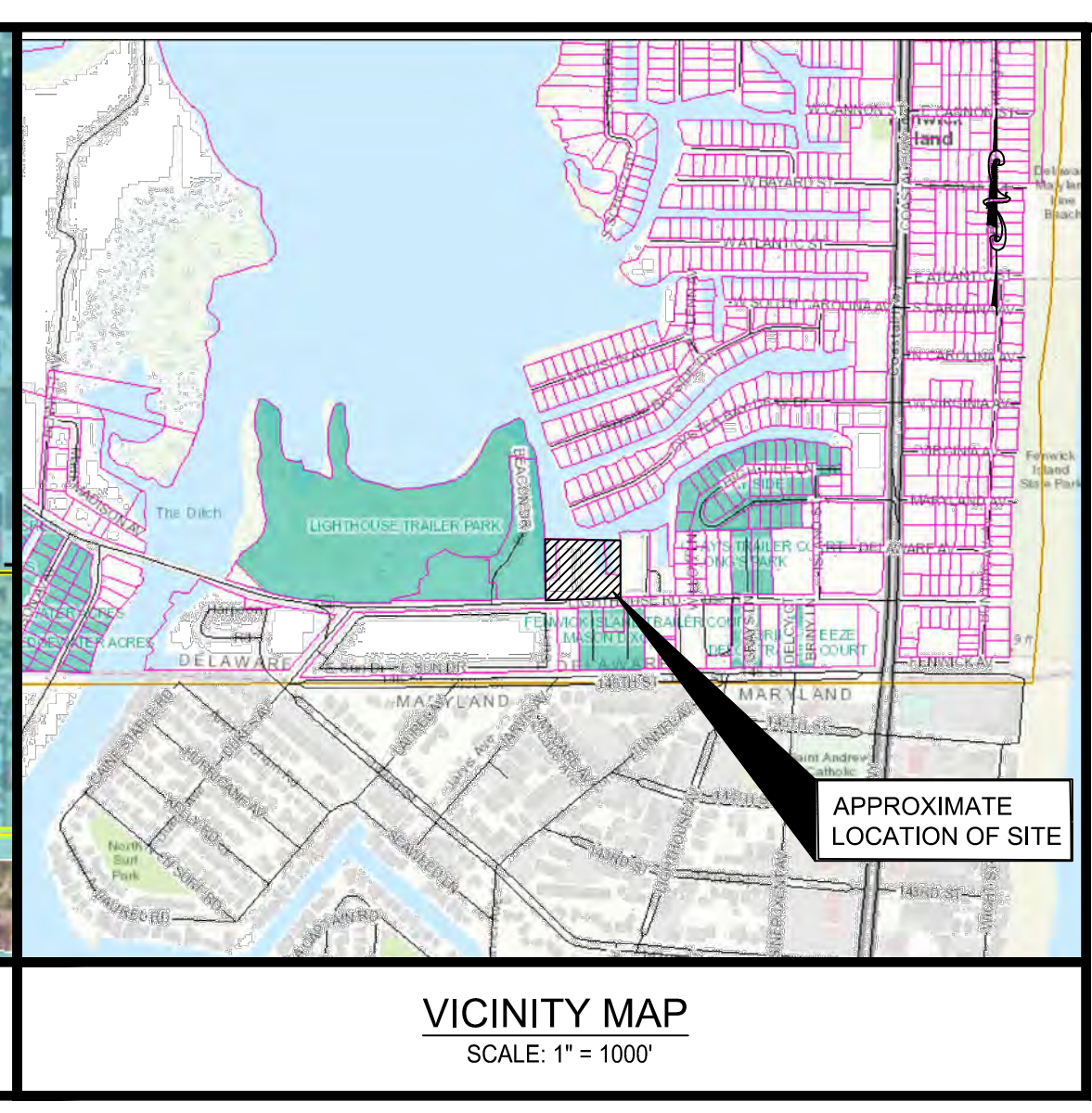
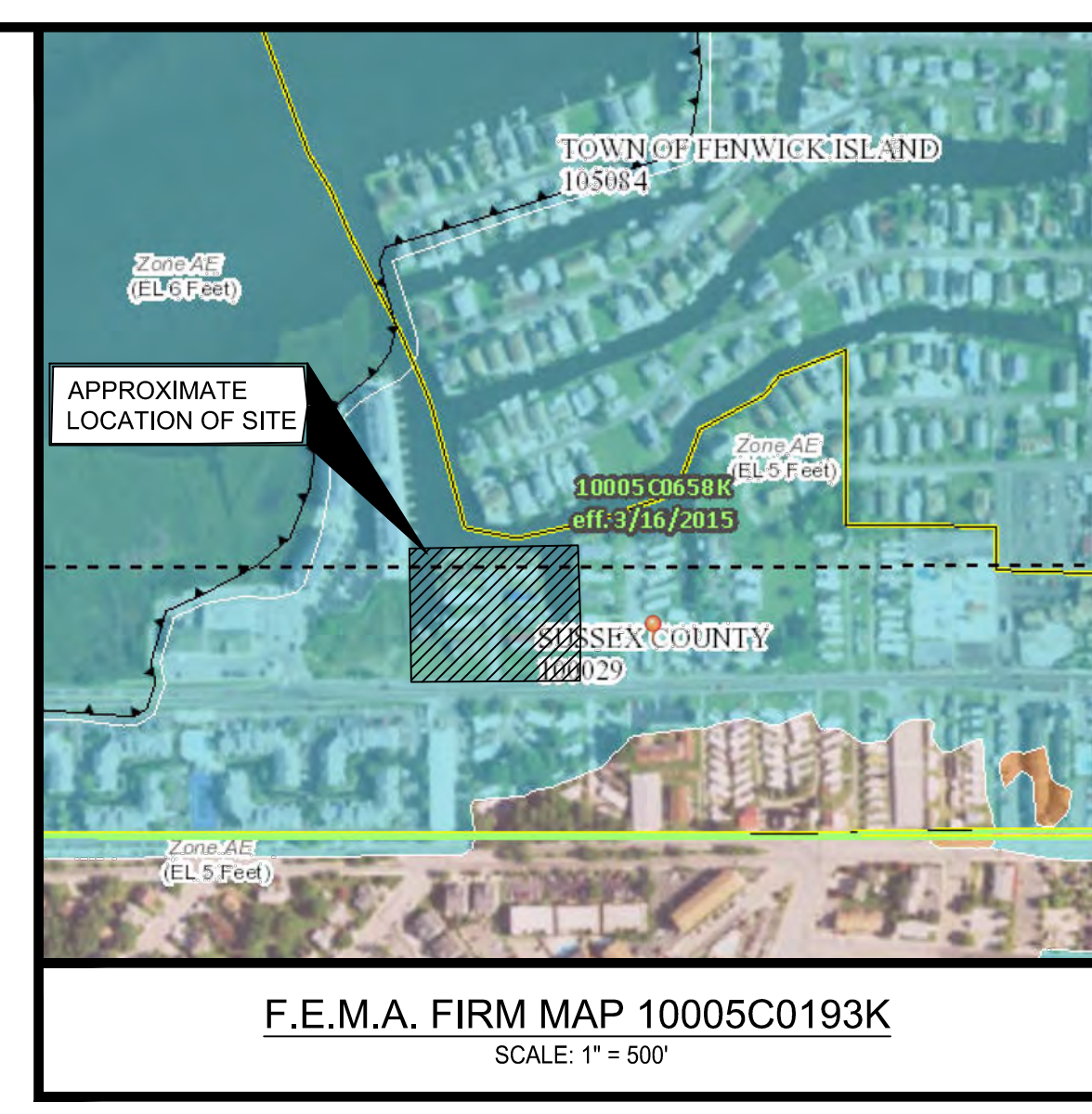




aloft

PRELIMINARY PLANS FOR FENWICK LIGHT

BALTIMORE HUNDRED
TAX PARCEL #: 335-8.00-17.00
SUSSEX COUNTY, DELAWARE



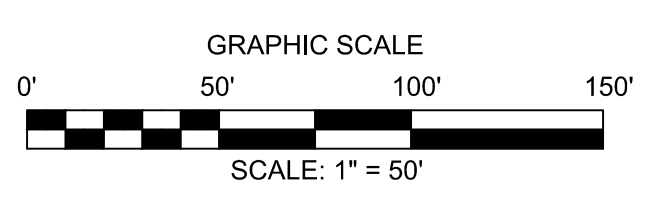
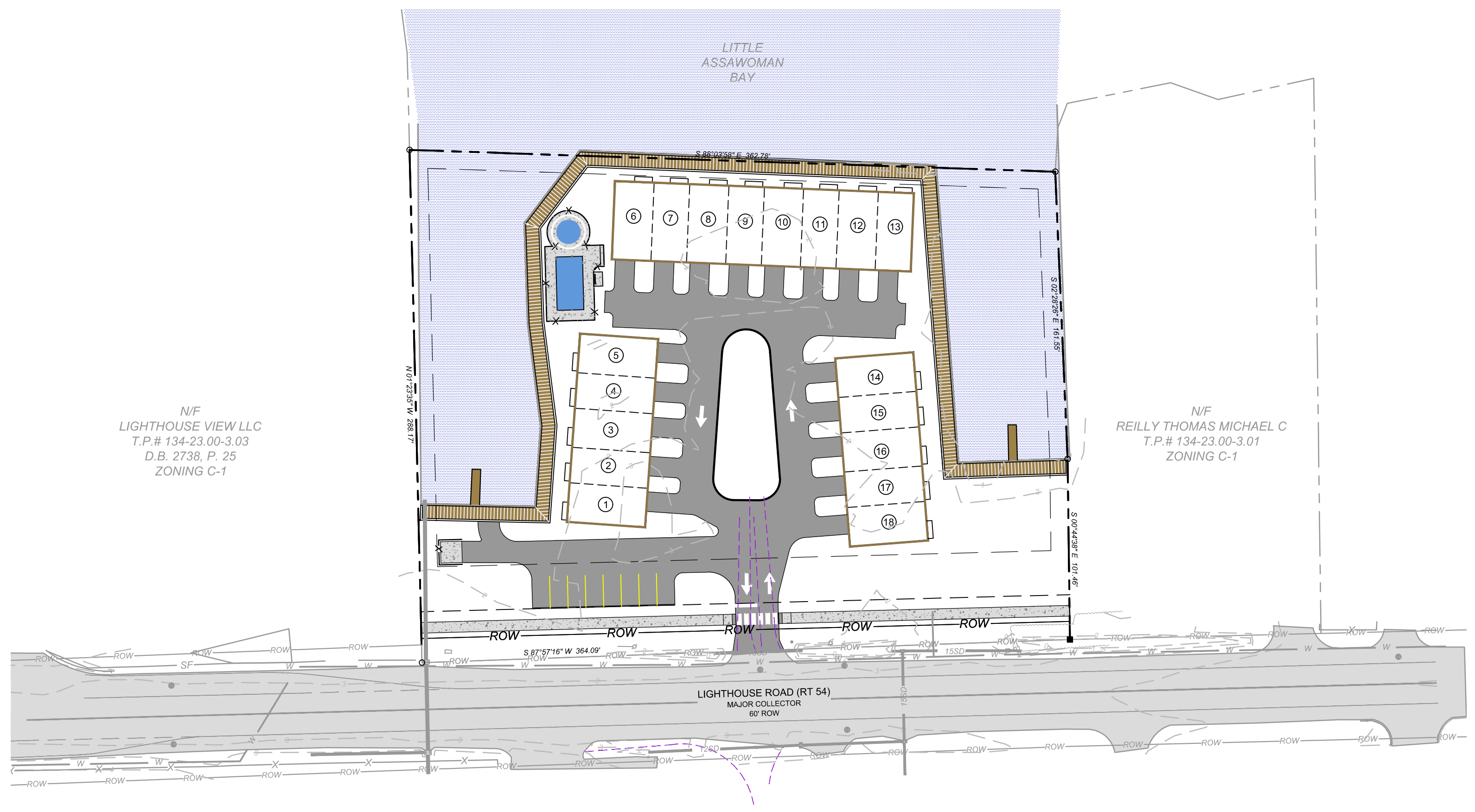
WAIVER REQUEST:
A WAIVER TO ALLOW FOR OVERFLOW PARKING WITHIN THE FRONT YARD SETBACK IS BEING REQUESTED.

- SITE DATA:**
- OWNER: LIGHTHOUSE COVE INVESTORS, LLC
P.O. BOX 18
GEORGETOWN, DE 19947
 - EQUITABLE OWNER: CHRISTOPHER AT MILLVILLE, LLC
10461 WHITE GRANITE DRIVE, SUITE 103
OAKTON, VA 22124
 - ENGINEER: CIVIL ENGINEERING ASSOCIATES
55 WEST MAIN STREET
MIDDLETOWN, DE 19709
P(302) 376-8833
CONTACT: RONALD H. SUTTON, JR.
 - PROPERTY INFORMATION: TAX PARCEL ID: 134-23.00-3.02
PROJECT AREA: 100,305.24 S.F. ±, 2.30 AC ±
 - EXISTING ZONING: C-1 (GENERAL COMMERCIAL)
 - PROPOSED ZONING: C-1 (GENERAL COMMERCIAL)
 - SETBACKS: FRONT YARD: 40 FEET
SIDE YARD: 10 FEET
REAR YARD: 10 FEET
MAXIMUM BUILDING HEIGHT: 42 FEET
 - PROPOSED USE: RESIDENTIAL - 18 CONDOMINIUMS
 - AREAS:

TOTAL AREA	100,305.24 S.F. +/- = 2.30 AC. +/-
LOT AREA	17,512.00 S.F. +/- = 0.40 AC. +/-
STORMWATER MANAGEMENT AREA	2,434.72 S.F. +/- = 0.06 AC. +/-
PRIVATE STREET/PARKING AREA	22,394.79 S.F. +/- = 0.51 AC. +/-
DEDICATED ROW	4,337.59 S.F. +/- = 0.10 AC. +/-
OPEN SPACE	60,214.90 S.F. +/- = 1.38 AC. +/-
 - PARKING: REQUIRED = (2 SPACES PER UNIT MIN.)(18 UNITS) = 36 SPACES
PROVIDED = (3 SPACES PER UNIT MAX.)(18 UNITS)
+ 8 SPACES FOR OVERFLOW
= 62 SPACES
 - FLOODPLAIN: PER F.E.M.A FIRM MAP 10005C0658K, EFFECTIVE MARCH 16, 2015, THE PARCEL IS AFFECTED BY THE 100 YEAR FLOODPLAIN. THE ENTIRE SITE IS AFFECTED BY THE 100 YEAR FLOODPLAIN, ZONE "AE", ELEVATION 5.0, FOR THE GRAPHICAL 100 YEAR FLOODPLAIN SEE FIRM MAP, THIS SHEET.
 - WETLANDS: PER THE NATIONAL WETLANDS INVENTORY MAP, THE PARCEL IS NOT AFFECTED BY THE EXISTENCE OF WETLANDS.
 - UTILITIES: WATER: TIDEWATER UTILITIES
SANITARY SEWER: SUSSEX COUNTY
 - FIRE LANES: ALL FIRE LANES, FIRE HYDRANTS, AND FIRE CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH DELAWARE FIRE PREVENTION REGULATION.
 - BOUNDARY & TOPOGRAPHY: BOUNDARY AND TOPOGRAPHY WAS PERFORMED BY CIVIL ENGINEERING ASSOCIATES IN SEPTEMBER 2018.

LEGEND

PROPERTY LINE	---
ADJOINING PROPERTY LINE	---
PROPOSED PROPERTY LINE	---
PROPOSED PROPERTY LINE/PARTYWALL	---
EXISTING RIGHT-OF-WAY	--- ROW ---
RIGHT-OF-WAY	--- ROW ---
PROPOSED EASEMENT	--- A20 ---
BUILDING SETBACK LINE	---
EXISTING CONTOURS	--- 10 ---
PROPOSED CONTOURS	--- 10 ---
EXISTING SANITARY SEWER	--- SS ---
PROPOSED SANITARY SEWER	--- SS ---
EXISTING WATER MAIN	--- W ---
PROPOSED WATER MAIN	--- W ---
EXISTING SANITARY SEWER MANHOLE	⊙
PROPOSED SANITARY SEWER MANHOLE	⊙
EXISTING SANITARY SEWER CLEANOUT	⊙
PROPOSED SANITARY SEWER CLEANOUT	⊙
EXISTING FIRE HYDRANT	⊕
PROPOSED FIRE HYDRANT	⊕
PROPOSED PATH	█
EXISTING PAVEMENT	█
PROPOSED PAVEMENT	█



OWNER'S CERTIFICATION
I, THE UNDERSIGNED, HEREBY CERTIFY TO THE OWNERSHIP OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION. I FURTHER CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION, AND DEVELOPMENT SHALL BE PURSUANT TO THE APPROVED PLAN AND THAT RESPONSIBLE PERSONNEL INVOLVED WILL HAVE A CERTIFICATE OF TRAINING FROM DNREC. DNREC AND SUSSEX COUNTY PERSONNEL SHALL HAVE THE RIGHT TO CONDUCT ON-SITE INSPECTIONS

ENGINEER'S CERTIFICATION
I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE AND THAT THE PLAN SHOWN AND DESCRIBED HEREON OTHER THAN THE PROPERTY BOUNDARY AND EXISTING TOPOGRAPHY, IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY ACCEPTED SURVEYING STANDARDS AND PRACTICES AND BY THE SUSSEX COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO THE EXTENT THAT IT DESCRIBES THE BEARINGS AND DISTANCES OF SUBDIVIDED LANDS.

NAME _____ DATE _____

REVISIONS

REVISION	DATE	DESCRIPTION
1	11/11/19	REVISED PER COMMENTS DATED 12/14/19

CIVIL ENGINEERING ASSOCIATES, LLC
55 WEST MAIN STREET
MIDDLETOWN, DE 19709
PHONE (302) 376-8833
FAX (302) 376-8834
WWW.CEA-DE.COM

COVER SHEET FOR FENWICK LIGHT
SUSSEX COUNTY, DELAWARE

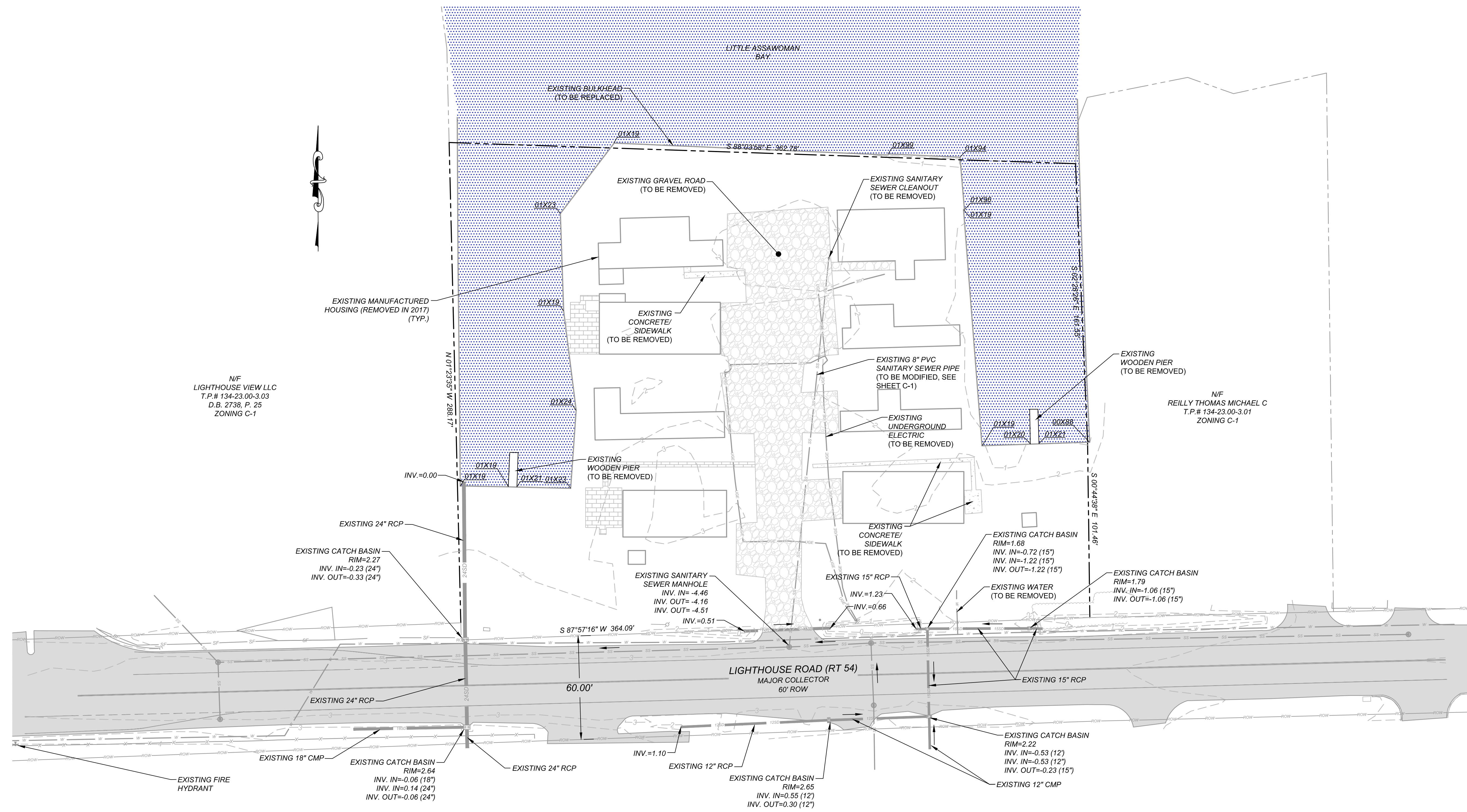
DATE: NOVEMBER 21, 2018

DESIGNED BY: SPR	APPROVED BY: RHS
------------------	------------------

FILE: P18028 - COVERSHEET.DWG

SHEET NO.: **T-1**

DATE _____



REVISION	DATE	DESCRIPTION
1	11/11/19	REVISED PER COMMENTS DATED 12/14/19

CIVIL ENGINEERING ASSOCIATES, LLC
 ENGINEERING • SURVEYING • CONSTRUCTION SERVICES

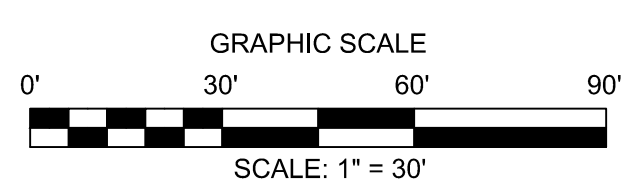
55 W. MAIN STREET
 MIDDLETOWN, DE 19709

PHONE (302) 376-8833
 FAX (302) 376-8834

WWW.CEA-DE.COM

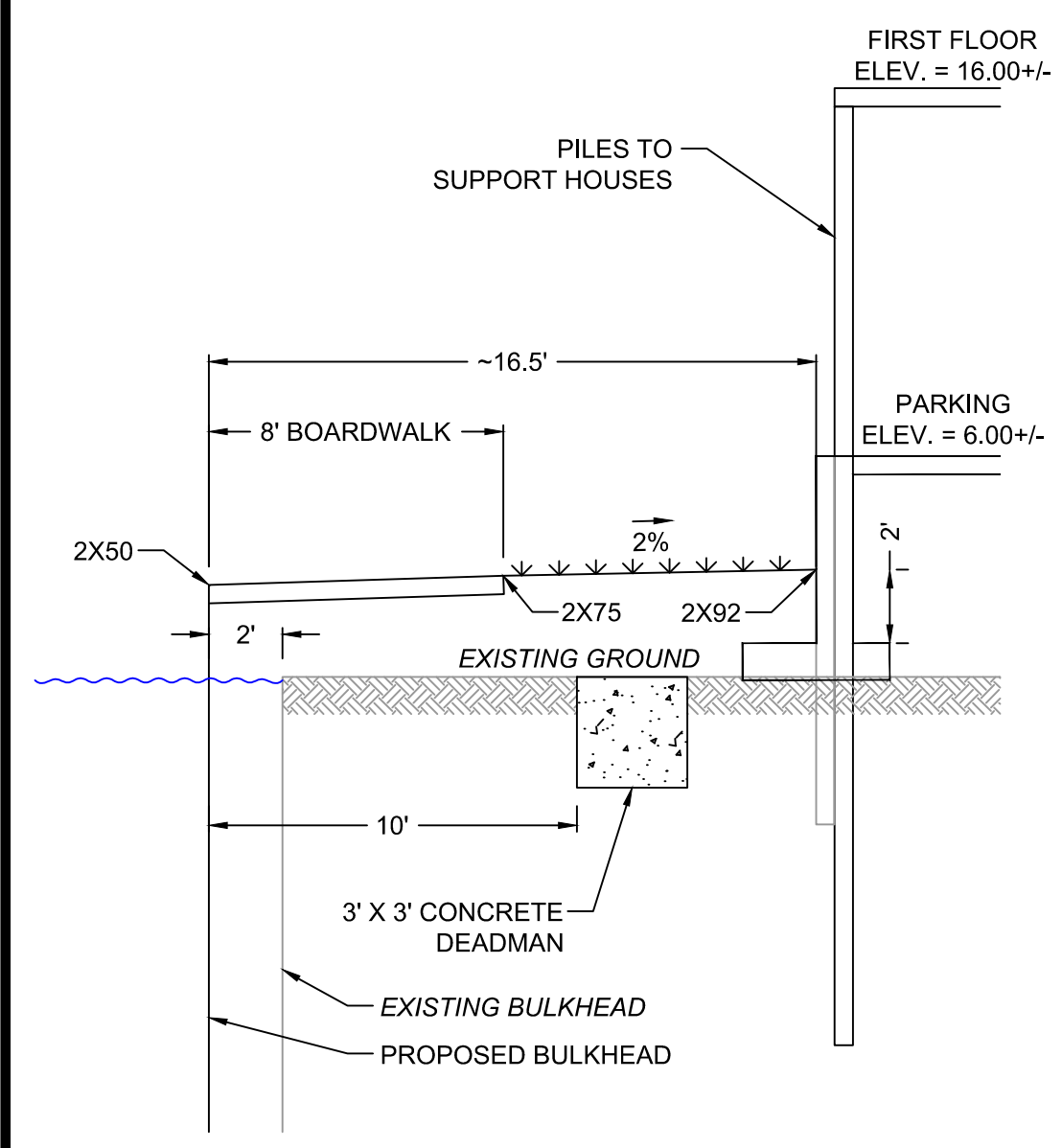
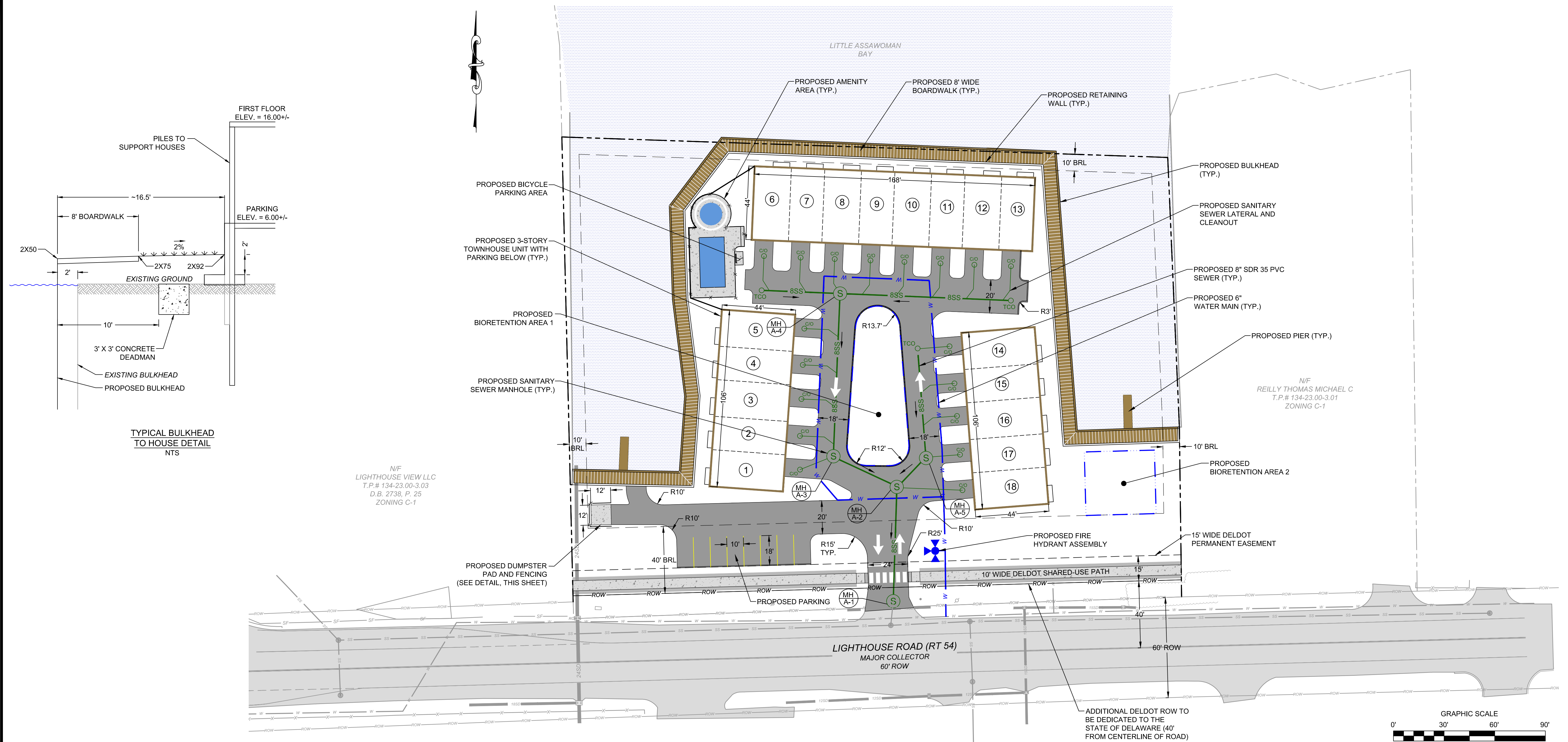
EXISTING CONDITIONS FOR FENWICK LIGHT

DATE: NOVEMBER 15, 2018
 DESIGNED BY: SPR
 APPROVED BY: RHS
 FILE: P18028 - EXISTING CONDITIONS
 SHEET NO.: **EX-1**



SUSSEX COUNTY, DELAWARE

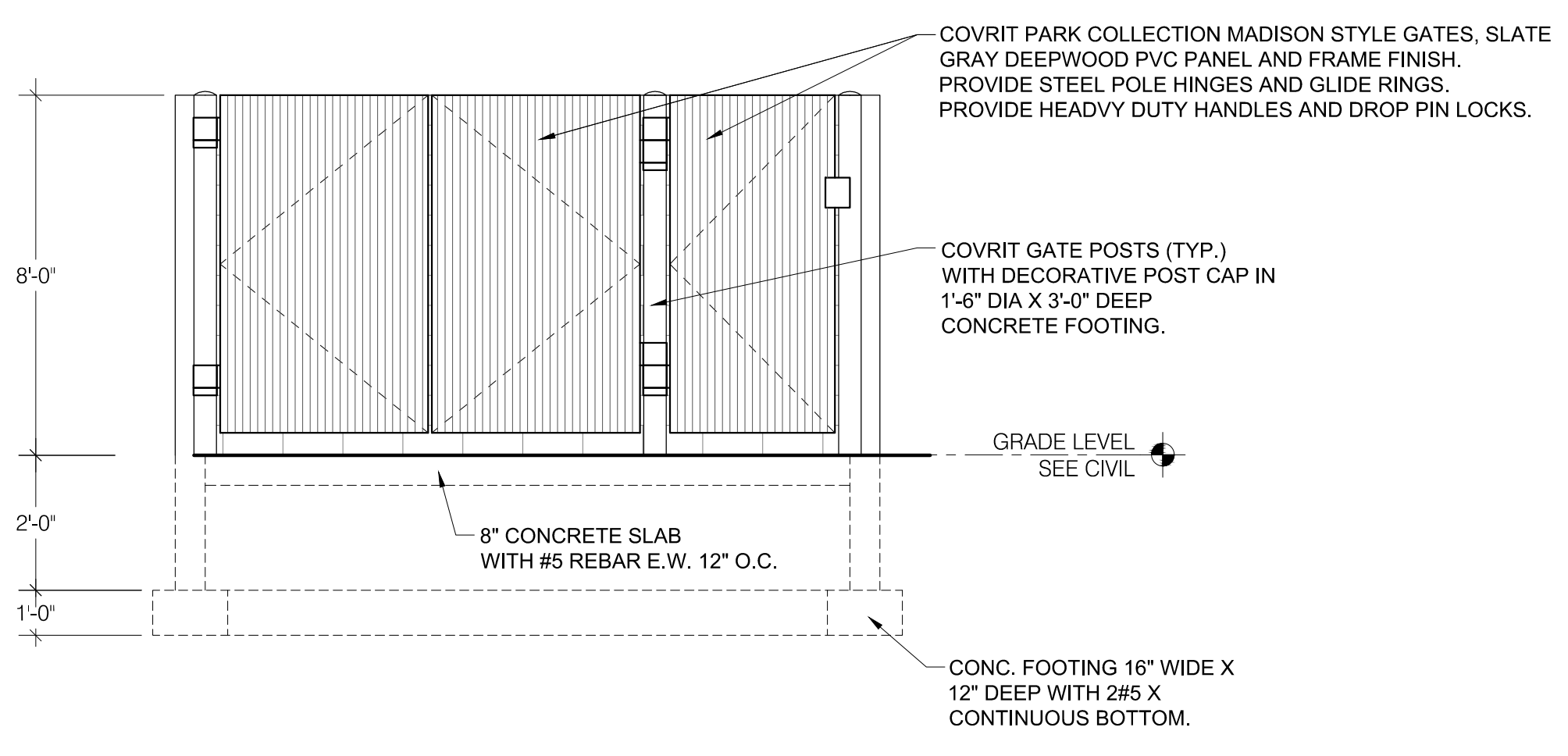
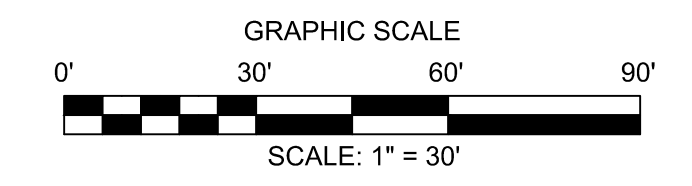
DATE



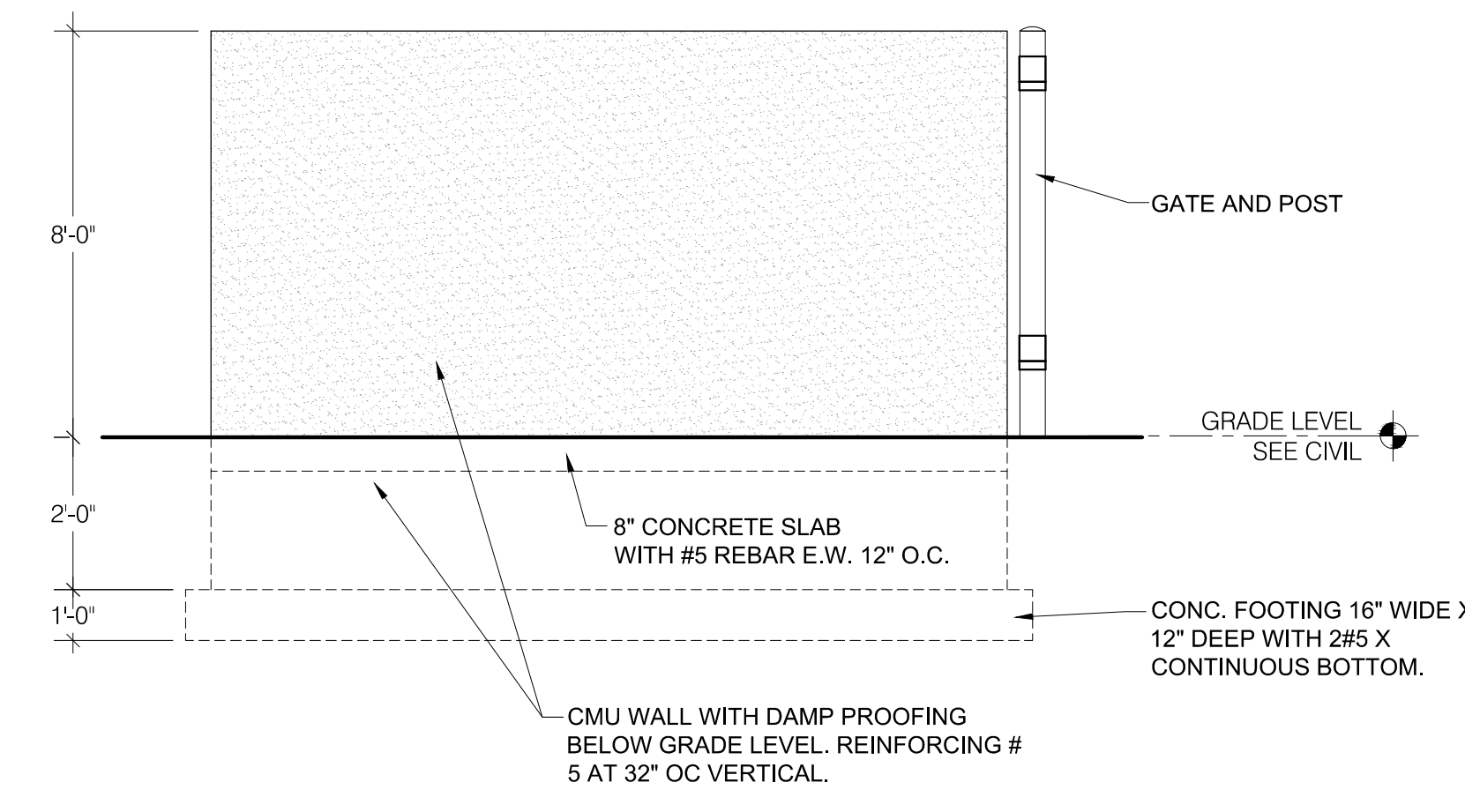
TYPICAL BULKHEAD TO HOUSE DETAIL NTS

N/F
LIGHHOUSE VIEW LLC
T.P.# 134-23.00-3.03
D.B. 2738, P. 25
ZONING C-1

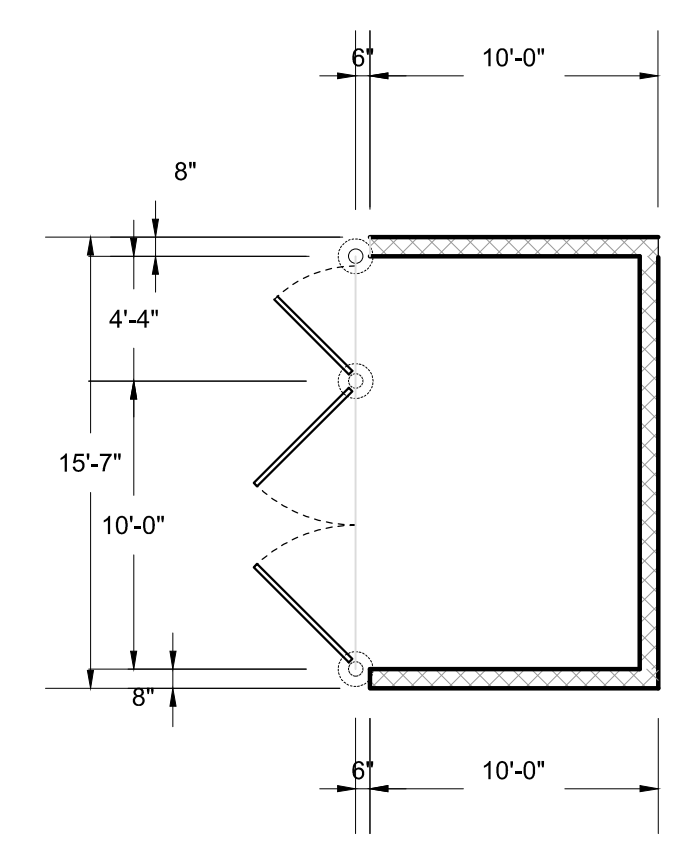
N/F
REILLY THOMAS MICHAEL C
T.P.# 134-23.00-3.01
ZONING C-1



GARBAGE ENCLOSURE EAST NTS



GARBAGE ENCLOSURE SOUTH NTS



GARBAGE AND RECYCLING ENCLOSURE PLAN NTS

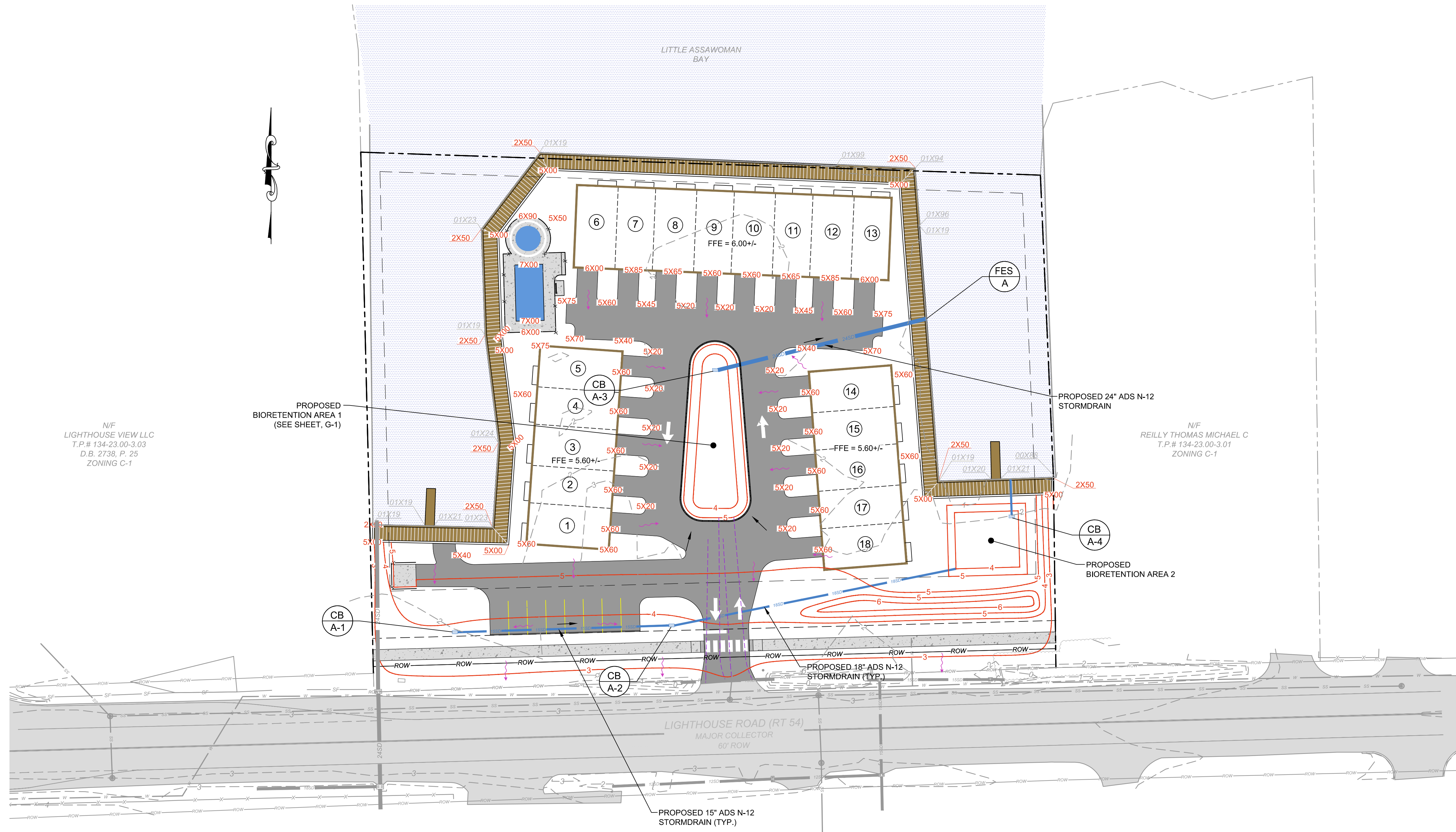
NOTE:
SIZE AND CONFIGURATION TO BE VERIFIED AND FINALIZED BY OWNERS TRASH AND RECYCLING DUMPSTER SIZES.

REVISION	DATE	DESCRIPTION
1	11/11/19	REVISED PER COMMENTS DATED 12/14/19

CFA CIVIL ENGINEERING ASSOCIATES, LLC
 ENGINEERING • SURVEYING • CONSTRUCTION SERVICES
 55 W. MAIN STREET
 MIDDLETOWN, DE 19709
 PHONE (302) 376-8833
 FAX (302) 376-8834
 WWW.CEA-DE.COM

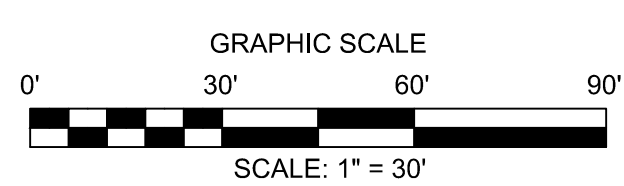
SITE & UTILITY PLAN FOR FENWICK LIGHT
 SUSSEX COUNTY, DELAWARE
 DATE: NOVEMBER 21, 2018
 DESIGNED BY: SPR APPROVED BY: RHS
 FILE: P18028 - SITE PLAN
 SHEET NO.: **C-1**

DATE



N/F
LIGHTHOUSE VIEW LLC
T.P.# 134-23.00-3.03
D.B. 2738, P. 25
ZONING C-1

N/F
REILLY THOMAS MICHAEL C
T.P.# 134-23.00-3.01
ZONING C-1



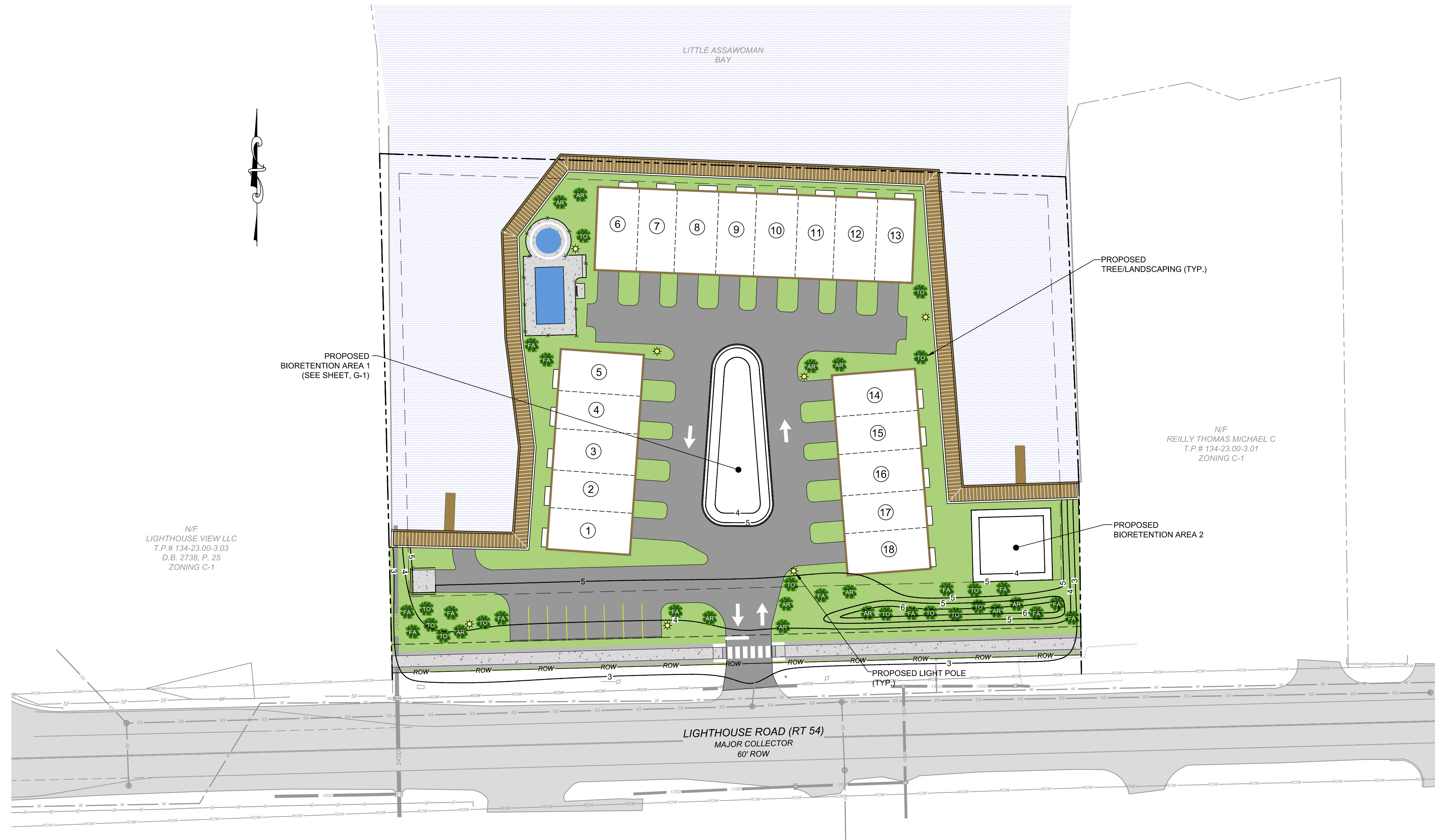
REVISIONS	
REVISION	DATE
1	11/11/19
REVISED PER COMMENTS DATED 12/14/19	

CFA CIVIL ENGINEERING ASSOCIATES, LLC
 ENGINEERING • SURVEYING • CONSTRUCTION SERVICES
 55 W. MAIN STREET
 MIDDLETOWN, DE 19709
 PHONE (302) 376-8833
 FAX (302) 376-8834
 WWW.CEA-DE.COM

GRADING PLAN
 FOR
FENWICK LIGHT
 SUSSEX COUNTY, DELAWARE

DATE:	NOVEMBER 21, 2018
DESIGNED BY:	APPROVED BY:
SPR	RHS
FILE:	P18028 - GRADING PLAN
SHEET NO.:	G-1

DATE



N/F
LIGHHOUSE VIEW LLC
T.P.# 134-23.00-3.03
D.B. 2738, P. 25
ZONING C-1

PROPOSED
TREE/LANDSCAPING (TYP.)

N/F
REILLY THOMAS MICHAEL C
T.P.# 134-23.00-3.01
ZONING C-1

PROPOSED
BIORETENTION AREA 2

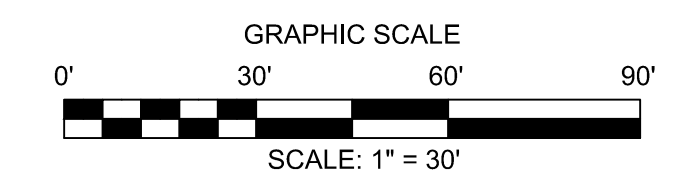
PROPOSED LIGHT POLE
(TYP.)

LIGHHOUSE ROAD (RT 54)
MAJOR COLLECTOR
60' ROW

PLANTING SCHEDULE

KEY	QTY.	COMMON NAME	BOTANICAL NAME	CALIPER	HEIGHT	ROOT
AR	12	Acer Rubrum "Red Sunset"	Red Sunset Red Maple	2" - 2 - 1/2"	12'	B&B
FA	14	Autumn Purple Ash	Fraxinus Americana "Autumn Purple"	2 - 1/2"	12'	B&B
TO	13	Techny Arborvitae	Thuja Occidentalis "Techny"	2 - 1/2"	7'-8'	B&B
TOTAL	39					

NOTE:
THE CONDO ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE AND REPLACEMENT OF ANY PLANTS AFTER THE COMPLETION OF THE DEVELOPMENT.



REVISION	DATE	DESCRIPTION
1	11/11/19	REVISED PER COMMENTS DATED 12/14/19

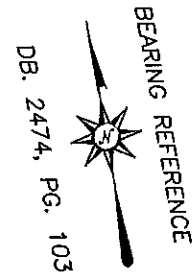
CIVIL ENGINEERING ASSOCIATES, LLC
 ENGINEERING • SURVEYING • CONSTRUCTION SERVICES
 PHONE (302) 376-8833
 FAX (302) 376-8834
 55 W. MAIN STREET
 MIDDLETOWN, DE 19709
 WWW.CEA-DE.COM

LANDSCAPE PLAN
FOR
FENWICK LIGHT

SUSSEX COUNTY, DELAWARE

DATE:	NOVEMBER 21, 2018	
DESIGNED BY:	SPR	APPROVED BY: RHS
FILE:	P18028 - EXISTING CONDITIONS	
SHEET NO.:	L-1	

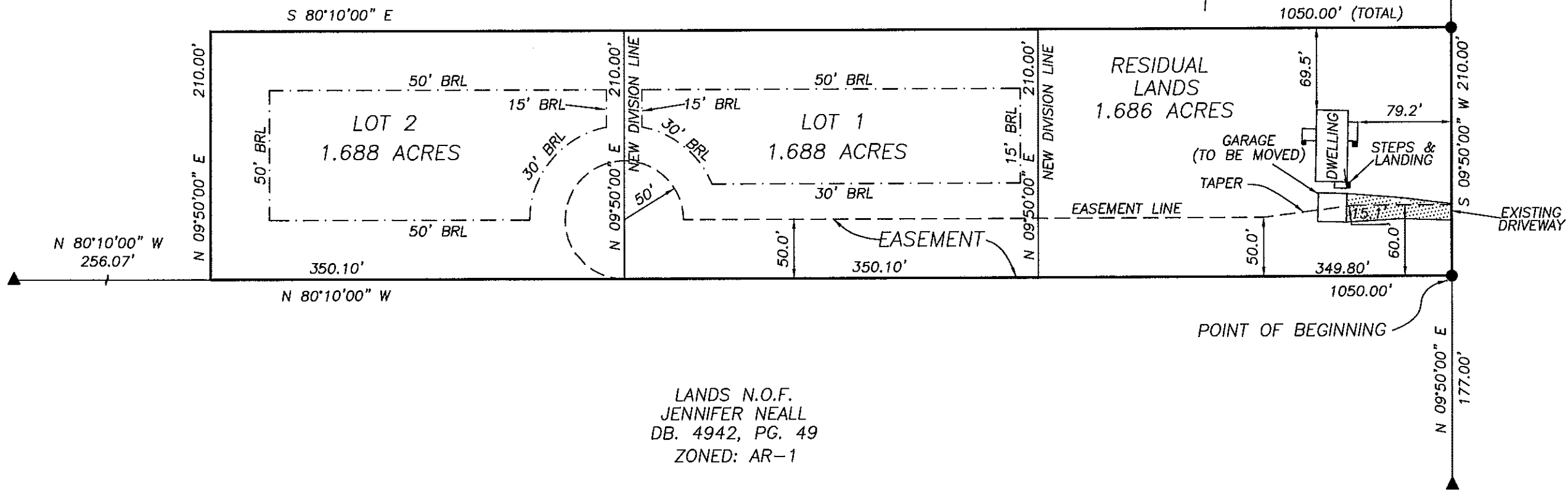
DATE



LANDS N.O.F.
RICHARD A. SMITH, SR.
DB 1652, PG. 125
ZONED: AR-1

LANDS N.O.F.
RICHARD A. SMITH, SR.
DB 3869, PG. 232
ZONED: AR-1

LANDS N.O.F.
JENNIFER NEALL
DB. 4942, PG. 49
ZONED: AR-1



PRELIMINARY SUBDIVISION PLAN
FOR A 2 LOT MINOR SUBDIVISION

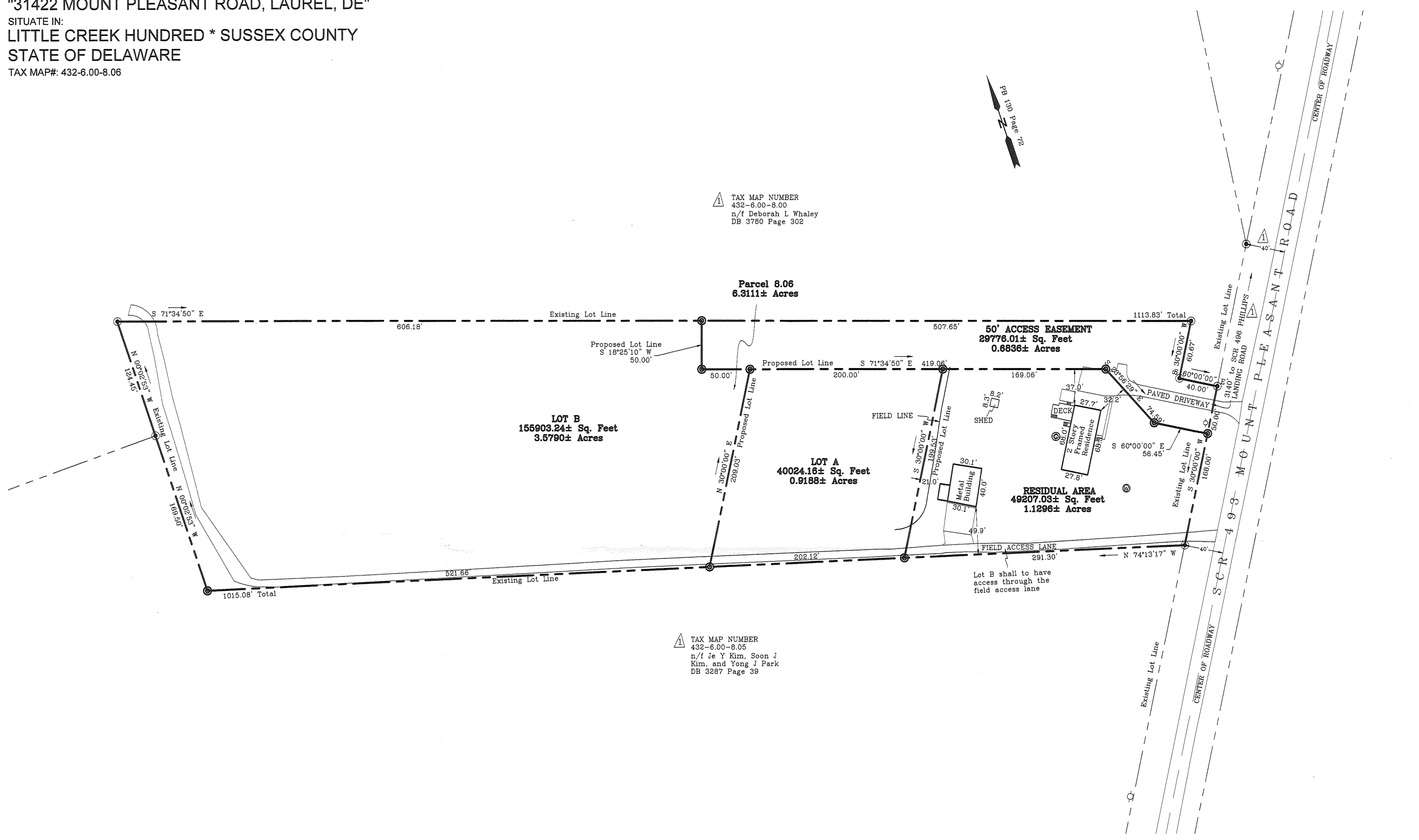
PREPARED FOR
**MATTHEW W. THOMPSON
& ROBBIN Y. THOMPSON**

FOR PROPERTY KNOWN AS
10790 HERITAGE ROAD
SITUATED IN
CEDAR CREEK HUNDRED, SUSSEX COUNTY, STATE OF DELAWARE
AREA: 5.062 ACRES+/-
SCALE: 1" = 100'
DATE: FEBRUARY 17, 2019

Prepared By
DOUGLAS J. ANNAND
PROFESSIONAL LAND SURVEYOR
10027 NORTH OLD STATE ROAD
LINCOLN, DELAWARE 19960
PHONE: (302) 448-0320
douglasannand7@gmail.com

RECORD MINOR SUBDIVISION PLAN

FOR PROPERTY KNOWN AS:
LANDS OF "SHERRY E. LANKFORD"
 ALSO KNOWN AS:
"31422 MOUNT PLEASANT ROAD, LAUREL, DE"
 SITUATE IN:
LITTLE CREEK HUNDRED * SUSSEX COUNTY
STATE OF DELAWARE
 TAX MAP#: 432-6.00-8.06



TAX MAP NUMBER
 432-6.00-8.00
 n/f Deborah L Whaley
 DB 3780 Page 302

TAX MAP NUMBER
 432-6.00-8.05
 n/f Je Y Kim, Soon J
 Kim, and Yong J Park
 DB 3287 Page 39

PLAN DATA:

PARCEL I.D. No	* 432-6.00-8.06
PLAT REFERENCE	* D.B. 3780, PAGE 314
ZONING DISTRICT	* AR-1 (ZONING CLASSIFICATION)
ROADWAY CLASSIFICATION	* SCR 493 (MINOR COLLECTOR ROAD)
SEWAGE DISPOSAL	* INDIVIDUAL ON-SITE WASTEWATER DISPOSAL SYSTEMS (PRIVATE)
WATER SUPPLY	* INDIVIDUAL ON-SITE WELLS (PRIVATE)
OWNER	* SHERRY E LANKFORD 31422 MOUNT PLEASANT ROAD LAUREL, DE 19958
LOT AREA RATIONALE	* RESIDUAL AREA = 1.1296 ACRES 50' ACCESS EASEMENT = 0.6838 ACRES LOT A = 0.9188 ACRES LOT B = 3.5790 ACRES GROSS AREA = 6.3111 ACRES
TOTAL No. OF LOTS	* 3 SINGLE FAMILY DWELLING UNITS
Present Use:	Residential and Agricultural
Proposed Use:	Residential and Agricultural

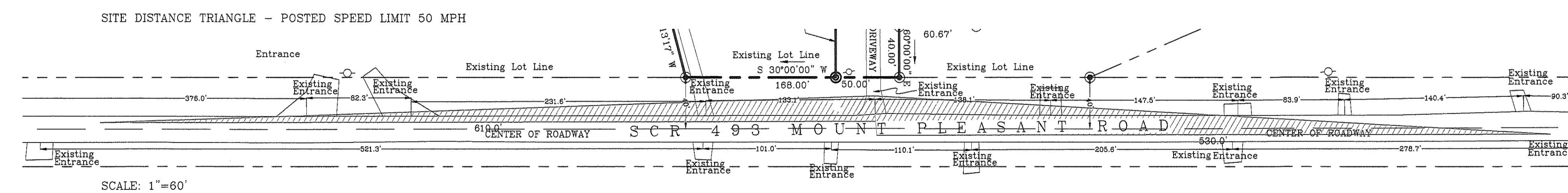
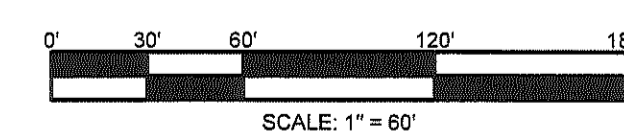
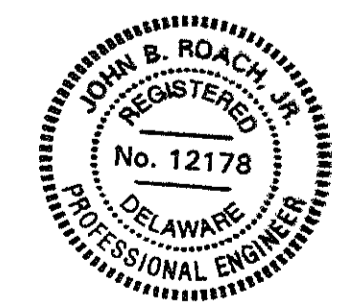
- NOTES:**
- All entrances shall conform to the Delaware Department of Transportation's (DelDOT's) current Development Coordination Manual (DCM) and shall be subject to its approval.
 - Shrubbery, plantings, signs and/or other visual barriers that could obstruct the sight distance of a driver preparing to enter the roadway are prohibited within the defined departure sight triangle area established on this plan. If the established departure sight triangle area is outside the right-of-way or projects onto an adjacent property owner's land, a sight easement should be established and recorded with all affected property owners to maintain the required sight distance.
 - Lots A Lot B, and the Residual Lot shall have access from SCR 493 - Mount Pleasant Road via a 50 foot ingress/ egress access easement.
 - The access easement shall be maintained by Sherry Lankford.
 - I, the undersigned, hereby certify to the ownership of the property described and shown on this plan, that the plan was made at my direction, and that I acknowledge the same to be our act and that I desire the plan to be recorded according to law.
- I certify that Title 17, Section 530 is applicable to the property described and shown on this plan by virtue of: (check applicable section)
- the parcel is subdivided into no more than 2 parcels which will be continued to be used as a farm or farmland, or
- the subdivided parcel or parcels will be transferred to a family member or members for purposes of use as a family member or members' principal residence or farmland.

Sherry E Lankford 2/8/19
 Owner Date

ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH THE APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES.

JBR 2/8/2019
 JOHN B. ROACH, JR., P.E. DATE



- LEGEND**
- Property Line
 - ⊕ Rebar and Cap Set
 - ⊙ Rebar and Cap Found
 - ⊙ Gas Tank
 - ⊙ Well
 - ⊙ Power Pole

Revision Number	Revision Date	Revision Description
1	01/02/2017	Revisions per comments 01/23/2019

22184 MELSON ROAD
 GEORGETOWN, DELAWARE 19947
 PHONE NO. 302-856-1565

Drawn By: JBR	Date: 01-02-2019
Scale: 1"=60'	Sheet 1/1