



Sussex County Council Public/Media Packet

**MEETING:
February 28, 2023**

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**Sussex County Council
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Georgetown, DE 19947
(302) 855-7743**

COUNTY COUNCIL

MICHAEL H. VINCENT, PRESIDENT
JOHN L. RIELEY, VICE PRESIDENT
CYNTHIA C. GREEN
DOUGLAS B. HUDSON
MARK G. SCHAEFFER



Sussex County

DELAWARE
sussexcountyde.gov
(302) 855-7743

SUSSEX COUNTY COUNCIL

A G E N D A

FEBRUARY 28, 2023

10:00 A.M.

Call to Order

Approval of Agenda

Approval of Minutes – February 21, 2023

Reading of Correspondence

Public Comments

Consent Agenda

1. Use of Existing Wastewater Infrastructure Agreement – IUA 407-1 Revised Plover Point, Oak Orchard Area
2. Use of Existing Wastewater Infrastructure Agreement – IUA 113 Estuary Phase 5 (Zinszer), Miller Creek Area
3. Use of Existing Wastewater Infrastructure Agreement – IUA 1109 Patriot's Glen (Phase 1), Oak Orchard Area

Todd Lawson, County Administrator

1. Review & Discussion related to the Code of Conduct Rules & Ethics Training
2. Administrator's Report

Gina Jennings, Finance Director

1. Pension and OPEB fund update and recommendation



Bill Pfaff, Director of Economic Development

1. Discussion and Possible Introduction of a Proposed Ordinance entitled “AN ORDINANCE AMENDING THE ANNUAL OPERATING BUDGET FOR FISCAL YEAR 2023 TO INCORPORATE NEW FEES AND EXPENSES FOR THE KITCHEN INCUBATOR PROJECT”

Andrea Wall, Manager of Accounting

1. Insurance Broker Recommendation

Hans Medlarz, County Engineer

1. EMS Public Safety Building – Project C19-04
 - A. Change Order No. 22
2. Construction Bid Award for the Long Neck Communities Sewer Expansion Project

Mark Parker, Assistant County Engineer

1. SCRWF Ocean Outfall Inspection
 - A. Repair/Inspection Follow-up & Actions

John Ashman, Director of Utility Planning & Review

1. Permission to Prepare and Post Notices:
 - A. American Storage (Long Neck Area of the SCUSSD)
 - B. Mulberry Knoll Store (West Rehoboth Area of the SCUSSD)

Grant Request

1. Paul Kares Inc. for their Concert for Kids program

Introduction of Proposed Zoning Ordinances

Council Members' Comments

1:30 p.m. Public Hearings

Conditional Use No. 2337 filed on behalf of Community Power Group, LLC

“AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT AND A C-1 GENERAL COMMERCIAL DISTRICT FOR A SOLAR FARM TO BE LOCATED ON A PORTION OF A CERTAIN PARCEL OF LAND LYING AND BEING IN CEDAR CREEK HUNDRED, SUSSEX COUNTY, CONTAINING 25.327 ACRES, MORE OR LESS” (property lying on the north side of Beach Highway [Route 16], approximately 0.20 mile east of Dupont Boulevard [Route 113]) (911 Address: 18019 Beach Highway, Ellendale) (Tax Parcel: 230-26.00-39.00 [p/o])

Conditional Use No. 2375 filed on behalf of Shane & Laura Karlik

“AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR A MARINE SERVICE BUSINESS TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN INDIAN RIVER HUNDRED, SUSSEX COUNTY, CONTAINING 1.70 ACRES, MORE OR LESS” (property lying on the east side of Cool Spring Road [S.C.R. 290], approximately 0.28 mile north of Stockley Road [S.C.R. 280]) (911 Address: 20635 Cool Spring Road, Milton) (Tax Parcel: 234-5.00-40.04)

Ordinance No. 22-07

“AN ORDINANCE TO AMEND THE FUTURE LAND USE MAP OF THE COMPREHENSIVE PLAN IN RELATION TO TAX PARCELS 135-15.00-98.00 & 98.01” (properties located on the south side of Lewes Georgetown Highway [Route 9], approximately 0.4-mile east of the intersection of Sand Hill Road [S.C.R. 319] and Lewes Georgetown Highway) (911 Address: 22242 Lewes Georgetown Highway, Georgetown) (Tax Parcels: 135-15.00-98.00 & 98.01)

Conditional Use No. 2369 filed on behalf of Leeward Chase DE, LLC

“AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AGRICULTURAL RESIDENTIAL DISTRICT FOR MULTI-FAMILY DWELLINGS (106 UNITS) TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN GEORGETOWN HUNDRED, SUSSEX COUNTY, CONTAINING 50.80 ACRES, MORE OR LESS” (properties are located on the south side of Lewes Georgetown Highway [Route 9], approximately 0.4-mile east of the intersection of Sand Hill Road [S.C.R. 319] and Lewes Georgetown Highway) (911 Address: 22242 Lewes Georgetown Highway, Georgetown) (Tax Parcels: 135-15.00-98.00 & 98.01)

Adjourn

-MEETING DETAILS-

In accordance with 29 Del.C. §10004(e)(2), this Agenda was posted on February 21, 2023 at 4:15 p.m. and at least seven (7) days in advance of the meeting.

This Agenda was prepared by the County Administrator and is subject to change to include the addition or deletion of items, including Executive Sessions, which arise at the time of the meeting.

Agenda items may be considered out of sequence.

The meeting will be streamed live at <https://sussexcountyde.gov/council-chamber-broadcast>.

The County provides a dial-in number for the public to comment during the appropriate time of the meeting. **Note, the on-line stream experiences a 30-second delay.**

Any person who dials in should listen to the teleconference audio to avoid the on-line stream delay.

To join the meeting via telephone, please dial:

Conference Number: 1-302-394-5036

Conference Code: 570176

Members of the public joining the meeting on the telephone will be provided an opportunity to make comments under the Public Comment section of the meeting and during the respective Public Hearing.

The Council meeting materials, including the “packet”, are electronically accessible on the County’s website at: <https://sussexcountyde.gov/agendas-minutes/county-council>.

#

SUSSEX COUNTY COUNCIL - GEORGETOWN, DELAWARE, FEBRUARY 21, 2023

A regularly scheduled meeting of the Sussex County Council was held on Tuesday, February 21, 2023, at 10:00 a.m., in Council Chambers, with the following present:

Michael H. Vincent	President
John L. Rieley	Vice President
Cynthia C. Green	Councilwoman
Douglas B. Hudson	Councilman
Mark G. Schaeffer	Councilman
Todd F. Lawson	County Administrator
J. Everett Moore, Jr.	County Attorney

**Call to
Order**

The Invocation and Pledge of Allegiance were led by Mr. Vincent.

Mr. Vincent called the meeting to order.

**M 077 23
Approve
Agenda**

A Motion was made by Mr. Hudson, seconded by Mr. Rieley, to approve the Agenda, as presented.

Motion Adopted: 5 Yeas

**Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea;
Mr. Hudson, Yea; Mr. Rieley, Yea;
Mr. Vincent, Yea**

Minutes

The minutes from February 7, 2023, were approved by consensus.

**Corre-
spondence**

There was no correspondence.

**Public
Comments**

Public comments were heard, and the following people spoke:

Ms. Suzanne Anderheggen spoke about clear cutting destruction of forested areas by Sussex County developers. Ms. Anderheggen urged the Council members to modify the Ordinance around developer tree clearing.

**BBA
Charter
Discussion**

Mr. Lawson reviewed the Bay Beach Association (BBA) Charter. The BBA is an organization representing the Delaware Bay coastal communities in Kent and Sussex counties. The BBA was formed to advocate on behalf of its members to preserve and protect the unique character of the Delaware Bay shoreline.

Mr. Lawson reminded Council that representatives from BBA made a

**BBA
Charter
Discussion
(continued)**

presentation during the January 10th County Council meeting and subsequently, County Council approved an MOU with the BBA during its January 31st meeting.

The BBA Charter codifies the establishment of the organization and outlines its roles and responsibilities. Kent and Sussex Counties along with the Towns of Bowers Beach, Lewes, and Slaughter Beach represent the voting members within the Charter. The BBA's objective is to work to see the implementation of the newly passed WRDA legislation and the specific initiatives designed to assist the Delaware coastal regions. Mr. Lawson reported that Bowers Beach and Slaughter Beach have signed onto the Charter already. In addition, Lewes plans to sign on at a future meeting and Kent County will be considering it at a future meeting.

**M 078 23
Approve
BBA
Charter**

A Motion was made by Mr. Schaeffer, seconded by Mr. Hudson, that be it moved that the Sussex County Council approves the Bay Beach Association Charter and agrees to join the Association as outlined in the terms of said Charter.

Motion Adopted: 5 Yeas

**Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea;
Mr. Hudson, Yea; Mr. Rieley, Yea;
Mr. Vincent, Yea**

**MOU/State
Family
Courthouse
Parking
Garage**

Mr. Lawson discussed a MOU with the Office of Management and Budget related to the State Family Courthouse Parking Garage MOU for Council's consideration.

Mr. Lawson reported that the MOU endorses conversations that have taken place with State officials dating back several years with the goal of working with the State to construct the new courthouse and garage in downtown Georgetown. Those conversations progressed to actual agreements between the County and the State.

As part of this agreement, in 2021 the Council agreed to sell four (4) parcels to the State on East Pine Street and East Market Street where the courthouse and garage are to be built. Next, the State agreed to sell the JP Annex Property, if the County opts to buy it, when the State has vacated the Annex Building. And last, the State agreed to reserve 100 parking spaces in the new parking garage in return for the County's contribution.

In summary, this MOU outlines the roles and responsibilities for the State and County through the construction and operation of the parking garage. The State will be responsible for the design, construction, and financial management of the parking garage project. The State estimates the cost of the parking garage and associated work to be in the twenty million (\$20.0M) dollars range. The County will contribute one million (\$1.0M) dollars to the State near the beginning of construction and an additional one

**MOU/State
Family
Courthouse
Parking
Garage
(continued)**

million (\$1.0M) dollars to the State upon substantial completion. In return, the State will provide the County with 100 dedicated parking spaces in the garage. In addition, once the garage is in use, the County will agree to contribute one-quarter (25%) of the on-going overhead of the garage and towards the future capital improvement fund. The maintenance and improvement fund agreements will be forth coming upon completion of the garage.

**M 079 23
Approve
MOU/State
Family
Courthouse
Parking
Garage**

A Motion was made by Mr. Hudson, seconded by Mr. Rieley that be it moved that the Sussex County Council approves the Memorandum of Understanding with the State of Delaware Office of Management and Budget as presented and for the purposes of establishing the roles and responsibilities related to the future construction operations of the State parking garage and the County's contribution of \$2M for the same as specified in the terms of the MOU.

Motion Adopted: 5 Yeas

**Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea;
Mr. Hudson, Yea; Mr. Rieley, Yea;
Mr. Vincent, Yea**

**Adminis-
trator's
Report**

Mr. Lawson read the following information in his Administrator's Report:

1. DelDOT 2025-2030 Capital Transportation Program

Sussex County invites the public to offer suggestions for the upcoming 2025-2030 Capital Transportation Program request, which the County Council will submit to the Delaware Department of Transportation this spring. Residents and property owners with ideas for improving local roads, pedestrian walkways, public transportation, and other related infrastructure and services can log onto the County's website to submit their suggestions.

Please visit www.sussexcountyde.gov and click the 'Sussex County wants your transportation ideas' announcement on the main page to fill out a suggestion form.

Submissions will be accepted through March 20. County staff will review all suggestions and forward those comments to DelDOT as part of the County's annual request for funding and prioritization of transportation projects here in Sussex County.

2. Delaware State Police Activity Report

The Delaware State police year-to-date activity report for January 2023 is attached listing the number of violent crime and property

**Adminis-
trator's
Report
(continued)**

crime arrests, as well as total traffic charges and corresponding arrests. In addition, DUI and total vehicle crashes investigated are listed. In total, there were 191 troopers assigned to Sussex County for the month of January.

3. Projects Receiving Substantial Completion

Per the attached Engineering Department Fact Sheets, Osprey Point – Phase 2B (Construction Record) and Millville By The Sea – Village 7 Schooner's Cove received Substantial Completion February 14th and February 16th respectively.

4. Thelma Dorey Monroe

It is with great sadness that we inform you that former Clerk of the Peace, Thelma Monroe, passed away on Thursday, February 9, 2023. Ms. Monroe served 10 months as Sussex County's Clerk of the Peace, earning an appointment from then Governor Ruth Ann Minner in March 2004. We would like to extend our condolences to the Monroe family.

5. Judith "Judy" Dickerson

It is with great sadness that we inform you that pensioner, Judith "Judy" Dickerson, passed away on Sunday, February 12, 2023. Mrs. Dickerson began her career with Sussex County in July 1973 where she worked until December 2008 for a total of 35 years of service. Her last position with the County was Clerk III in the Recorder of Deeds. We would like to extend our condolences to the Dickerson family.

[Attachments to the Administrator's Report are not attached to the minutes.]

**First
Quarter
Employee
Recognition**

Karen Brewington, Human Resources Director presented the first quarter employee recognition awards. Mrs. Brewington reported that there were 28 submissions during the quarter. The committee selected Donald Edwards, Emergency Communication Specialist 1, Mackenzie Murphy, Paramedic 1 and Donald Weber, Paramedic 3 for this quarter.

**Project 22-
01/CO No. 1**

Hans Medlarz, County Engineer presented Change Order No. 1 for FY 2022 General Labor & Equipment Contract, Project 22-01 for Council's consideration. Mr. Medlarz reported that the main cost driver was the work in Oak Crest Farms & Chapel Green community system conversions. Mr. Medlarz shared that some of the work will carry over into FY24.

M 080 23 **A Motion was made by Mr. Hudson, seconded by Mr. Rieley, be it moved**
Approve CO **based upon the recommendation of the Sussex County Engineering**
No. 1/ **Department, that FY23 Change Order No. 1 of George & Lynch’s Bid**
Project 22- **Package A for Contract # 22-01 FY22 General Labor & Equipment be**
01 **approved increasing the contract by \$2,400,000.00.**

Motion Adopted: 5 Yeas

Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea;
 Mr. Hudson, Yea; Mr. Rieley, Yea;
 Mr. Vincent, Yea

FY23 **Hans Medlarz, County Engineer presented FY23 contract for delivery seed**
Delivery **and chemical, project M23-06. Mr. Medlarz reported that the contract was**
Seed & **advertised and there was one bid received from Growmark FS, LLC. It is**
Chemical/ **believed that the prices that were received are competitive to what a**
Project **commercial farmer can purchase the same service and seed. In addition, the**
M23-06 **contract included chemicals that are used based on the pests and the**
 conditions of the crop.

M 081 23 **A Motion was made by Mr. Rieley, seconded by Mr. Hudson, that be it**
Approve **moved based upon the recommendation of the Sussex County Engineering**
FY23 **Department that Contract M23-06, Delivery Seed and Chemical be**
Delivery **awarded to Growmark FS, LLC for bid schedules A & B in the total not to**
Seed & **exceed amount of \$420,845.50 per year for FY23 and FY24.**
Chemical

Project **Motion Adopted: 4 Yeas, 1 Nay**

Vote by Roll Call: Mrs. Green, Nay; Mr. Schaeffer, Yea;
 Mr. Hudson, Yea; Mr. Rieley, Yea;
 Mr. Vincent, Yea

Old **Under Old Business, Jamie Whitehouse, Planning and Zoning Director**
Business/ **presented a Proposed Ordinance entitled “AN ORDINANCE TO AMEND**
CZ1969 **THE COMPREHENSIVE ZONING MAP OF SUSSEX COUNTY FROM**
 AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT TO A MR
 MEDIUM RESIDENTIAL DISTRICT FOR A CERTAIN PARCEL OF
 LAND LYING AND BEING IN BALTIMORE HUNDRED, SUSSEX
 COUNTY, CONTAINING 14.45 ACRES, MORE OR LESS” filed on
 behalf of Ron Sutton. The County Council held a Public Hearing on the
 application at its meeting of January 10, 2023. At the conclusion of the
 Public Hearing, a motion was made and passed to defer action on the
 application for further consideration. The application was discussed at the
 County Council meeting of January 24, 2023, and a motion was made and
 passed to defer action on the application for further consideration.

M 082 23 **A Motion was made by Mr. Hudson, seconded by Mr. Schaeffer to Adopt**
Adopt **Ordinance No. 2902 entitled “AN ORDINANCE TO AMEND THE**
Ordinance **COMPREHENSIVE ZONING MAP OF SUSSEX COUNTY FROM AN**

**No. 2902/
CZ1969**

AR-1 AGRICULTURAL RESIDENTIAL DISTRICT TO A MR MEDIUM RESIDENTIAL DISTRICT FOR A CERTAIN PARCEL OF LAND LYING AND BEING IN BALTIMORE HUNDRED, SUSSEX COUNTY, CONTAINING 14.45 ACRES, MORE OR LESS” for the reasons given by the Planning and Zoning Commission as follows:

- 1. This application seeks a Change in Zone from AR-1 to MR. The purpose of the MR zone is to provide housing in an area which is expected to become urban in character and where central water and sewer are available.**
- 2. The stated purpose of the MR District is satisfied for this site. Both central water and central sewer will be available.**
- 3. The proposed MR Zoning meets the purpose of the Zoning Ordinance in that it promotes the orderly growth of the County in an appropriate location.**
- 4. The property is in the vicinity of a commercially zoned parcel and there are GR-zoned properties in the general area. In the case of the C-1 Zoning, a wide variety of commercial uses are permitted, and that District also allows residential development of up to 12 units an acre. This rezoning is consistent with other zoning and land uses in the area.**
- 5. The site is located within the Coastal Area according to the Sussex County Comprehensive Plan. MR Zoning is appropriate in this Area according to the Plan.**
- 6. The Comprehensive Plan suggests that higher densities such as those permitted in the MR District can be appropriate where there is water and sewer available, there are appropriate roadways to handle the density, and there are nearby commercial or employment centers. All of those factors are satisfied with regard to this application.**
- 7. There is a letter in support of this Application in the record from a neighboring property owner stating that the change to MR zoning is appropriate for this parcel of land.**
- 8. For all of these reasons, MR zoning is appropriate for this site.**

Motion Adopted: 4 Yeas, 1 Nay

**Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea;
Mr. Hudson, Yea; Mr. Rieley, Nay;
Mr. Vincent, Yea**

**Old
Business/
CU2339**

Under Old Business, Jamie Whitehouse, Planning and Zoning Director presented a Proposed Ordinance entitled “AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN A MR MEDIUM RESIDENTIAL DISTRICT FOR MULTI-FAMILY (60 UNITS) TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN BALTIMORE HUNDRED, SUSSEX COUNTY, CONTAINING 14.45 ACRES, MORE OR LESS” filed on behalf of Ron Sutton.

**Old
Business/
CU2339
(continued)**

The County Council held a Public Hearing on the application at its meeting of January 10, 2023. At the conclusion of the Public Hearing, a motion was made and passed to defer action on the application for further consideration. The application was discussed at the County Council meeting of January 24, 2023, and a motion was made and passed to defer action on the application for further consideration.

**M 083 23
Adopt
Ordinance
No. 2903/
CU2339/
Amend
Condition A**

A Motion was made by Mr. Hudson, seconded by Mr. Schaeffer to amend Condition A from reading “shall have 60 units” to state “shall have 57 units” and to Adopt Ordinance No. 2903 entitled “AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN A MR MEDIUM RESIDENTIAL DISTRICT FOR MULTI-FAMILY (60 UNITS) TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN BALTIMORE HUNDRED, SUSSEX COUNTY, CONTAINING 14.45 ACRES, MORE OR LESS” for the reasons and conditions given by the Planning and Zoning Commission as follows and as amended:

- 1. This application seeks the approval of 57 multi-family structures on approximately 14.45 acres. The units will be duplex-style units with individual lots.**
- 2. The property is in an area where a variety of development has generally occurred. There is commercially zoned land across the street and there are properties with GR zoning and townhomes in the area.**
- 3. The site is in the Coastal Area according to the Sussex County Comprehensive Plan. This type of development is appropriate in this Area according to the Plan, which states that “a range of housing types” are acceptable here, including medium and high densities when a site is near commercial areas, is served by central water and sewer, where the use is in keeping with the character of the area and other similar factors. These types of considerations exist with regard to this site.**
- 4. An Environmental Assessment and Public Facility Report” was submitted by the Applicant in support of this project.**
- 5. Approximately 5.25 acres or 36.3% of the site will remain as open space, which exceeds the minimum Code requirement for this project.**
- 6. The proposed development will not have an adverse impact on the neighboring properties or community.**
- 7. The project will not have an adverse impact on traffic or roadways.**
- 8. The development will be served by central sewer provided by Sussex County.**
- 9. The development will be served by central water.**
- 10. This recommendation is subject to the following conditions:**
 - a. The maximum number of residential units shall be 57.**
 - b. The developer and then the condominium association shall be responsible for the perpetual maintenance of the development roadways, buffers, stormwater management facilities, erosion, and**

**M 083 23
Adopt
Ordinance
No. 2903/
CU2339/
Amend
Condition A**

- sedimentation control facilities, and other common areas.
- c. All entrance, intersection, roadway, and multi-modal improvements shall be completed by the developer in accordance with all DelDOT requirements.
 - d. The project shall be served by Sussex County sewer. The developer shall comply with all Sussex County Engineering Department requirements including any offsite upgrades necessary to provide service to the project.
 - e. The project shall be served by central water to provide drinking water and fire protection.
 - f. There shall be a vegetated or forested buffer of at least 20 feet in width along the perimeter of this development adjacent to lands of other ownership and 30 feet in width along the adjacent Agricultural property that is currently farmed. This buffer shall utilize existing forest or similar vegetation if it exists in the buffer area. Where trees currently exist in the buffer area, stump removal or construction activities that disturb the existing grade of the area within the buffer shall be prohibited. All silt fencing shall be located along the interior limit of the buffer area (the edge of the buffer nearest the interior development) and the Final Site Plan shall identify the "Limit of Disturbance" to prevent disturbance of the buffer area.
 - g. Construction activities, including site work and deliveries, shall only occur between 7:30 a.m. and 7:00 p.m. Monday through Friday, and between 8:00 a.m. and 2:00 p.m. on Saturdays. There shall be no construction activities at the site on Sundays. A 24-inch by 36-inch "NOTICE" sign in English and Spanish confirming these hours shall be prominently displayed at all entrances to the site during construction.
 - h. Street naming and addressing shall be subject to the review and approval of the County Geographic Information Office.
 - i. The Final Site Plan shall contain the approval of the Sussex County Conservation District for the design and location of all stormwater management areas and erosion and sedimentation control facilities.
 - j. The Amenities on this site shall include a pool and bath house. These amenities shall be constructed and open to use by the residents of this community on or before the issuance of the 30th residential Building Permit.
 - k. Any streetlights shall be downward screened so that they do not shine on neighboring properties or roadways.
 - l. The interior street design shall meet or exceed Sussex County's Street design requirements, and there shall be sidewalks on at least one side of all streets.
 - m. If requested by the local school district, a school bus stop shall be provided. The location of the bus stop shall be shown on the Final Site Plan
 - n. In addition to the main entrance onto Central Avenue, there shall be a second point of vehicular access to Central Avenue for emergency use only. The location and details of this emergency access shall be

**M 083 23
Adopt
Ordinance
No. 2903/
CU2339/
Amend
Condition A**

- shown on the Final Site Plan.
- o. The Final Site Plan shall include a Grading Plan for the site. No building permits shall be issued until an individual lot grading plan has been supplied to and approved by Sussex County. No certificate of occupancy shall be issued until a grading certificate is submitted to the Building Code Department demonstrating general conformity with the individual site grading plan.**
 - p. Failure to comply with any of these conditions may be grounds for termination of the Conditional Use approval.**
 - q. The Final Site Plan shall be subject to the review and approval of the Sussex County Planning and Zoning Commission.**

Motion Adopted: 5 Yeas

**Grant
Requests**

Mrs. Roth presented grant requests for Council's consideration.

Mr. Schaeffer requested that the grant request for Paul Kare Inc. be deferred until next week.

**M 084 23
Ocean View
Historical
Society**

A Motion was made by Mr. Hudson, seconded by Mr. Schaeffer to give \$2,000 (\$1,000 from Mr. Hudson's Councilmanic Grant Account and \$1,000 from Mr. Rieley's Councilmanic Grant Account) to Ocean View Historical Society for their Tunnell West Preservation Project.

Motion Adopted: 5 Yeas

**Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea;
Mr. Hudson, Yea; Mr. Rieley, Yea;
Mr. Vincent, Yea**

**M 085 23
Ocean
Waves Quilt
Guild Inc.**

A Motion was made by Mr. Schaeffer, seconded by Mr. Hudson to give \$500 (\$500 from Mr. Schaeffer's Councilmanic Grant Account) to Ocean Waves Quilt Guild Inc. for The Fabric of Life Quilt Show.

Motion Adopted: 5 Yeas

**Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea;
Mr. Hudson, Yea; Mr. Rieley, Yea;
Mr. Vincent, Yea**

**M 086 23
Developing
Artist
Collabora-
tion**

A Motion was made by Mr. Schaeffer, seconded by Mrs. Green to give \$1,000 (\$1,000 from Mr. Schaeffer's Councilmanic Grant Account) to Developing Artist Collaboration for a HVAC emergency.

Motion Adopted: 5 Yeas

**Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea;
Mr. Hudson, Yea; Mr. Rieley, Yea;
Mr. Vincent, Yea**

**M 087 23
Tether
Foundation**

A Motion was made by Mr. Rieley, seconded by Mr. Hudson to give \$4,000 (\$500 from each Councilmanic Grant Account and \$1,500 from the Countywide Youth Grant Account) to the Tether Foundation for Camp Abilities Delaware.

Motion Adopted: 5 Yeas

**Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea;
Mr. Hudson, Yea; Mr. Rieley, Yea;
Mr. Vincent, Yea**

**Introduction
of Proposed
Ordinances**

Mr. Vincent introduced a Proposed Ordinance entitled “AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR A 20.23-ACRE SOLAR FARM TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN BROAD CREEK HUNDRED, SUSSEX COUNTY, CONTAINING 79.59 ACRES, MORE OR LESS” filed on behalf of Taylor Mill Road Solar 1, LLC.

Mr. Vincent introduced a Proposed Ordinance entitled “AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN A GR GENERAL RESIDENTIAL DISTRICT FOR A SOLAR FARM TO BE LOCATED ON A PORTION OF A CERTAIN PARCEL OF LAND LYING AND BEING IN LITTLE CREEK HUNDRED, SUSSEX COUNTY, CONTAINING 17.04 ACRES, MORE OR LESS” filed on behalf of Consolidated Edison Development, Inc.

Mrs. Green introduced a Proposed Ordinance entitled “AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR A SOLAR FARM ON A 19.61 ACRE, PORTION, MORE OR LESS, OF A CERTAIN PARCEL OF LAND LYING AND BEING IN NORTHWEST FORK HUNDRED, SUSSEX COUNTY, CONTAINING 74.96 ACRES, MORE OR LESS” filed on behalf of Consolidated Edison Development, Inc.

Mrs. Green introduced a Proposed Ordinance entitled “AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN A GR GENERAL RESIDENTIAL DISTRICT AND A C-1 GENERAL COMMERCIAL DISTRICT FOR AUTO STORAGE TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN CEDAR CREEK HUNDRED, SUSSEX COUNTY, CONTAINING 0.91 ACRE, MORE OR LESS” filed on behalf of Vance Daniels.

Mr. Schaeffer introduced a Proposed Ordinance entitled “AN ORDINANCE TO AMEND THE COMPREHENSIVE ZONING MAP OF SUSSEX COUNTY FROM AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT TO AC-3 HEAVY COMMERCIAL DISTRICT FOR A PORTION OF A CERTAIN PARCEL OF LAND LYING AND BEING IN BROADKILL HUNDRED, SUSSEX COUNTY, CONTAINING 64.85

ACRES, MORE OR LESS” filed on behalf of Ocean One Holdings, LLC.

**Council
Member
Comments**

The Proposed Ordinance will be advertised for Public Hearings.

There were no Council member comments.

**M 088 23
Go Into
Executive
Session**

At 10:40 a.m., a Motion was made by Mr. Rieley, seconded by Mr. Hudson to recess the Regular Session, and go into Executive Session for the purpose of discussing matters relating to land acquisition.

Motion Adopted: 5 Yeas

**Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea;
Mr. Hudson, Yea; Mr. Rieley, Yea;
Mr. Vincent, Yea**

**Executive
Session**

At 10:50 a.m., an Executive Session of the Sussex County Council was held in the Basement Caucus Room to discuss matters relating to land acquisition. The Executive Session concluded at 11:04 a.m.

**M 089 23
Reconvene**

At 11:06 a.m., a Motion was made by Mr. Hudson, seconded by Mr. Rieley, to come out of Executive Session and reconvene the Regular Session.

Motion Adopted: 4 Yeas, 1 Absent

**Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Absent;
Mr. Hudson, Yea; Mr. Rieley, Yea;
Mr. Vincent, Yea**

E/S Action

There was no action on Executive Session matters.

**M 090 23
Recess**

A Motion was made by Mr. Schaeffer, seconded by Mr. Rieley to recess until 1:30 p.m. Public Hearings.

Motion Adopted: 5 Yeas

**Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea;
Mr. Hudson, Yea; Mr. Rieley, Yea;
Mr. Vincent, Yea**

**M 091 23
Reconvene**

At 1:30 p.m., a Motion was made by Mr. Rieley, seconded by Mr. Schaeffer to reconvene.

Motion Adopted: 5 Yeas

**Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea;
Mr. Hudson, Yea; Mr. Rieley, Yea;
Mr. Vincent, Yea**

Rules

Mr. Moore read the rules and procedures for public hearings.

**Public
Hearing/
CU2342**

A Public Hearing was held on a Proposed Ordinance entitled “AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR A SOLAR FARM TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN SEAFORD HUNDRED, SUSSEX COUNTY, CONTAINING 27.5 ACRES, MORE OR LESS” (property lying on the west side of Elks Road [Rt. 46] approximately 0.50 mile west of the intersection of Elks Road [Rt. 46] and Sussex Highway [Rt. 13] (911 Address: N/A) (Tax Parcel: 331-1.00-15.01 [p/o]) filed on behalf of Turning Point Energy – TPE DE SU07, LLC

The Planning & Zoning Commission held a Public Hearing on the application on December 15, 2022. At the meeting of January 12, 2023, the Planning & Zoning Commission recommended approval of the application for the 8 reasons stated and subject to the 10 recommended conditions as outlined within the motion.

(See the minutes of the Planning & Zoning Commission dated December 12, 2022 and January 12, 2023.)

Mr. Jamie Whitehouse, Planning and Zoning Director, presented the application.

The Council found that Mr. Jon Falkowski spoke on behalf of the Application; that he is a civil engineer with Becker Morgan Group; that also present was Mr. Michael Rieman with Becker Morgan Group, Mr. John Tracy, Legal Counsel and Mr. Jordan Belknap, with Turning Point Energy as the Applicant; that the property is located within Seaford, being just south of Bridgeville; that the property is located off Cannon Rd., along Elks Rd.; that the property is zoned AR-1; that the property is existing agricultural use; that the property is approximately 108 acre parcel; that only 27.5 acres, to the north of the 108 acres is being requested for Conditional Use; that there are a few residential houses to the south of the project that have existing access by a gravel road; that the gravel road will remain in place.

The Council found that Mr. Jordan Belknap spoke on behalf of the Application; that he is the Director of Development for Turning Point Energy; the Turning Point Energy is an energy developer; that they achieve this by developing community solar projects; that community solar is a model where a solar farm can be constructed, which allow residents, businesses and municipalities to sign up as subscribers to a solar farm; that the project brings environmental value because it produces clean and renewable energy; that the project brings community value because for every project that is done, they work with a local community and find charitable organizations who are doing good work in that community and make a contribution to those organizations; that community solar was

**Public
Hearing/
CU2342
(continued)**

enabled in Delaware by the passage of Senate Bill 2 in 2021; that it was signed into State law; that it allows project of this type to be community solar energy facilities; that it allows people to subscribe to the facility for credits to save on their electric bill; that community solar is especially appealing to low incoming housing, condominiums, apartments, and residences that do not have a suitable roof for the placement of solar panels; that they can develop an effective solar farm, at an effective scale, at an effective cost, which allow to pass the savings on to the residents of Sussex County, who are customers of Delmarva Power; that subscribers pay for their subscription; that the subscription generates a credit which is received on the subscribers electric bill; that the amount, size and cost of the subscription is modeled with the energy consumption that the subscriber has at their residence or business; that cost of the credit is of greater value than the subscription; that the project provides local construction jobs; that the project will not create any long-term increase in traffic; that the arrays sit quietly; that the arrays are monitored remotely; that there is a four-to-six-month construction window that will create increased traffic; that after the construction window passes, the property may see a vehicle every few months for the property and/or equipment maintenance; that they are proposing to use a low growth pollinator mix; that the low growth pollinator mix will allow for a nice environment for small animals and bees; that the distributed energy eases the burden on the transmission system; that the must be a customer of Delmarva Power and live in the State of Delaware to subscribe the system; that it is an environmentally friendly facility.

The Council found that Mr. Jon Falkowski spoke on behalf of the Application; that there will be no increase to traffic; that it is a renewable energy source; that the project will create no odors, dust, gas, smoke or fumes; that there will be little to no noise from the project inverters; that they did perform a glare study for the project; that the glare study confirmed there were no glare impacts to the neighbors; that the performed glare study was very conservative as the study did not account for any buffering or landscaping for the property; that the project proposes a pollinator mix be planted; that they will seek sediment and stormwater approval from Sussex Conservation District; that the change in land cover from the existing agricultural use to the pollinator mix will help the reduce of runoff; that they propose seven foot fencing be place around the entire perimeter of the array; that the fencing will have gates and Knox Box for emergency personnel; that a community outreach meeting was held for the project; that project mailers were sent out to all residents listed on the Sussex County mailing list for the public hearing; that Mr. Belknap did attend the community outreach meeting on December 7, 2022, at the Bridgeville Public Library; that they did submit their proposed decommissioning plan; that at the end of the solar arrays useful life, the arrays will be decommissioned; that the property will then return to its existing agricultural use and they did submit Findings of Fact and proposed conditions for the project; that the Planning Commission did recommend approval with ten conditions; that there are no objections to the conditions;

**Public
Hearing/
CU2342
(continued)**

that it is a 25 year lease; that the proposed use is a public utility under the Code; that they believe it meets the purposes of a Conditional Use as it is of a public character, as well as desirable for the general convenience and welfare of the residents of Sussex County; that the proposed use does meet the goals of the Comprehensive Plan, which encourages the use of renewable energy and the proposed use does not have any impact to adjacent neighbors due to the proffered buffering, fencing, minimal noise or impact on traffic.

Mr. Rieley questioned if the property owners were aware that the property taxes would increase and be assessed at a higher tax rate prior to the completion of the project.

Mr. Rieley questioned the materials that the solar panels are constructed of. It was explained that they are made of the same materials that the roof top units are made of.

Public comments were heard.

Mrs. Rosemary Everton spoke in favor of the application; that she is one of the landowners; that the farm has been in the family for several years; that she is excited about this project; that the land is currently farmed; that the runoff from the farm runs into the pond that runs into the Nanticoke which is a concern of hers; that this will provide an income but there is not a concern about the runoff going into the pond; that she has done a lot of research for this project.

The Public Hearing and public record were closed.

**M 092 23
Adopt
Ordinance
No. 2904/
CU2342**

A Motion was made by Mrs. Green, seconded by Mr. Rieley to Adopt Ordinance No. 2904 entitled "AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR A SOLAR FARM TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN SEAFORD HUNDRED, SUSSEX COUNTY, CONTAINING 27.5 ACRES, MORE OR LESS" for the reasons and conditions as provided by the Planning and Zoning Commission as follows:

1. The proposed facility is a public utility use under the Sussex County Zoning Code, and it meets the purposes of a Conditional Use because it has a public or semi-public character that is essential and desirable for the general convenience and welfare of Sussex County residents.
2. This is an adaptive use of farmland that will preserve it from more intensive development. The solar farm will be located on 27.5 acres of a larger 107.75-acre farm.
3. The proposed facility promotes Goal 7.3 of the Sussex County Comprehensive Plan which encourages the use of renewable energy options such as solar farms. There was testimony that this solar farm will benefit residential, business, and municipal subscribers with

M 092 23
Adopt
Ordinance
No. 2904/
CU2342
(continued)

- lower power costs.
4. **With the conditions imposed in this recommendation, the proposed use will not have any adverse impact on the neighboring or adjacent properties and there are no homes in close proximity to this site. In addition, there is information and data in the record from an appraiser that solar facilities do not have a negative impact upon adjacent property values.**
 5. **The proposed solar generation facility will not result in any noticeable increase in traffic on area roadways. There are no regular employees at the site, only periodic visits for inspections, maintenance, or repair of the solar panels.**
 6. **Based upon the testimony in the record, it is evident that no significant noise, dust, or odor will be generated by the facility.**
 7. **There will be a buffer of existing vegetation along the east and west sides of this site to screen the view of the solar farm from the nearby residential properties while allowing the solar arrays to function properly.**
 8. **The proposed use provides a renewable energy source that is a benefit to the residents and businesses of Sussex County.**
 9. **This recommendation is subject to the following conditions:**
 - a. **The use shall be for a ground-mounted solar farm. No other types of electric generation shall be permitted at the site.**
 - b. **Any lighting on the facility shall only consist of perimeter lighting needed for security purposes. All lighting shall be downward screened so that it does not shine on neighboring properties or roadways.**
 - c. **One unlighted sign, not to exceed 32 square feet in size, shall be permitted. The sign shall identify the operator of the solar farm and shall provide contact information in case of emergency.**
 - d. **The site shall be secured by fencing with a gate with a “Knox Box” or similar device to accommodate emergency access by the local fire company or other emergency responders. The fence line shall be shown on the Final Site Plan.**
 - e. **Any transformers or similar equipment, or structures shall be centrally located on the site away from any nearby residential uses. The location of these structures and equipment shall be shown on the Final Site Plan.**
 - f. **The entire site, including the area outside the fence, shall be maintained so that it does not become overgrown.**
 - g. **Stormwater management and erosion and sedimentation control facilities shall be constructed in accordance with all applicable State and County requirements. These facilities shall be operated using Best Management Practices.**
 - h. **There shall be a vegetated buffer of existing vegetation along the eastern and western sides of the solar area. These buffer areas shall be clearly shown on the Final Site Plan. These buffers shall screen solar arrays while allowing the solar arrays to function properly.**
 - i. **The Final Site Plan shall identify a Decommissioning Plan that**

**M 092 23
Adopt
Ordinance
No. 2904/
CU2342
(continued)**

includes a financial security to ensure that funds are available for decommissioning and removal of the solar farm in its entirety throughout the life of the Conditional Use.

- j. The Final Site Plan shall be subject to the review and approval of the Sussex County Planning and Zoning Commission.**

Motion Adopted: 5 Yeas

**Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea;
Mr. Hudson, Yea; Mr. Rieley, Yea;
Mr. Vincent, Yea**

**Public
Hearing/
CU2343**

A Public Hearing was held on a Proposed Ordinance entitled “AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR A SOLAR FARM TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN GEORGETOWN HUNDRED, SUSSEX COUNTY, CONTAINING 25.00 ACRES, MORE OR LESS” (property lying on the west side of Gravel Hill Road [S.C.R. 248] approximately 0.37 mile north of the intersection of Gravel Hill Road (S.C.R. 248) and Lewes Georgetown Highway [Rt. 9] (911 Address: N/A) (Tax Parcel: 135-11.00-48.00 [p/o]) filed on behalf of Turning Point Energy – TPE DE SU163, LLC

The Planning & Zoning Commission held a Public Hearing on the application on December 15, 2022. At the meeting of January 12, 2023, the Planning & Zoning Commission recommended approval of the application, for the 8 reasons stated and subject to the 10 recommended conditions as outlined within the motion.

(See the minutes of the Planning & Zoning Commission dated December 15, 2022, and January 12, 2023.)

Mr. Jamie Whitehouse, Planning and Zoning Director, presented the application.

The Council found that Mr. Jon Falkowski spoke on behalf of the Application; that he is a civil engineer with Becker Morgan Group; that also present was Mr. Jordan Belknap, with Turning Point Energy as the Applicant TPE DE SU163; that the site is located within Georgetown; that the property is currently being used for agricultural propose within the AR-1 (Agricultural Residential) Zoning District); that the property consist of 39.5 acres; that the area requested for the Conditional Use is located to the south, consisting of 25 acres; that the solar array is a tracker ground mounted system; that the project does propose an extensive landscape buffer as it is adjacent to residents surrounding the project; that they propose a 25-ft. wide landscape buffer, consisting of 12 deciduous trees and 15 scrubs per 100 linear feet; that the landscape buffer will shield from the residents located along Gravel Hill Rd.; that they also propose a landscape buffer along the northside perimeter, as they are aware that construction

**Public
Hearing/
CU2343
(continued)**

recently began for Azalea Woods; that Azalea Woods is a 66 lot subdivision that is currently underway; that the project will create no increase in traffic; that the project will create no odors, dust, gas, smoke or fumes; that there will be little to no noise from the project inverters; that they did perform a glare study for the project; that the project proposes a pollinator mix be planted; that they will seek sediment and stormwater approval from Sussex Conservation District; that the change in land cover from the existing agricultural use to the pollinator mix will help the reduce of runoff; that they propose a seven to eight foot chain link fence, with necessary gates and Knox Box for emergency personnel; that a community outreach meeting was held for the project; that project mailers were sent out to all residents listed on the Sussex County mailing list for the public hearing; that Mr. Belknap did attend the community outreach meeting on December 5, 2022, at the Cheer Center; that they did submit their proposed decommissioning plan; that at the end of the solar arrays useful life of 25 years, the arrays will be decommissioned; that the property will then return to its existing agricultural use and they did submit Findings of Fact and proposed conditions for the project; that the proposed use is a public utility under the Code; that they believe it meets the purposes of a Conditional Use as it is of a public character, as well as desirable for the general convenience and welfare of the residents of Sussex County; that the proposed use does meet the goals of the Comprehensive Plan, which encourages the use of renewable energy and the proposed use does not have any impact to adjacent neighbors due to the proffered buffering, fencing, minimal noise or impact on traffic.

The Council found that Mr. Jordan Belknap spoke on behalf of the Application; that he is the Director of Development for Turning Point Energy; the Turning Point Energy is an energy developer; that they achieve this by developing community solar projects; that community solar is a model where a solar farm can be constructed, which allow residents, businesses and municipalities to sign up as subscribers to a solar farm; that the project brings environmental value because it produces clean and renewable energy; that the project brings community value because for every project that is done, they work with a local community and find charitable organizations who are doing good work in that community and make a contribution to those organizations; that community solar was enabled in Delaware by the passage of Senate Bill 2 in 2021; that it was signed into State law; that it allows project of this type to be community solar energy facilities; that it allows people to subscribe to the facility for credits to save on their electric bill; that community solar is especially appealing to low incoming housing, condominiums, apartments, and residences that do not have a suitable roof for the placement of solar panels; that they can develop an effective solar farm, at an effective scale, at an effective cost, which allow to pass the savings on to the residents of Sussex County, who are customers of Delmarva Power; that subscribers pay for their subscription; that the subscription generates a credit which is received on the subscribers electric bill; that the amount, size and cost of the subscription is modeled with the energy consumption that the subscriber

**Public
Hearing/
CU2343
(continued)**

has at their residence or business; that cost of the credit is of greater value than the subscription; that the project provides local construction jobs; that that the project will not create any long-term increase in traffic; that the arrays sit quietly; that the arrays are monitored remotely; that there is a four-to-six-month construction window that will create increased traffic; that after the construction window passes, the property may see a vehicle every few months for the property and/or equipment maintenance; that they are proposing to use a low growth pollinator mix; that the low growth pollinator mix will allow for a nice environment for small animals and bees; that the distributed energy eases the burden on the transmission system; that the must be a customer of Delmarva Power and live in the State of Delaware to subscribe the system; that it is an environmentally friendly facility.

Public comments were heard.

Mr. Keith Tabor spoke in favor of the application; that he lives along Gravel Hill Road; that he believes this is a great idea; that he endorses the project.

Mr. Aaron Worland spoke in favor of the application; that he is the landowners; that he has been greatly informed about the project; that he believes that this is a great idea; that he believes that this is better than more development.

A gentleman questioned where the fence would be located; that it goes closer to the array; that it will be located on the inside.

Ms. Eul Lee questioned if there is any use for the land under the solar panels; that she questioned if there could be free range chickens under the solar panels.

The Public Hearing and public record were closed.

**M 093 23
Adopt
Ordinance
No. 2905/
CU2343**

A Motion was made by Mr. Rieley, seconded by Mr. Hudson, to Adopt Ordinance No. 2905 entitled “AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR A SOLAR FARM TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN GEORGETOWN HUNDRED, SUSSEX COUNTY, CONTAINING 25.00 ACRES, MORE OR LESS” for the reasons and conditions given by the Planning and Zoning Commission as follows:

- 1. The proposed facility is a public utility use under the Sussex County Zoning Code, and it meets the purposes of a Conditional Use because it has a public or semi-public character that is essential and desirable for the general convenience and welfare of Sussex County residents.**
- 2. This is an adaptive use of farmland that will preserve it from more intensive development. It will be located on a part of a larger 41.08-**

**M 093 23
Adopt
Ordinance
No. 2905/
CU2343
(continued)**

- acre farm.
3. The proposed facility promotes Goal 7.3 of the Sussex County Comprehensive Plan which encourages the use of renewable energy options such as solar farms. There was testimony that this solar farm will benefit residential, business, and municipal subscribers with lower power costs.
 4. With the conditions imposed in this recommendation, the proposed use will not have any adverse impact on the neighboring or adjacent properties. In addition, there is information and data in the record from an appraiser that solar facilities do not have a negative impact upon adjacent property values.
 5. The proposed solar generation facility will not result in any noticeable increase in traffic on area roadways. There are no regular employees at the site, only periodic visits for inspections, maintenance, or repair of the solar panels.
 6. Based upon the testimony in the record, it is evident that no significant noise, dust, or odor will be generated by the facility.
 7. There will be a 25-foot-wide landscaped buffer to screen the view of the solar farm from the nearby residential properties while allowing the solar arrays to function properly.
 8. The proposed use provides a renewable energy source that is a benefit to the residents and businesses of Sussex County.
 9. This recommendation is subject to the following conditions:
 - a. The use shall be for a ground-mounted solar farm. No other types of electric generation shall be permitted at the site.
 - b. Any lighting on the facility shall only consist of perimeter lighting needed for security purposes. All lighting shall be downward screened so that it does not shine on neighboring properties or roadways.
 - c. One unlighted sign, not to exceed 32 square feet in size, shall be permitted. The sign shall identify the operator of the solar farm and shall provide contact information in case of emergency.
 - d. The site shall be secured by fencing with a gate with a “Knox Box” or similar device to accommodate emergency access by the local fire company or other emergency responders. The fence line shall be shown on the Final Site Plan.
 - e. Any transformers or similar equipment or structures shall be centrally located on the site away from any nearby residential uses. The location of these structures and equipment shall be shown on the Final Site Plan.
 - f. The entire site, including the area outside the fence, shall be maintained so that it does not become overgrown.
 - g. Stormwater management and erosion and sedimentation control facilities shall be constructed in accordance with all applicable State and County requirements. These facilities shall be operated using Best Management Practices.
 - h. There shall be a vegetated buffer that is at least 25 feet wide planted with deciduous and evergreen trees and shrubs around the perimeter

**M 093 23
Adopt
Ordinance
No. 2905/
CU2343**

of the solar arrays wherever there is not an existing vegetated buffer. These buffers shall screen solar arrays while allowing the solar arrays to function properly. This buffer area, with specifications about the type and location of the plantings, shall be shown on the Final Site Plan.

- i. The Final Site Plan shall identify a Decommissioning Plan that includes a financial security to ensure that funds are available for decommissioning and removal of the solar farm in its entirety throughout the life of the Conditional Use.**
- j. The Final Site Plan shall be subject to the review and approval of the Sussex County Planning and Zoning Commission.**

Motion Adopted: 5 Yeas

**Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea;
Mr. Hudson, Yea; Mr. Rieley, Yea;
Mr. Vincent, Yea**

**Public
Hearing/
CU2344**

A Public Hearing was held on a Proposed Ordinance entitled “AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR A 35-ACRE SOLAR FARM TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN GEORGETOWN HUNDRED, SUSSEX COUNTY, CONTAINING 35.58 ACRES, MORE OR LESS” (property lying on both the east and west sides of East Trap Pond Road [S.C.R. 62], approximately 0.4 mile north of Substation Road [S.C.R. 518], with solar panels to be located on the east side of East Trap Pond Road [S.C.R. 62]) (911 Address: N/A) (Tax Parcel: 135-22.00-23.00 [p/o])

The Planning & Zoning Commission held a Public Hearing on the application on December 15, 2022. At the meeting of January 12, 2023, the Planning & Zoning Commission recommended approval of the application for the 9 reasons stated and subject to the 10 recommended conditions as outlined.

(See the minutes of the Planning & Zoning Commission dated December 15, 2022, and January 12, 2023.)

Mr. Jamie Whitehouse, Planning and Zoning Director, presented the application.

The Council found that Mr. Jon Falkowski spoke on behalf of the Application; that he is a civil engineer with Becker Morgan Group; that also present was Mr. Jordan Belknap, with Turning Point Energy as the Applicant TPE DE SU113; that the site is located on the southside of Georgetown, along East Trap Pond Rd.; that the property is currently being use for agricultural purposes; that the site is located within the AR-1 (Agricultural Residential) Zoning District; that the property is 35.6 acres; that they are asking for the entire 35.6 acres to be granted a Conditional

**Public
Hearing/
CU2344
(continued)**

Use; that they propose a 25-ft. wide landscape buffer, consisting of 12 deciduous trees and 15 scrubs per 100 linear feet, located on the north, east and west perimeter of the property; that there is natural vegetation located to the south of the property; that there is a solar array located to the south of the property, which is owned by Delaware Electric Coop; that the project will create no increase in traffic; that the project will create no odors, dust, gas, smoke or fumes; that they did perform a glare study for the project; that the project proposes a pollinator mix be planted; that they will seek sediment and stormwater approval from Sussex Conservation District; that the change in land cover from the existing agricultural use to the pollinator mix will help the reduce of runoff; that they propose a seven to eight foot chain link fence, with necessary gates, access points and a Knox Box for emergency personnel; ; that a community outreach meetings was held for the project; that project mailers were sent out to all residents listed on the Sussex County mailing list for the public hearing; that Mr. Belknap did attend the community outreach meeting on December 5, 2022, at the Cheer Center; that they did submit their proposed decommissioning plan; that at the end of the solar arrays useful life of 25 years, the arrays will be decommissioned; that the property will then return to its existing agricultural use and they did submit Findings of Fact and proposed conditions for the project; that the proposed use is a public utility under the Code; that they believe it meets the purposes of a Conditional Use as it is of a public character, as well as desirable for the general convenience and welfare of the residents of Sussex County; that the proposed use does meet the goals of the Comprehensive Plan, which encourages the use of renewable energy and the proposed use does not have any impact to adjacent neighbors due to the proffered buffering, fencing, minimal noise or impact on traffic.

The Council found that Mr. Jordan Belknap spoke on behalf of the Application; that he is the Director of Development for Turning Point Energy; the Turning Point Energy is an energy developer; that they achieve this by developing community solar projects; that community solar is a model where a solar farm can be constructed, which allow residents, businesses and municipalities to sign up as subscribers to a solar farm; that the project brings environmental value because it produces clean and renewable energy; that the project brings community value because for every project that is done, they work with a local community and find charitable organizations who are doing good work in that community and make a contribution to those organizations; that community solar was enabled in Delaware by the passage of Senate Bill 2 in 2021; that it was signed into State law; that it allows project of this type to be community solar energy facilities; that it allows people to subscribe to the facility for credits to save on their electric bill; that community solar is especially appealing to low incoming housing, condominiums, apartments, and residences that do not have a suitable roof for the placement of solar panels; that they can develop an effective solar farm, at an effective scale, at an effective cost, which allow to pass the savings on to the residents of Sussex County, who are customers of Delmarva Power; that subscribers pay for

**Public
Hearing/
CU2344
(continued)**

their subscription; that the subscription generates a credit which is received on the subscribers electric bill; that the amount, size and cost of the subscription is modeled with the energy consumption that the subscriber has at their residence or business; that cost of the credit is of greater value than the subscription; that the project provides local construction jobs; that that the project will not create any long-term increase in traffic; that the arrays sit quietly; that the arrays are monitored remotely; that there is a four-to-six-month construction window that will create increased traffic; that after the construction window passes, the property may see a vehicle every few months for the property and/or equipment maintenance; that they are proposing to use a low growth pollinator mix; that the low growth pollinator mix will allow for a nice environment for small animals and bees; that the distributed energy eases the burden on the transmission system; that the must be a customer of Delmarva Power and live in the State of Delaware to subscribe the system; that it is an environmentally friendly facility; that the Planning Commission recommended approval with ten conditions; that there are no objections to the conditions.

There were no public comments.

The Public Hearing and public record were closed.

**M 094 23
Adopt
Ordinance
No. 2906/
CU2344**

A Motion was made by Mr. Rieley, seconded by Mr. Hudson to Adopt Ordinance No. 2906 entitled “AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR A 35-ACRE SOLAR FARM TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN GEORGETOWN HUNDRED, SUSSEX COUNTY, CONTAINING 35.58 ACRES, MORE OR LESS” for the reasons and conditions given by the Planning and Zoning Commission as follows:

- 1. The proposed facility is a public utility use under the Sussex County Zoning Code, and it meets the purposes of a Conditional Use because it has a public or semi-public character that is essential and desirable for the general convenience and welfare of Sussex County residents.**
- 2. This is an adaptive use of farmland that will preserve it from more intensive development.**
- 3. The proposed facility promotes Goal 7.3 of the Sussex County Comprehensive Plan which encourages the use of renewable energy options such as solar farms. There was testimony that this solar farm will benefit residential, business, and municipal subscribers with lower power costs.**
- 4. This site is immediately adjacent to an existing solar farm. This is an appropriate location for an additional solar facility.**
- 5. With the conditions imposed in this recommendation, the proposed use will not have any adverse impact on the neighboring or adjacent properties. In addition, there was information and data in the record from an appraiser that solar facilities do not have a negative impact upon adjacent property values.**

M 094 23
Adopt
Ordinance
No. 2906/
CU2344
(continued)

6. The proposed solar generation facility will not result in any noticeable increase in traffic on area roadways. There are no regular employees at the site, only periodic visits for inspections, maintenance, or repair of the solar panels.
7. Based upon the testimony in the record, it is evident that no significant noise, dust, or odor will be generated by the facility.
8. There will be a buffer along the western, northern, and eastern boundaries of the site (basically everywhere but the common boundary of this site with the existing solar farm to the south) to screen the view of the solar farm from the nearby properties while allowing the solar arrays to function properly.
9. The proposed use provides a renewable energy source that is a benefit to the residents and businesses of Sussex County.
10. This recommendation is subject to the following conditions:
 - a. The use shall be for a ground-mounted solar farm. No other types of electric generation shall be permitted at the site.
 - b. Any lighting on the facility shall only consist of perimeter lighting needed for security purposes. All lighting shall be downward screened so that it does not shine on neighboring properties or roadways.
 - c. One unlighted sign, not to exceed 32 square feet in size, shall be permitted. The sign shall identify the operator of the solar farm and shall provide contact information in case of emergency.
 - d. The site shall be secured by fencing with a gate with a “Knox Box” or similar device to accommodate emergency access by the local fire company or other emergency responders. The fence line shall be shown on the Final Site Plan.
 - e. Any transformers or similar equipment or structures shall be centrally located on the site away from any nearby residential uses. The location of these structures and equipment shall be shown on the Final Site Plan.
 - f. The entire site, including the area outside the fence, shall be maintained so that it does not become overgrown.
 - g. Stormwater management and erosion and sedimentation control facilities shall be constructed in accordance with all applicable State and County requirements. These facilities shall be operated using Best Management Practices.
 - h. There shall be a vegetated buffer along the western, northern, and eastern boundaries of the site (basically everywhere but the common boundary of this site with the existing solar farm to the south) that is at least 25 feet wide and planted with deciduous and evergreen trees and shrubs wherever there is not existing similar vegetation in the buffer area. These buffers shall screen solar arrays while allowing the solar arrays to function properly.
 - i. The Final Site Plan shall identify a Decommissioning Plan that includes a financial security to ensure that funds are available for decommissioning and removal of the solar farm in its entirety throughout the life of the Conditional Use.

**M 094 23
Adopt
Ordinance
No. 2906/
CU2344**

**j. The Final Site Plan shall be subject to the review and approval of the
Sussex County Planning and Zoning Commission.**

Motion Adopted: 5 Yeas

**Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea;
Mr. Hudson, Yea; Mr. Rieley, Yea;
Mr. Vincent, Yea**

**M 095 23
Adjourn**

**A Motion was made by Mr. Rieley, seconded by Mr. Schaeffer to adjourn at
2:17 p.m.**

Motion Adopted: 5 Yeas

**Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea;
Mr. Hudson, Yea; Mr. Rieley, Yea;
Mr. Vincent, Yea**

Respectfully submitted,

**Tracy N. Torbert
Clerk of the Council**

{An audio recording of this meeting is available on the County's website.}

Consent Agenda 2-28-2023

Plover Point

**Existing Sewer Infrastructure Use Agreement – IUA 407-1 REVISED
Double H Development, LLC to pay \$114,888.00 for 152.00 EDUs in (2)
installments
Oak Orchard Area**

Estuary Phase 5 (Zinszer)

**Existing Sewer Infrastructure Use Agreement – IUA 113
Estuary Development, LLC to pay \$18,093.00 for 34 EDUs
Miller Creek Area**

Patriot's Glen (Phase 1)

**Existing Sewer Infrastructure Use Agreement – IUA 1109
TSK Land Group, LLC to pay \$114,476.00 for 160 EDUs
Oak Orchard Area**

ENGINEERING DEPARTMENT

ADMINISTRATION (302) 855-7718
AIRPORT & INDUSTRIAL PARK (302) 855-7774
ENVIRONMENTAL SERVICES (302) 855-7730
PUBLIC WORKS (302) 855-7703
RECORDS MANAGEMENT (302) 854-5033
UTILITY ENGINEERING (302) 855-7717
UTILITY PERMITS (302) 855-7719
UTILITY PLANNING (302) 855-1299
FAX (302) 855-7799



Sussex County

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HANS M. MEDLARZ, P.E.
COUNTY ENGINEER

JOHN J. ASHMAN
DIRECTOR OF UTILITY PLANNING

Memorandum

TO: Sussex County Council
The Honorable Michael H. Vincent, President
The Honorable John L. Rieley, Vice President
The Honorable Cynthia C. Green
The Honorable Douglas B. Hudson
The Honorable Mark G. Schaeffer

FROM: John J. Ashman 
Director of Utility Planning & Design Review

RE: ***Existing Wastewater Infrastructure Use Agreement
Plover Point IUA 407-1 REVISED
File: OM 9.01***

DATE: February 28, 2023

The Existing Wastewater Infrastructure Use Agreement is an arrangement that collects financial contributions based on development built out flows for available capacity in the existing wastewater transmission infrastructure previously funded by the County while at the same time eliminating the granting of "oversizing" credits.

The Engineering Department requests approval of an agreement for the existing wastewater infrastructure use with **Double H Development, LLC** for the **Plover Point** project in the **Oak Orchard Area**. Such an arrangement does not modify the underlying land use decision in any form. However, it allows the wastewater originating from the approved project to be conveyed through the existing transmission system previously constructed by the County.

Under the proposed arrangement, the **Plover Point** project will connect to the existing County owned wastewater infrastructure. In return for utilization of said **Double H Development, LLC** will contribute **\$114,888.00** in (2) installments for the financial catch-up contribution of the existing infrastructure to serve **152.00** Equivalent Dwelling Units. Payment of the contribution will be required prior to substantial completion of on-site collection system. System Connection Charges in place at the time of building permit request will still apply.



EXISTING WASTEWATER INFRASTRUCTURE USE AGREEMENT

PLOVER POINT – IUA407-1 REVISED

THIS AGREEMENT (“Agreement”), made this _____ day of _____ 2023, by and between:

SUSSEX COUNTY, a political subdivision of the State of Delaware, hereinafter called the “County,” and;

DOUBLE H DEVELOPMENT, LLC a Delaware Limited Liability Company and developer of a project known as Plover Point, hereinafter called the “Developer.”

WITNESSETH:

WHEREAS, Developer is developing several tracts of land identified as Tax Map parcels 234-34.00-97.00 to be known as Plover Point (“Project”) and;

WHEREAS, the Project is within the boundary of the Sussex County Unified Sanitary Sewer District (Oak Orchard Area) and;

WHEREAS, the Project will utilize available capacity in existing wastewater infrastructure previously funded by Sussex County.

NOW THEREFORE, in consideration of the mutual covenants and conditions contained herein, which is hereby acknowledged by both parties as sufficient consideration, the parties hereby agree as follows:

- (1) Developer is proposing to utilize County’s existing collection and transmission capacity by connecting to existing regional infrastructure used by multiple pump stations.
- (2) In exchange for permission to connect up to **152.00** additional equivalent dwelling units to County’s existing system and to utilize the existing capacity in said system, Developer agrees to financial catch-up contribution in the amount of **\$114,888.00** for said existing facilities.
- (3) The contribution amount in the case of multiple pump stations using an existing collection and transmission system is based on the ratio of average flow capacity utilization of said transmission facilities.
- (4) **50% of the payment of the contribution must be submitted prior to receiving substantial completion of the on-site collection system for Phase 1 (\$57,444.00) and the balance due prior to receiving substantial completion of the on-site collection system for Phase 2 (\$57,444.00).**

- (5) If the Project (as currently submitted) is amended and County determines in its sole discretion that such amendments materially affect this Agreement, this Agreement may be declared by County to be null and void, and any unused payments made pursuant to this Agreement shall be returned to Developer, unless the parties otherwise agree. Nothing herein shall prevent the parties from the negotiation of a new agreement with respect to the amended Project, as the parties may deem appropriate.
- (6) The contribution is to be placed in County's sewer capital fund and expended towards overall debt reduction or at such time when any transmission infrastructure in County's Unified Sanitary Sewer District requires capital improvements (See Chapter 110-96 of the Sussex County Code).
- (7) Developer shall be responsible for payment of any and all undiscounted system connection charges in accordance with and pursuant to the requirements of the *Sussex County Code* for all lots, due at such time the Developer receives the sewer connection permit.
- (8) Developer shall comply in all aspects with the *Sussex County Code* and any other local, state, county, or federal laws, regulations, or policies that may be applicable and as such may be hereinafter amended.
- (9) Prior to the commencement of construction of any sanitary sewer facilities for the Project, Developer shall obtain a project construction permit from the County in accordance with and pursuant to the requirements of the *Sussex County Code*.
- (10) In order to allow the opportunity for a County representative to be present as the County so chooses, Developer shall send written notice to County of the date upon which connection to the County regional transmission system will be made. Developer shall follow County's written or verbal instructions in making said connection to the County sanitary sewer system.
- (11) Developer may assign this Agreement in whole or in part to any entity controlled directly or indirectly by Developer or to any third party who purchases, leases or otherwise controls any portion of Developer's property without the consent of County. Developer, and any subsequent assignees or successors shall provide County at least ten (10) days' written notice of any such assignment. Any other assignments, transfers, or conveyances with respect to this Agreement are prohibited without prior written consent of County.
- (12) To the extent permitted by law, Developer shall indemnify and hold harmless County, and its appointed and elected officials, employees, licensees, and agents for any claims, losses, liabilities, suits, or damages, including but not limited to reasonable attorneys' fees, professional engineering fees, and any other costs of litigation, arising out of Developer's negligence in connection with its performance

of this Agreement, including but not limited to damage to the County's infrastructure in making connection to County's regional transmission system. The obligations of this Paragraph shall survive the termination of this Agreement.

- (13) All the terms, covenants, and conditions of this Agreement shall in all respects be governed and construed under and pursuant to the Laws of the State of Delaware without respect to its conflict of law provisions. This Agreement may only be amended, supplemented or modified by a subsequent written agreement executed by all the parties hereto.
- (14) This Agreement and exhibits constitute the final, entire and exclusive agreement between the parties with respect to the subject matter of all matters discussed in it and supersedes all prior or contemporaneous discussions, statements, representations, warranties or agreements, whether written or oral, made in connection with the Agreement described herein.
- (15) It is mutually agreed between the parties that no review, approval, acceptance, and/or payment made under this Agreement shall be conclusive evidence of the performance of the Agreement, either wholly or in part, and that no review, approval, acceptance, and/or payment shall be construed as acceptance of defective work by County, nor in any way relieve Developer of its responsibility for the adequacy of its work.
- (16) The waiver by any party hereto of a breach of any provision of this Agreement shall not operate or be construed as a waiver of any subsequent breach. Neither party shall be deemed to have waived any rights under this Agreement unless such waiver is expressly given in writing and signed by the waiving party. No delay or omission on the part of either party in exercising any right shall operate as a waiver of such right or any other right.
- (17) This Agreement shall be executed in duplicate, any copy of which shall be considered and construed as and for the original.
- (18) If any provision of this Agreement shall be deemed invalid or unenforceable for any reason whatsoever, then such invalidity or unenforceability shall not render invalid or unenforceable any of the other provisions of this Agreement which may be given effect without such invalid or unenforceable provision, and to this end, the provisions of this Agreement are hereby deemed to be severable.
- (19) Any notice required to be delivered to or by either party under this Agreement shall be sent by U.S. first class mail. For purposes of this provision, the address of the County is 2 The Circle, P.O. Box 589, Georgetown, Delaware, 19947, and the address of the Developer is **28107 Beaver Dam Road, Laurel Delaware 19956.**

IN WITNESS, WHEREOF, the respective parties hereto have affixed their hands and seals the day and year aforesaid.

FOR THE COUNTY:

{Seal}

By: _____
(President - Sussex County Council)

_____ (DATE)

ATTEST:

Tracy Torbert
Clerk of the County Council

FOR DOUBLE H DEVELOPMENT, LLC

By: Robert E Horsey (Seal)
Robert E. Horsey - Authorized Signatory

Feb 14, 2023 (DATE)

WITNESS: Elizabeth H. Severt

ENGINEERING DEPARTMENT

ADMINISTRATION	(302) 855-7718
AIRPORT & INDUSTRIAL PARK	(302) 855-7774
ENVIRONMENTAL SERVICES	(302) 855-7730
PUBLIC WORKS	(302) 855-7703
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Sussex County

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HANS M. MEDLARZ, P.E.
COUNTY ENGINEER

JOHN J. ASHMAN
DIRECTOR OF UTILITY PLANNING

Memorandum

TO: Sussex County Council
The Honorable Michael H. Vincent, President
The Honorable John L. Rieley, Vice President
The Honorable Cynthia C. Green
The Honorable Douglas B. Hudson
The Honorable Mark G. Schaeffer

FROM: John J. Ashman
Director of Utility Planning & Design Review

RE: *Existing Wastewater Infrastructure Use Agreement
Estuary Phase 5 (Zinszer) IUA 113
File: OM 9.01*

DATE: February 28, 2023

The Existing Wastewater Infrastructure Use Agreement is an arrangement that collects financial contributions based on development built out flows for available capacity in the existing wastewater transmission infrastructure previously funded by the County while at the same time eliminating the granting of "oversizing" credits.

The Engineering Department requests approval of an agreement for the existing wastewater infrastructure use with **Estuary Development, LLC** for the **Estuary Phase 5** project in the **Miller Creek Area**. Such an arrangement does not modify the underlying land use decision in any form. However, it allows the wastewater originating from the approved project to be conveyed through the existing transmission system previously constructed by the County.

Under the proposed arrangement, the **Estuary Phase 5** project will connect to the existing County owned wastewater infrastructure. In return for utilization of said **Estuary Development, LLC** will contribute **\$18,093.00** for the financial catch-up contribution of the existing infrastructure to serve **34.00** Equivalent Dwelling Units. Payment of the contribution will be required prior to substantial completion of on-site collection system. System Connection Charges in place at the time of building permit request will still apply.



USE OF EXISTING INFRASTRUCTURE AGREEMENT

Estuary Phase 5 (Zinzer Property) IUA 113

THIS AGREEMENT (“Agreement”), made this 13 day of February 2023, by and between:

SUSSEX COUNTY, a political subdivision of the State of Delaware, hereinafter called the “County,” and;

ESTUARY DEVELOPMENT, LLC, a Limited Liability Corporation and developer of a project known as **Zinzer Property**, hereinafter called the “Developer.”

WITNESSETH:

WHEREAS, Developer is developing a tract of land identified as Tax Map parcel 134-19.00-105.00 to be known as **Estuary Phase 5 (Zinzer Property)** (“Project”) and;

WHEREAS, the Project is within the boundary of the Sussex County Unified Sanitary Sewer District (Miller Creek Area) and;

WHEREAS, the Project will utilize available capacity in existing wastewater infrastructure previously funded by Sussex County.

NOW THEREFORE, in consideration of the mutual covenants and conditions contained herein, which is hereby acknowledged by both parties as sufficient consideration, the parties hereby agree as follows:

- (1) Developer is proposing to utilize County’s existing collection and transmission capacity by connecting to existing regional infrastructure used by multiple pump stations.
- (2) In exchange for permission to connect up to **34.00** additional equivalent dwelling units to County’s existing system and to utilize the existing capacity in said system, Developer agrees to financial catch-up contribution in the amount of **\$18,093.00** for said existing facilities.
- (3) The contribution amount in the case of multiple pump stations using an existing collection and transmission system is based on the ratio of average flow capacity utilization of said transmission facilities.
- (4) **Payment of the contribution must be submitted at execution of this agreement.**
- (5) If the Project (as currently submitted) is amended and County determines in its sole discretion that such amendments materially affect this Agreement, this Agreement may be declared by County to be null and void, and any unused payments made pursuant to this Agreement shall be returned to Developer, unless the parties

otherwise agree. Nothing herein shall prevent the parties from the negotiation of a new agreement with respect to the amended Project, as the parties may deem appropriate.

- (6) The contribution is to be placed in County's sewer capital fund and expended towards overall debt reduction or at such time when any transmission infrastructure in County's Unified Sanitary Sewer District requires capital improvements (See Chapter 110-96 of the Sussex County Code).
- (7) Developer shall be responsible for payment of any and all undiscounted system connection charges in accordance with and pursuant to the requirements of the *Sussex County Code* for all lots, due at such time the Developer receives the sewer connection permit.
- (8) Developer shall comply in all aspects with the *Sussex County Code* and any other local, state, county, or federal laws, regulations, or policies that may be applicable and as such may be hereinafter amended.
- (9) Prior to the commencement of construction of any sanitary sewer facilities for the Project, Developer shall obtain a project construction permit from the County in accordance with and pursuant to the requirements of the *Sussex County Code*.
- (10) In order to allow the opportunity for a County representative to be present as the County so chooses, Developer shall send written notice to County of the date upon which connection to the County regional transmission system will be made. Developer shall follow County's written or verbal instructions in making said connection to the County sanitary sewer system.
- (11) Developer may assign this Agreement in whole or in part to any entity controlled directly or indirectly by Developer or to any third party who purchases, leases or otherwise controls any portion of Developer's property without the consent of County. Developer, and any subsequent assignees or successors shall provide County at least ten (10) days' written notice of any such assignment. Any other assignments, transfers, or conveyances with respect to this Agreement are prohibited without prior written consent of County.
- (12) To the extent permitted by law, Developer shall indemnify and hold harmless County, and its appointed and elected officials, employees, licensees, and agents for any claims, losses, liabilities, suits, or damages, including but not limited to reasonable attorneys' fees, professional engineering fees, and any other costs of litigation, arising out of Developer's negligence in connection with its performance of this Agreement, including but not limited to damage to the County's infrastructure in making connection to County's regional transmission system. The obligations of this Paragraph shall survive the termination of this Agreement.

- (13) All the terms, covenants, and conditions of this Agreement shall in all respects be governed and construed under and pursuant to the Laws of the State of Delaware without respect to its conflict of law provisions. This Agreement may only be amended, supplemented or modified by a subsequent written agreement executed by all the parties hereto.
- (14) This Agreement and exhibits constitute the final, entire and exclusive agreement between the parties with respect to the subject matter of all matters discussed in it and supersedes all prior or contemporaneous discussions, statements, representations, warranties or agreements, whether written or oral, made in connection with the Agreement described herein.
- (15) It is mutually agreed between the parties that no review, approval, acceptance, and/or payment made under this Agreement shall be conclusive evidence of the performance of the Agreement, either wholly or in part, and that no review, approval, acceptance, and/or payment shall be construed as acceptance of defective work by County, nor in any way relieve Developer of its responsibility for the adequacy of its work.
- (16) The waiver by any party hereto of a breach of any provision of this Agreement shall not operate or be construed as a waiver of any subsequent breach. Neither party shall be deemed to have waived any rights under this Agreement unless such waiver is expressly given in writing and signed by the waiving party. No delay or omission on the part of either party in exercising any right shall operate as a waiver of such right or any other right.
- (17) This Agreement shall be executed in duplicate, any copy of which shall be considered and construed as and for the original.
- (18) If any provision of this Agreement shall be deemed invalid or unenforceable for any reason whatsoever, then such invalidity or unenforceability shall not render invalid or unenforceable any of the other provisions of this Agreement which may be given effect without such invalid or unenforceable provision, and to this end, the provisions of this Agreement are hereby deemed to be severable.
- (19) Any notice required to be delivered to or by either party under this Agreement shall be sent by U.S. first class mail. For purposes of this provision, the address of the County is 2 The Circle, P.O. Box 589, Georgetown, Delaware, 19947, and the address of the Developer is **6726 Curran St. McLean VA 22102.**

IN WITNESS, WHEREOF, the respective parties hereto have affixed their hands and seals the day and year aforesaid.

FOR THE COUNTY:

{Seal}

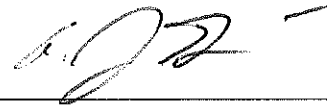
By: _____
(President - Sussex County Council)

_____ (DATE)

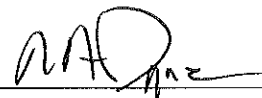
ATTEST:

Tracy Torbert
Clerk of the County Council

FOR ESTUARY DEVELOPMENT, LLC

By:  _____ (Seal)
John Galiani

2/13/2023 (DATE)

WITNESS:  _____

ENGINEERING DEPARTMENT

ADMINISTRATION	(302) 855-7718
AIRPORT & INDUSTRIAL PARK	(302) 855-7774
ENVIRONMENTAL SERVICES	(302) 855-7730
PUBLIC WORKS	(302) 855-7703
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Sussex County


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HANS M. MEDLARZ, P.E.
COUNTY ENGINEER

JOHN J. ASHMAN
DIRECTOR OF UTILITY PLANNING

Memorandum

TO: Sussex County Council
The Honorable Michael H. Vincent, President
The Honorable John L. Rieley, Vice President
The Honorable Cynthia C. Green
The Honorable Douglas B. Hudson
The Honorable Mark G. Schaeffer

FROM: John J. Ashman 
Director of Utility Planning & Design Review

RE: *Existing Wastewater Infrastructure Use Agreement*
Patriot's Glen IUA 1109
File: OM 9.01

DATE: February 28, 2023

The Existing Wastewater Infrastructure Use Agreement is an arrangement that collects financial contributions based on development built out flows for available capacity in the existing wastewater transmission infrastructure previously funded by the County while at the same time eliminating the granting of "oversizing" credits.

The Engineering Department requests approval of an agreement for the existing wastewater infrastructure use with **TSK Land Group, LLC** for the **Patriot's Glen** project in the **Oak Orchard Area**. Such an arrangement does not modify the underlying land use decision in any form. However, it allows the wastewater originating from the approved project to be conveyed through the existing transmission system previously constructed by the County.

Under the proposed arrangement, the **Patriot's Glen** project will connect to the existing County owned wastewater infrastructure. In return for utilization of said **TSK Land Group, LLC** will contribute **\$114,476.00** for the financial catch-up contribution of the existing infrastructure to serve **160.00** Equivalent Dwelling Units. Payment of the contribution will be required prior to substantial completion of on-site collection system. System Connection Charges in place at the time of building permit request will still apply.



EXISTING WASTEWATER INFRASTRUCTURE USE AGREEMENT

PATRIOT'S GLEN - IUA1109

THIS AGREEMENT ("Agreement"), made this _____ day of _____ 2023, by and between:

SUSSEX COUNTY, a political subdivision of the State of Delaware, hereinafter called the "County," and;

TSK LAND GROUP, LLC, a Delaware Limited Liability Company and developer of a project known as Patriot's Glen, hereinafter called the "Developer."

WITNESSETH:

WHEREAS, Developer is developing several tracts of land identified as Tax Map parcels 234-29.00-66.00, 66.01 & 66.02 to be known as Patriot's Glen ("Project") and;

WHEREAS, the Project is within the boundary of the Sussex County Unified Sanitary Sewer District (Oak Orchard Expansion #1 Area) and;

WHEREAS, the Project will utilize available capacity in existing wastewater infrastructure previously funded by Sussex County.

NOW THEREFORE, in consideration of the mutual covenants and conditions contained herein, which is hereby acknowledged by both parties as sufficient consideration, the parties hereby agree as follows:

- (1) Developer is proposing to utilize County's existing collection and transmission capacity by connecting to existing regional infrastructure used by multiple pump stations.
- (2) In exchange for permission to connect up to 160.00 additional equivalent dwelling units to County's existing system and to utilize the existing capacity in said system, Developer agrees to financial catch-up contribution in the amount of \$114,476.00 for said existing facilities.
- (3) The contribution amount in the case of multiple pump stations using an existing collection and transmission system is based on the ratio of average flow capacity utilization of said transmission facilities.
- (4) **Payment of the contribution must be submitted prior to receiving substantial completion of the on-site collection system.**
- (5) If the Project (as currently submitted) is amended and County determines in its sole discretion that such amendments materially affect this Agreement, this Agreement may be declared by County to be null and void, and any unused payments made

pursuant to this Agreement shall be returned to Developer, unless the parties otherwise agree. Nothing herein shall prevent the parties from the negotiation of a new agreement with respect to the amended Project, as the parties may deem appropriate.

- (6) The contribution is to be placed in County's sewer capital fund and expended towards overall debt reduction or at such time when any transmission infrastructure in County's Unified Sanitary Sewer District requires capital improvements (See Chapter 110-96 of the Sussex County Code).
- (7) Developer shall be responsible for payment of any and all undiscounted system connection charges in accordance with and pursuant to the requirements of the *Sussex County Code* for all lots, due at such time the Developer receives the sewer connection permit.
- (8) Developer shall comply in all aspects with the *Sussex County Code* and any other local, state, county, or federal laws, regulations, or policies that may be applicable and as such may be hereinafter amended.
- (9) Prior to the commencement of construction of any sanitary sewer facilities for the Project, Developer shall obtain a project construction permit from the County in accordance with and pursuant to the requirements of the *Sussex County Code*.
- (10) In order to allow the opportunity for a County representative to be present as the County so chooses, Developer shall send written notice to County of the date upon which connection to the County regional transmission system will be made. Developer shall follow County's written or verbal instructions in making said connection to the County sanitary sewer system.
- (11) Developer may assign this Agreement in whole or in part to any entity controlled directly or indirectly by Developer or to any third party who purchases, leases or otherwise controls any portion of Developer's property without the consent of County. Developer, and any subsequent assignees or successors shall provide County at least ten (10) days' written notice of any such assignment. Any other assignments, transfers, or conveyances with respect to this Agreement are prohibited without prior written consent of County.
- (12) To the extent permitted by law, Developer shall indemnify and hold harmless County, and its appointed and elected officials, employees, licensees, and agents for any claims, losses, liabilities, suits, or damages, including but not limited to reasonable attorneys' fees, professional engineering fees, and any other costs of litigation, arising out of Developer's negligence in connection with its performance of this Agreement, including but not limited to damage to the County's infrastructure in making connection to County's regional transmission system. The obligations of this Paragraph shall survive the termination of this Agreement.

- (13) All the terms, covenants, and conditions of this Agreement shall in all respects be governed and construed under and pursuant to the Laws of the State of Delaware without respect to its conflict of law provisions. This Agreement may only be amended, supplemented or modified by a subsequent written agreement executed by all the parties hereto.
- (14) This Agreement and exhibits constitute the final, entire and exclusive agreement between the parties with respect to the subject matter of all matters discussed in it and supersedes all prior or contemporaneous discussions, statements, representations, warranties or agreements, whether written or oral, made in connection with the Agreement described herein.
- (15) It is mutually agreed between the parties that no review, approval, acceptance, and/or payment made under this Agreement shall be conclusive evidence of the performance of the Agreement, either wholly or in part, and that no review, approval, acceptance, and/or payment shall be construed as acceptance of defective work by County, nor in any way relieve Developer of its responsibility for the adequacy of its work.
- (16) The waiver by any party hereto of a breach of any provision of this Agreement shall not operate or be construed as a waiver of any subsequent breach. Neither party shall be deemed to have waived any rights under this Agreement unless such waiver is expressly given in writing and signed by the waiving party. No delay or omission on the part of either party in exercising any right shall operate as a waiver of such right or any other right.
- (17) This Agreement shall be executed in duplicate, any copy of which shall be considered and construed as and for the original.
- (18) If any provision of this Agreement shall be deemed invalid or unenforceable for any reason whatsoever, then such invalidity or unenforceability shall not render invalid or unenforceable any of the other provisions of this Agreement which may be given effect without such invalid or unenforceable provision, and to this end, the provisions of this Agreement are hereby deemed to be severable.
- (19) Any notice required to be delivered to or by either party under this Agreement shall be sent by U.S. first class mail. For purposes of this provision, the address of the County is 2 The Circle, P.O. Box 589, Georgetown, Delaware, 19947, and the address of the Developer is **16054 S. Dupont Hwy, Harrington DE 19952.**

IN WITNESS, WHEREOF, the respective parties hereto have affixed their hands and seals the day and year aforesaid.

FOR THE COUNTY:

{Seal}


By: _____
(President - Sussex County Council)

_____ (DATE)

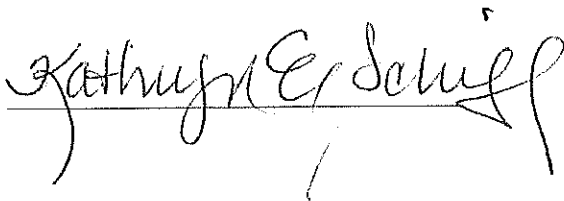
ATTEST:

Tracy Torbert
Clerk of the County Council

FOR TSK Land Group, LLC

By:  _____ (Seal)
T.J. Schiff - Authorized Signatory

2/21/2023 (DATE)

WITNESS: 

GINA A. JENNINGS, MBA, MPA
FINANCE DIRECTOR

(302) 855-7741 T
(302) 855-7749 F
gjennings@sussexcountyde.gov



Sussex County

DELAWARE
sussexcountyde.gov

Memorandum

TO: Sussex County Council
The Honorable Michael H. Vincent, President
The Honorable John L. Rieley, Vice President
The Honorable Cynthia C. Green
The Honorable Douglas B. Hudson
The Honorable Mark G. Schaeffer

FROM: Gina A. Jennings
Finance Director/COO

DATE: February 24, 2023

RE: **SUSSEX COUNTY PENSION UPDATE**

Attached you will find the quarterly pension report and the minutes of the February 2nd Pension Committee meeting. At the meeting, three items were discussed:

- Marquette Associates, the County's investment advisor, reviewed the County's investment performance
- Cheiron, the County's actuary, gave their annual actuarial report on the Pension and OPEB Funds; and
- the Pension Committee discussed changing the OPEB funding policy for determining the actuarial value of assets.

At Tuesday's meeting, I will give a brief update on the performance of our pension funds and discuss the annual actuary report. I will then request changing the OPEB funding policy for determining the actuarial value of assets. Attached is Tuesday's presentation for your review.

Please contact me if you have any questions or concerns.

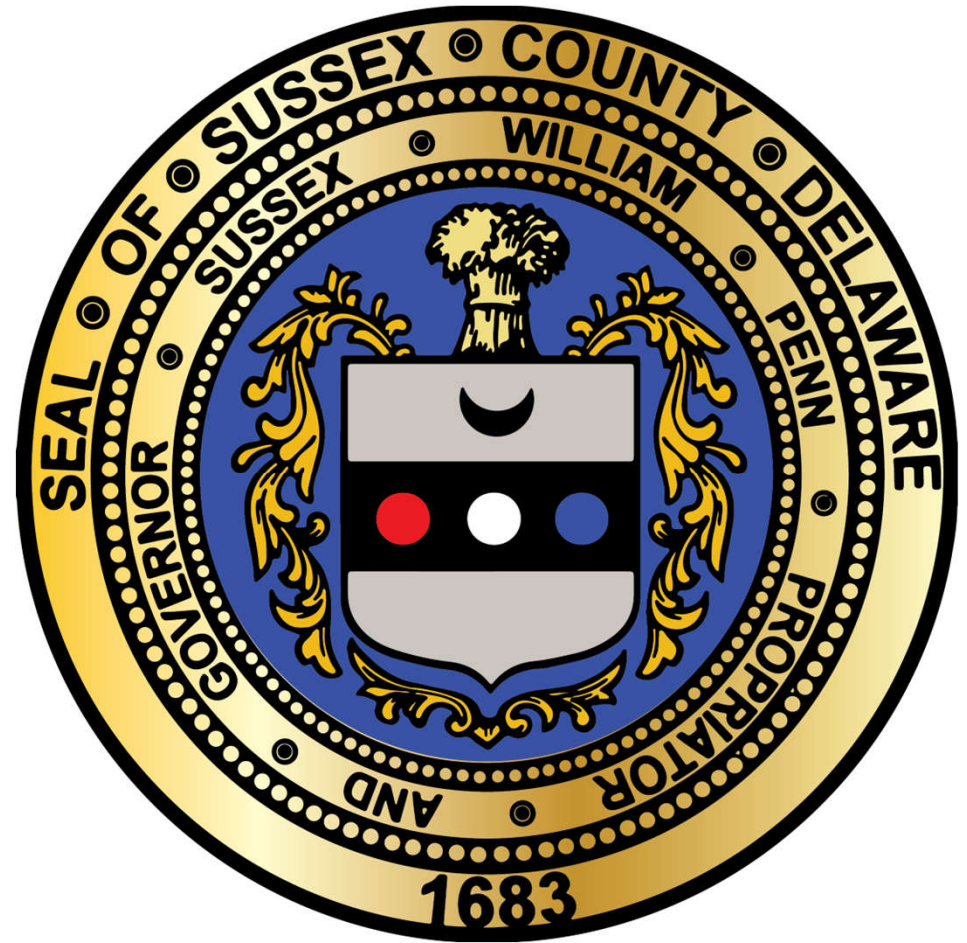
Attachments

pc: Mr. Todd F. Lawson



SUSSEX COUNTY PENSION UPDATE

FEBRUARY 28, 2023



TOPICS

- Investment Performance
- Actuarial Report
- Proposal to Change the Funding Policy of the Other Pension Employee Benefit (OPEB) Fund

PERFORMANCE

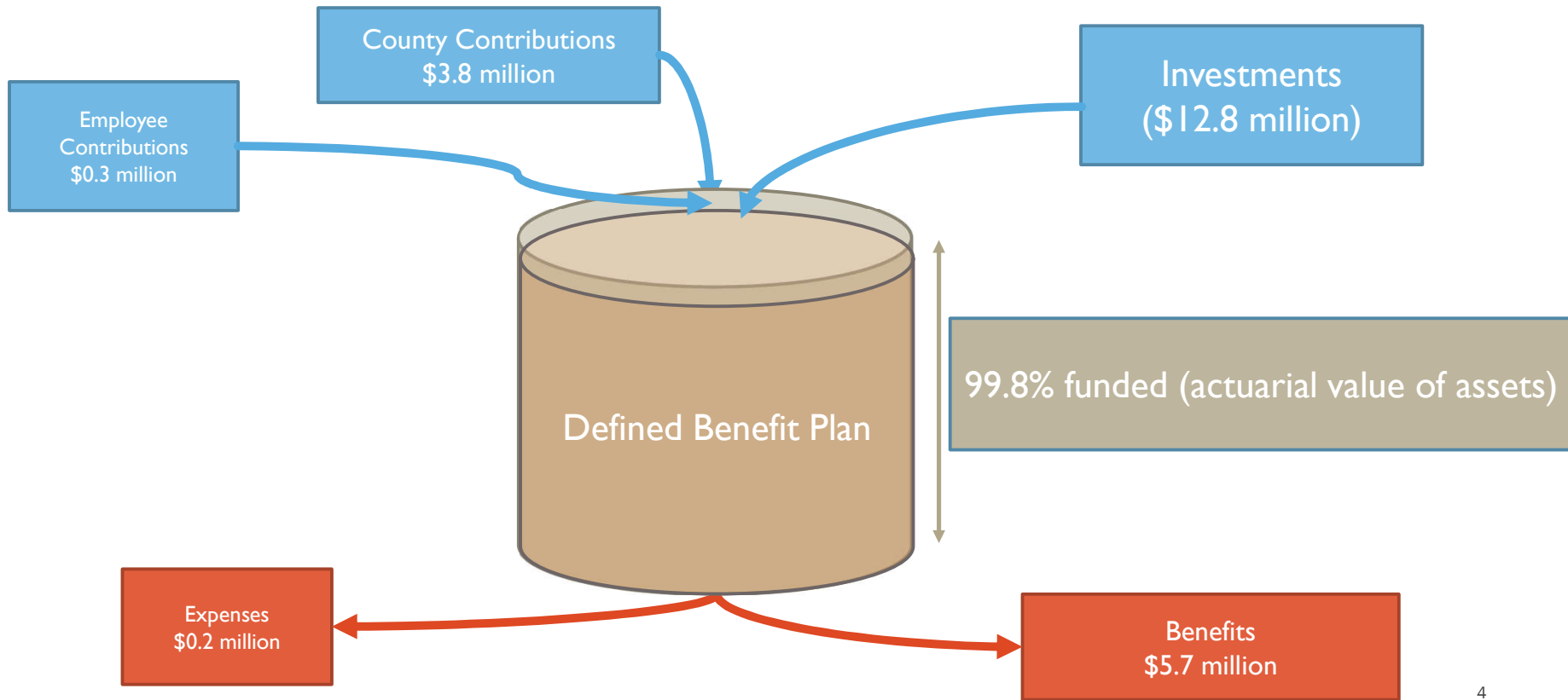
■ Pension Fund

- Market Value (12/31/22): \$138.3M
- Returns:
 - Fiscal Year to Date return (Thru 12/31/22): 1.3% (policy index (1.3%))
 - 2nd quarter of FY 23 return– 5.7% (policy index (5.8%))

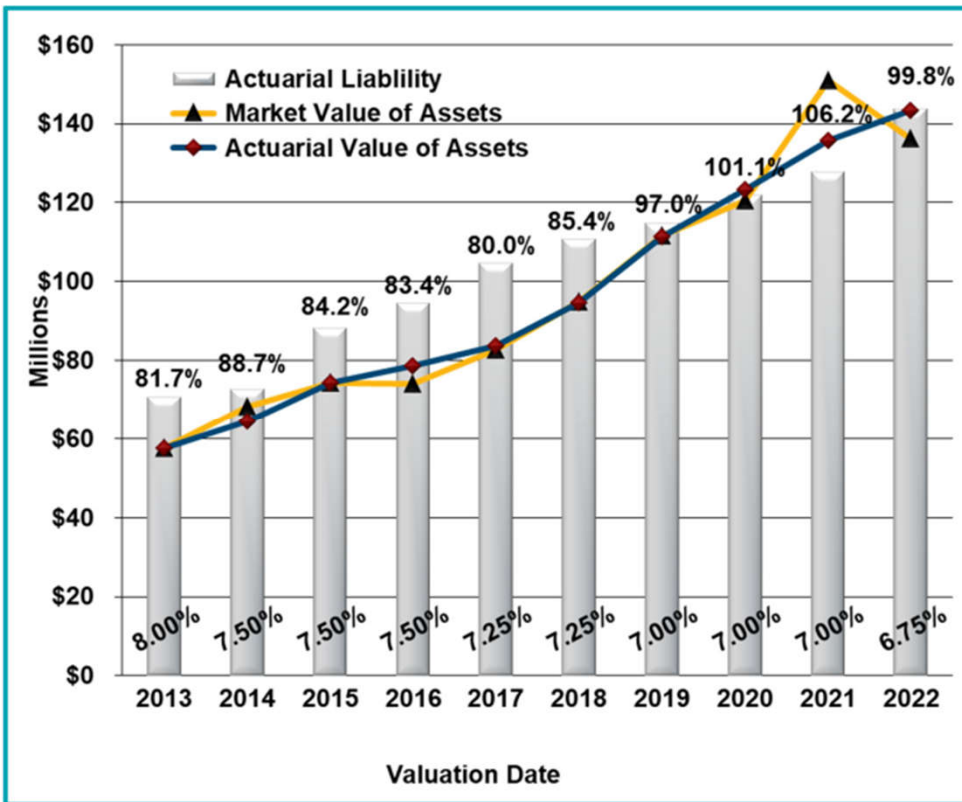
■ OPEB Fund

- Market Value (12/31/22): \$56.1M
- Returns:
 - Fiscal Year to Date return (Thru 12/31/22): 1.3% (policy index (1.3%))
 - 2nd quarter of FY 23 return– 5.7% (policy index (5.8%))

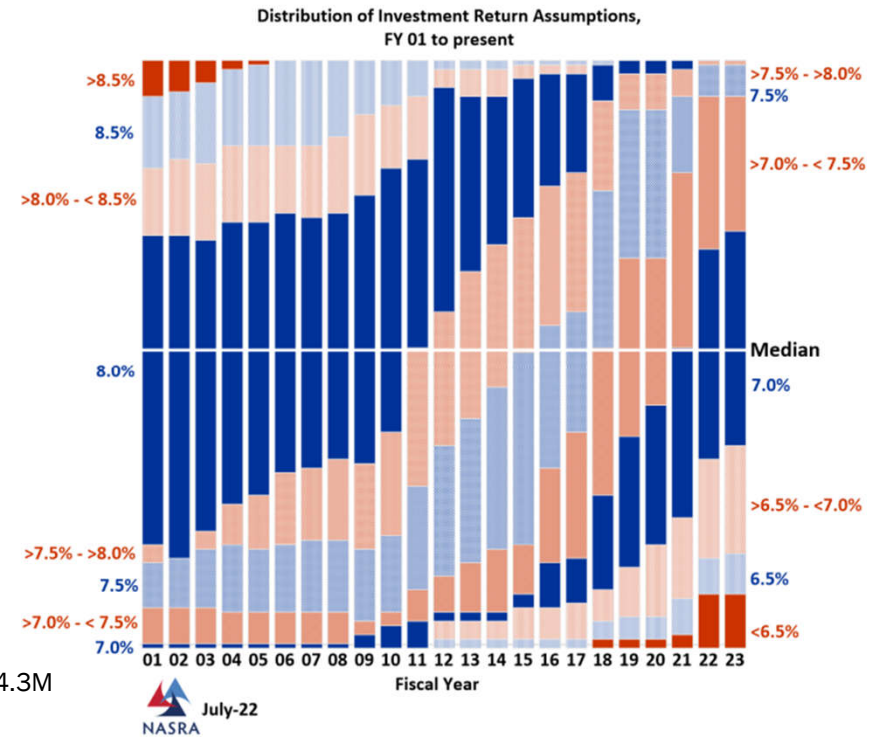
ACTUARIAL VALUATION PROCESS - PENSION



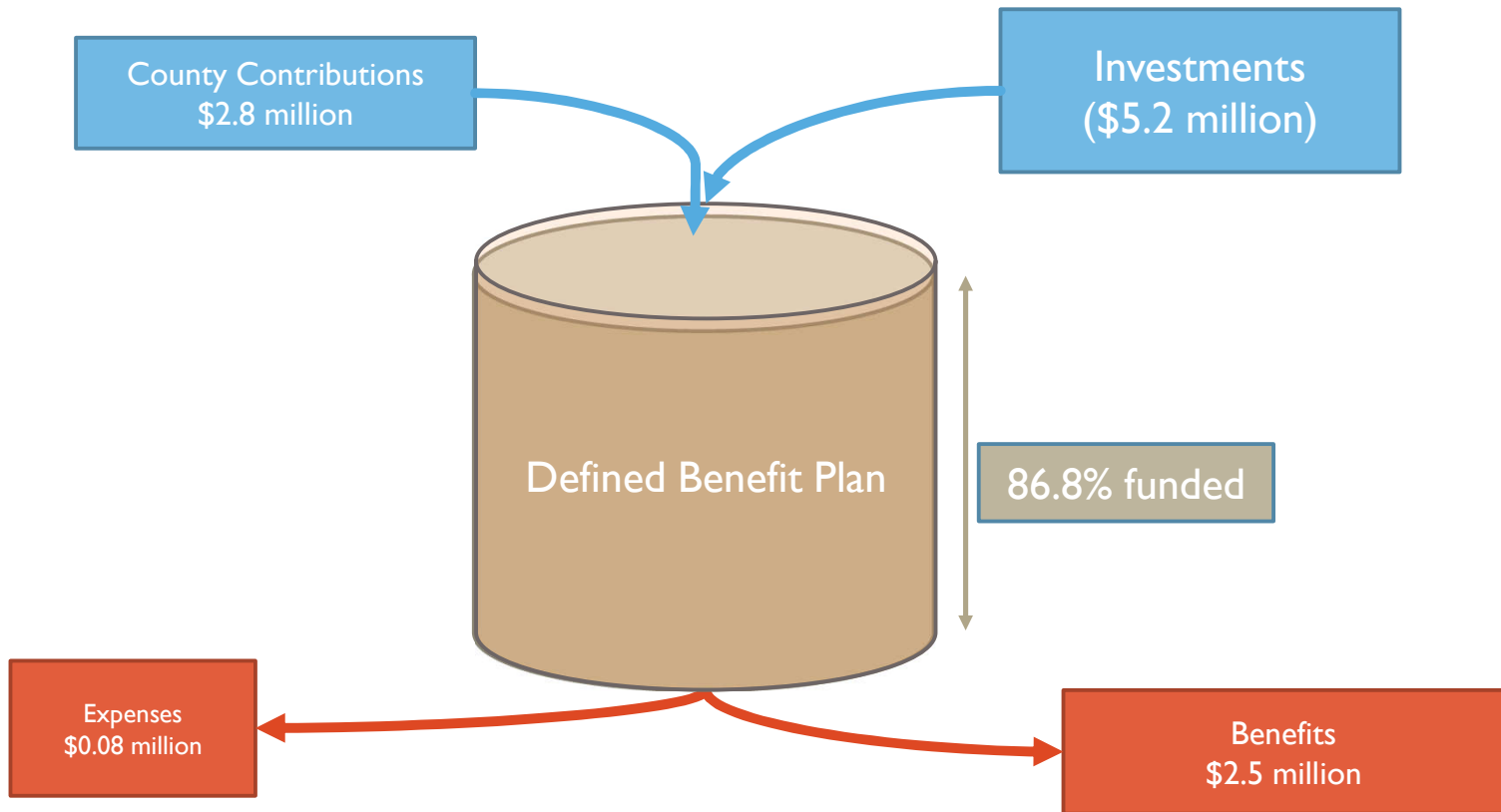
HISTORICAL TRENDS – ASSETS AND LIABILITIES



Liabilities increased \$4.3M
 Annual Contribution increased \$0.7M



ACTUARIAL VALUATION PROCESS - OPEB



OPEB – FUNDING POLICY

- Current: Assets in the OPEB fund are valued differently than the Pension fund. The pension fund takes in account fluctuations in investment returns (5-year smoothing)
- Recommendation Change: The OPEB funding policy is changed to match the Pension funding to avoid large fluctuations due to the market (budget stability)

Development of Actuarial Value of Assets (AVA)		
Market Value of Assets at June 30, 2021		\$ 60,494,601
Employer Contributions		2,766,223
Employee Contributions		0
Benefit Payments and Refunds		(2,531,838)
Administrative Expenses		<u>(81,712)</u>
Expected Return at 7.00%		4,239,875
Expected Value at June 30, 2022		\$ 64,887,149
Actual Value of Assets at June 30, 2022		<u>55,456,756</u>
Investment Gain/(Loss)		\$ (9,430,393)
	Total	Excluded
	Gain/(Loss)	Portion
Exclude 20% of 2019 Gain/(Loss)	\$ (196,274)	\$ (39,255)
Exclude 40% of 2020 Gain/(Loss)	(1,498,341)	(599,336)
Exclude 60% of 2021 Gain/(Loss)	8,997,204	5,398,322
Exclude 80% of 2022 Gain/(Loss)	(9,430,393)	<u>(7,544,314)</u>
Total Excluded Gain/(Loss) for AVA Calculation		\$ (2,784,583)
Market Value of Assets at June 30, 2022		<u>55,456,756</u>
Total Gain/(Loss) Excluded		<u>(2,784,583)</u>
Actuarial Value of Assets at June 30, 2022		\$ <u>58,241,339</u>

Increase funding ratio to 91% and decrease the required contribution by \$164,000

MOTION

Be it moved that the Sussex County Council, based on the recommendation from the Pension Committee, revise the OPEB Funding Policy to use a 5-year smoothing for the actuarial valuation of assets. The determination of the unfunded liability will be based on the difference of the entry age actuarial liability and the actuarial value of assets.



Sussex County, Delaware

Employee Pension Plan OPEB Plan

Quarterly Performance Report
as of December 31, 2022



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Market Environment..... I

Employee Pension Plan Portfolio Overview II

OPEB Plan Portfolio Overview III

Investment Managers IV

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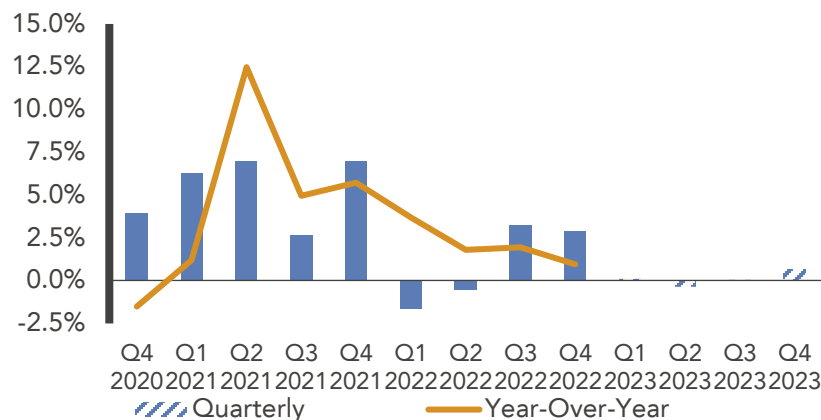
Market Environment



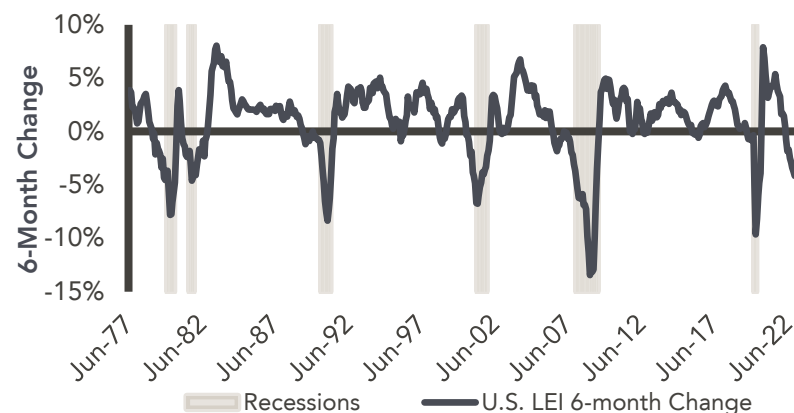
U.S. Economy

- U.S. real GDP grew by 2.9% in Q4. The headline number, however, appears to overstate the strength of the economy at the end of 2022.
- Real final sales to private domestic purchasers, which excludes net exports, inventories and government spending and is seen as a broad measure of U.S. economic demand, saw its lowest increase since the 2020 recession at just 0.2%.
- While economic growth was positive in both Q3 and Q4, following negative prints in Q1 and Q2, the economy appears to remain in a precarious position heading into 2023 based on leading economic indicators.
- Through December, The Conference Board's U.S. Leading Economic Indicators Index declined 4.2% over the previous six months largely due to weakness in manufacturing and housing indicators. A decline of this magnitude has consistently signaled a pending economic recession dating back to the mid-70s.

U.S. Real GDP Growth



U.S. Leading Economic Indicators and U.S. Recessions



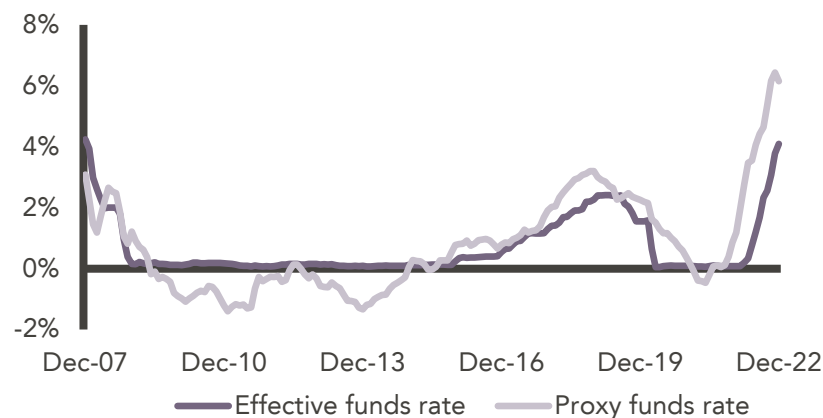
Source: Refinitiv, The Wall Street Journal

Note: In the "Real GDP Growth" chart, striped bars reflect economist estimates from *The Wall Street Journal Economic Forecasting Survey*.

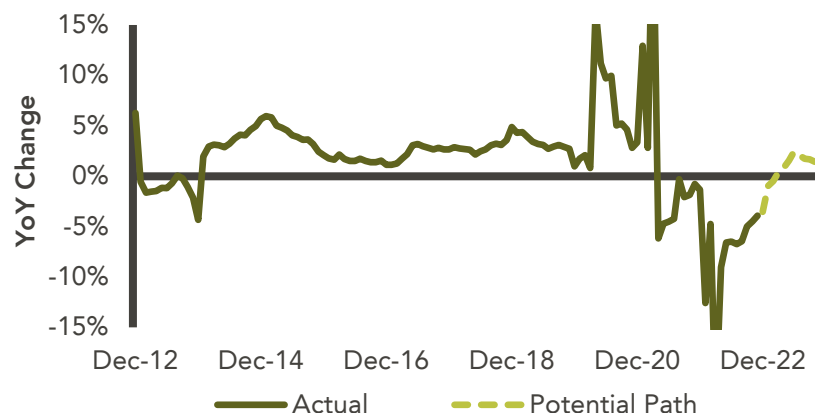
U.S. Economy

- Despite the uncertain economic outlook, the Federal Reserve continued to raise short-term rates in Q4, albeit at a slower pace in December, to bring down inflation via tighter monetary policy. Further, the central bank balance sheet continues to contract amid its quantitative tightening program.
- A recent paper by the Federal Reserve Bank of San Francisco argued that current monetary policy is much tighter than the Fed Funds Rate implies. Taking into account public and private borrowing rates and spreads to infer the broader stance of monetary policy, their analysis calculates a Fed Funds Proxy Rate at more than 6.1%, or 200 basis points higher than the actual rate.
- While inflation remains uncomfortably high on a year-over-year basis, recent monthly data have cooled meaningfully. If inflation is 3.1% in 2023, as the Federal Reserve forecasts and disposable income rises at its pre-pandemic trend, real disposable income may turn positive on a year-over-year basis in a few months, which should help support consumer spending in the back half of 2023.

Historical Fed Funds Rate vs. Fed Funds Proxy Rate



Real Disposable Income

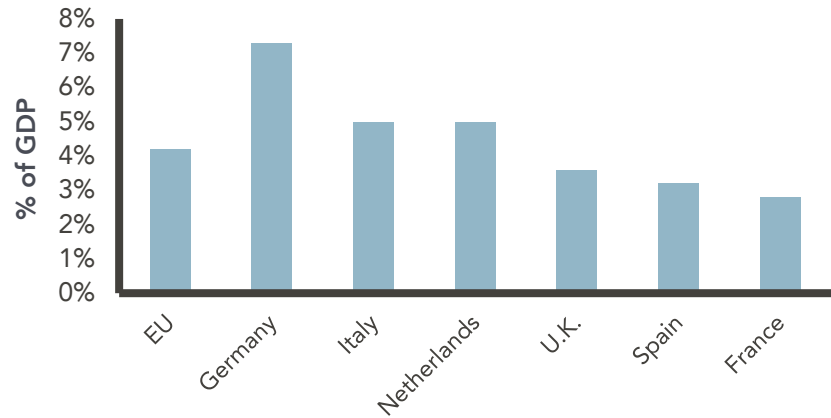


Source: Federal Reserve Bank of San Francisco, Refinitiv

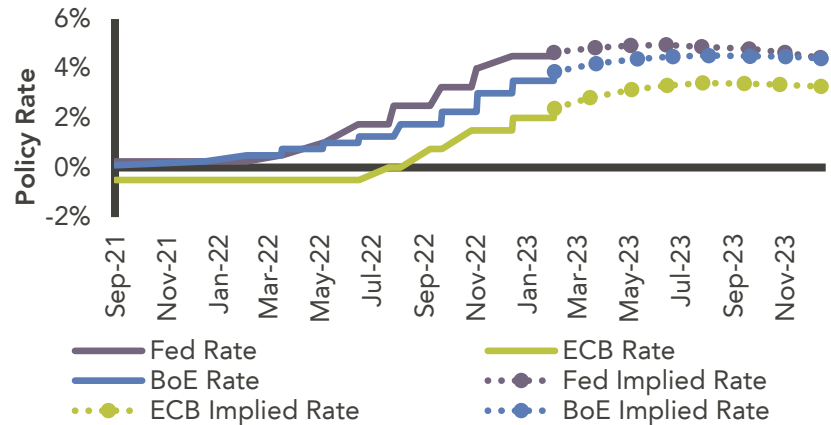
Global Economy

- The economic outlook in Europe has improved meaningfully amid mild winter weather and fiscal support to consumers to help offset rising energy costs.
- Similar to the Federal Reserve, the European Central Bank and the Bank of England are expected to continue raising short-term rates in the coming months in an effort to combat inflation.
- Outside of the U.S. and Europe, the key question for the global economy is how China's economic growth will unfold in the coming quarters amid the relaxation of its zero-COVID policy.
- While China reported stronger-than-expected economic data in Q4, there is growing evidence the country is experiencing a surge in COVID cases. This could have an impact on supply chains and demand in the short-term, while improving the intermediate- and long-term economic outlook as its population builds immunity to the virus.

Fiscal Support to Shield Households and Firms from Rising Energy Cost



Projected Rate Hikes in 2023

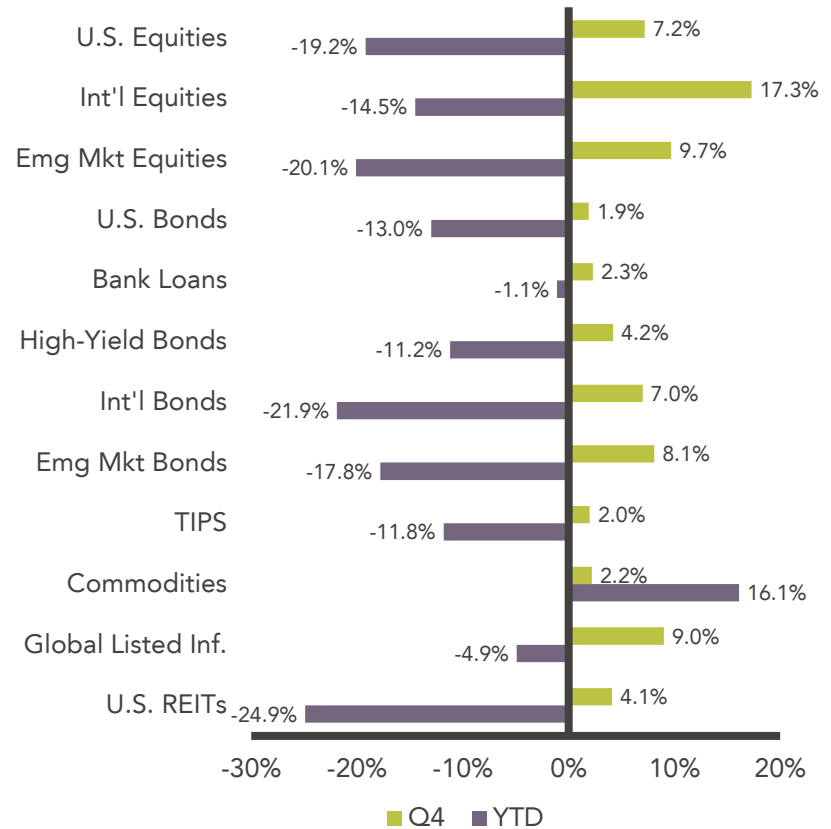


Source: KKR, Refinitiv

Global Asset Class Performance

- Global equities** reversed course in Q4, December notwithstanding, recouping some of the lost ground from the first nine months of 2022. U.S. equities underperformed their international developed and emerging market counterparts, with the former topping U.S. equities by more than ten percentage points. U.S. dollar weakness added to gains for unhedged U.S.-based investors, with the greenback contributing approximately 8.6 and 3.1 percentage points, respectively, to international developed and emerging markets returns.
- Fixed income** returns were also positive in Q4, with lower-rated bonds outperforming amid a strong environment for risk assets. High Yield outperformed Bank Loans during the quarter thanks to its longer duration.
- Inflation-sensitive assets** returns were also in the black. TIPS slightly outperformed nominal bonds, while commodities posted mild gains. REITs lagged the broad U.S. equity market in Q4. Finally, global listed infrastructure equities largely kept pace with global equities, ending the quarter less than one percentage point behind the broad global market.

Asset Class Returns: Select Asset Class Performance

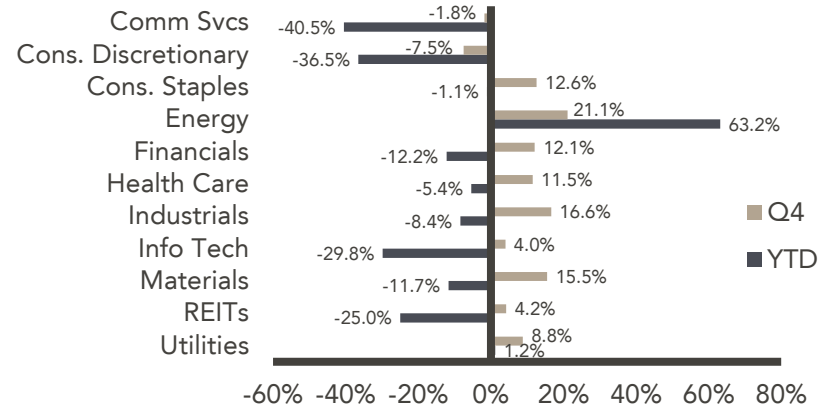


Source: Markov Processes International

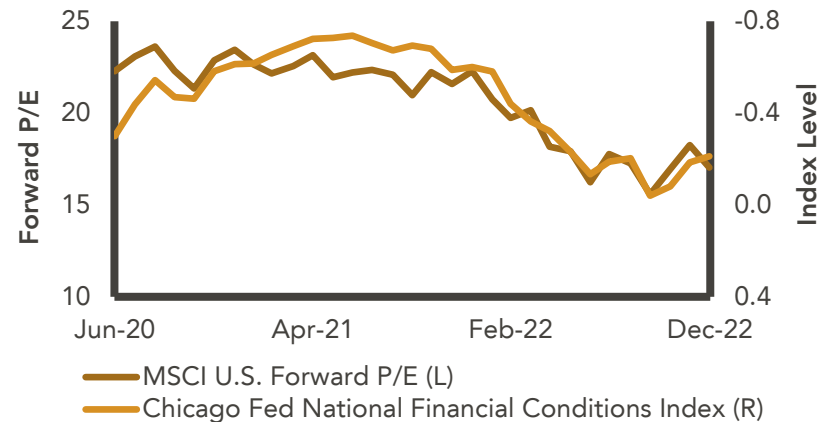
U.S. Equity Markets

- Most economic sectors posted positive returns for the quarter, with Communications Services and Consumer Discretionary the lone sectors in the red due to negative returns from mega-cap stocks Alphabet and Amazon, respectively. Energy continued to outperform in Q4, leaving its 2022 return at 63.2%, or more than 82 percentage points ahead of the broad market.
- Value stocks topped growth stocks during the quarter across the capitalization spectrum, with large-cap value the best-performing equity style. For the year, value stocks outperformed growth stocks by 21 percentage points (as measured by the Russell 3000 Value Index vs. the Russell 3000 Growth Index) amid rising interest rates and the underperformance of many mega-cap tech stocks.
- Financial conditions eased in Q4 after tightening rapidly in the first nine months of the year. The easing prompted an expansion in equity valuation multiples, which rose more than 9% (as measured by the Forward P/E ratio) and more than offset a difficult corporate earnings environment.

Sector Returns



Forward P/E vs. Financial Conditions



Source: Federal Reserve Bank of St. Louis, Markov Processes International, Refinitiv

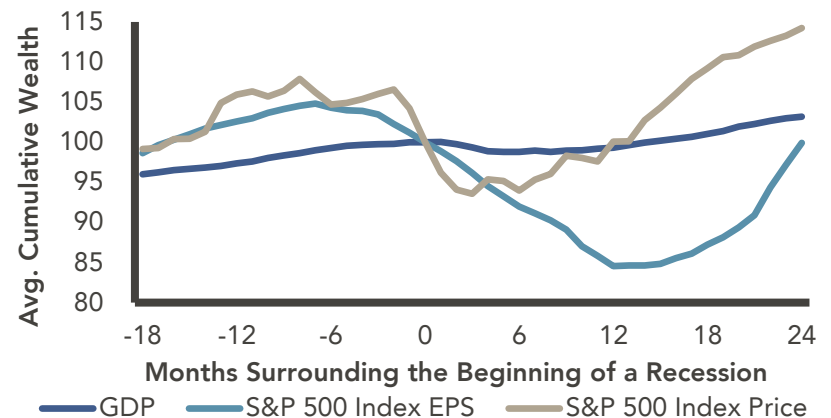
U.S. Equity Markets

- While rising rates in 2022 appear to have driven equity market weakness, it's not clear that the market has priced in the potential effects of tighter monetary policy on corporate fundamentals.
- If the economy does enter a recession, earnings are likely to come under pressure. According to FactSet, the median earnings contraction coinciding with a recession is nearly 19% based on data from the last 10 economic recessions.
- Importantly, the timing of any recession may impact equity performance in 2023. Based on the 11 economic recessions since 1950, equities, on average, tend to peak approximately 9 months before the beginning of a recession and find a bottom, on average, about 3 months after a recession begins.
- In other words, if an eventual recession does unfold in 2023, equities may continue to trend higher in the near term if any recession begins towards the end of the year. Using history as a guide, if the economic downturn occurs earlier, equity volatility may return in short order.

Earnings Contractions Amid Economic Recessions

Peak Month	Trough Month	Months of Contraction	Quarters of EPS Decline	EPS Change
Aug 1957	Apr 1958	8	4	-17.0%
Apr 1960	Feb 1961	10	7	-11.7%
Dec 1969	Nov 1970	11	5	-12.9%
Nov 1973	Mar 1975	16	4	-14.8%
Jan 1980	Jul 1980	6	4	-4.6%
Jul 1981	Nov 1982	16	4	-19.1%
Jul 1990	Mar 1991	8	5	-36.7%
Mar 2001	Nov 2001	8	5	-54.0%
Dec 2007	Jun 2009	18	7	-91.9%
Feb 2020	Apr 2020	2	4	-32.5%
Average				-29.5%
Median				-18.7%

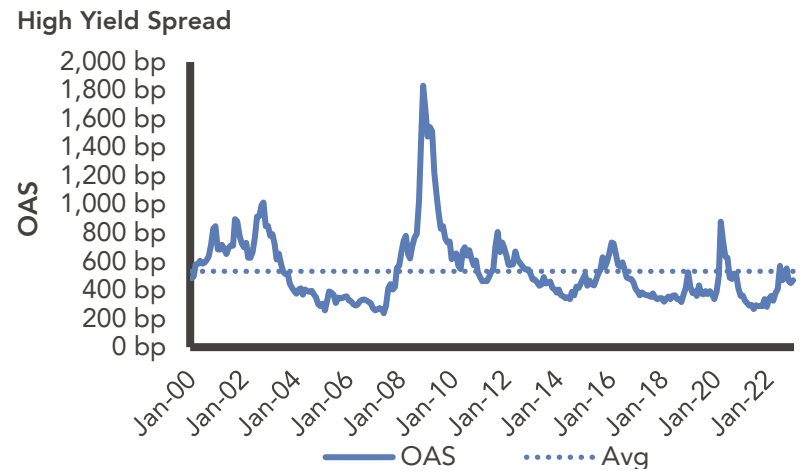
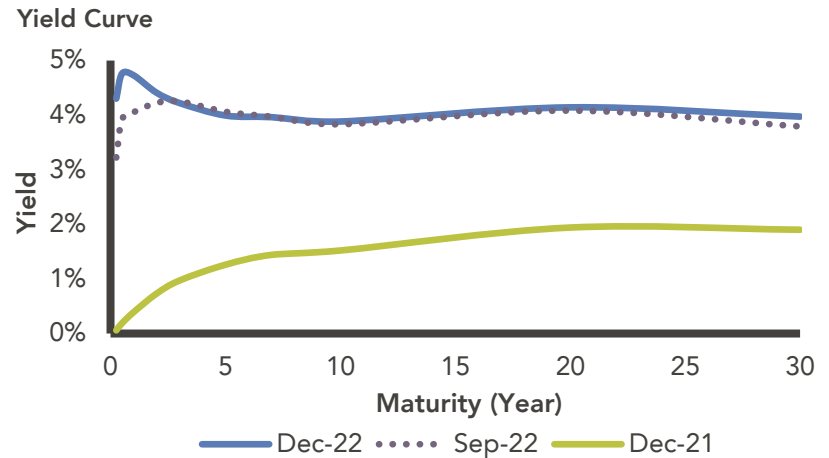
Average Growth of GDP, EPS, and Stock Prices Around Recessions



Source: FactSet, Refinitiv

U.S. Fixed Income

- Interest rates continued to rise on the short end of the Treasury curve in Q4, though intermediate- and long-term rates were relatively stable. This dynamic led to deeper inversions in various segments across the curve amid the prospects of tighter monetary policy and economic uncertainty.
- The bond market posted a positive return in Q4 for the first time in 2022, with the Bloomberg Aggregate Bond Index returning 1.9%. Year-to-date, however, the index posted a return of -13.0%, making 2022 its worst calendar year since the inception of the index in the mid-1970s.
- Sub-investment grade debt outperformed their investment-grade counterparts. High Yield outperformed amid tightening spreads and its longer duration compared to Bank Loans. The latter lagged High Yield due to their floating-rate characteristics.



Source: Refinitiv

Global Index Returns

DOMESTIC EQUITY	QTR	YTD	1 Year	3 Year	5 Year	10 Year
S&P 500 Index	7.6	(18.1)	(18.1)	7.7	9.4	12.6
Russell 3000 Index	7.2	(19.2)	(19.2)	7.1	8.8	12.1
Russell 3000 Growth Index	2.3	(29.0)	(29.0)	7.3	10.4	13.8
Russell 3000 Value Index	12.2	(8.0)	(8.0)	5.9	6.5	10.2
Russell TOP 200 Index	6.6	(19.8)	(19.8)	7.9	9.9	12.9
Russell TOP 200 Growth Index	1.1	(29.7)	(29.7)	8.7	11.8	14.9
Russell TOP 200 Value Index	13.4	(5.1)	(5.1)	6.0	7.1	10.4
Russell 1000 Index	7.2	(19.1)	(19.1)	7.3	9.1	12.4
Russell 1000 Growth Index	2.2	(29.1)	(29.1)	7.8	11.0	14.1
Russell 1000 Value Index	12.4	(7.5)	(7.5)	6.0	6.7	10.3
Russell Mid-Cap Index	9.2	(17.3)	(17.3)	5.9	7.1	11.0
Russell Mid-Cap Growth Index	6.9	(26.7)	(26.7)	3.9	7.6	11.4
Russell Mid-Cap Value Index	10.5	(12.0)	(12.0)	5.8	5.7	10.1
Russell 2000 Index	6.2	(20.4)	(20.4)	3.1	4.1	9.0
Russell 2000 Growth Index	4.1	(26.4)	(26.4)	0.6	3.5	9.2
Russell 2000 Value Index	8.4	(14.5)	(14.5)	4.7	4.1	8.5
DOMESTIC EQUITY BY SECTOR (MSCI)						
Communication Services	(1.8)	(40.5)	(40.5)	(3.8)	2.1	5.1
Consumer Discretionary	(7.5)	(36.5)	(36.5)	4.7	7.8	12.3
Consumer Staples	12.6	(1.1)	(1.1)	9.0	8.6	10.9
Energy	21.1	63.2	63.2	19.5	8.4	5.0
Financials	12.1	(12.2)	(12.2)	5.2	5.9	11.7
Health Care	11.5	(5.4)	(5.4)	10.5	11.7	14.8
Industrials	16.6	(8.4)	(8.4)	7.6	6.9	11.8
Information Technology	4.0	(29.8)	(29.8)	10.2	14.8	17.6
Materials	15.5	(11.7)	(11.7)	10.4	6.6	9.4
Real Estate	4.2	(25.0)	(25.0)	0.3	4.5	7.0
Utilities	8.8	1.2	1.2	5.7	9.1	11.0

Source: Markov Processes International

Global Index Returns

INTERNATIONAL/GLOBAL EQUITY	QTR	YTD	1 Year	3 Year	5 Year	10 Year
MSCI EAFE (Net)	17.3	(14.5)	(14.5)	0.9	1.5	4.7
MSCI EAFE Growth (Net)	15.0	(22.9)	(22.9)	0.5	2.5	5.6
MSCI EAFE Value (Net)	19.6	(5.6)	(5.6)	0.6	0.2	3.5
MSCI EAFE Small Cap (Net)	15.8	(21.4)	(21.4)	(0.9)	0.0	6.2
MSCI AC World Index (Net)	9.8	(18.4)	(18.4)	4.0	5.2	8.0
MSCI AC World Index Growth (Net)	5.3	(28.6)	(28.6)	3.8	6.4	9.2
MSCI AC World Index Value (Net)	14.2	(7.5)	(7.5)	3.3	3.5	6.4
MSCI Europe ex UK (Net)	20.1	(18.0)	(18.0)	1.7	2.2	5.2
MSCI United Kingdom (Net)	17.0	(4.8)	(4.8)	0.3	1.0	3.1
MSCI Pacific ex Japan (Net)	15.7	(5.9)	(5.9)	1.6	2.2	3.8
MSCI Japan (Net)	13.2	(16.6)	(16.6)	(1.0)	0.2	5.6
MSCI Emerging Markets (Net)	9.7	(20.1)	(20.1)	(2.7)	(1.4)	1.4

Source: Markov Processes International

Global Index Returns

FIXED INCOME	QTR	YTD	1 Year	3 Year	5 Year	10 Year
Merrill Lynch 3-month T-Bill	0.8	1.5	1.5	0.7	1.3	0.8
Barclays Intermediate Gov't./Credit	1.5	(8.2)	(8.2)	(1.3)	0.7	1.1
Barclays Aggregate Bond	1.9	(13.0)	(13.0)	(2.7)	0.0	1.1
Barclays Short Government	0.7	(1.3)	(1.3)	0.1	1.1	0.7
Barclays Intermediate Government	1.0	(7.7)	(7.7)	(1.4)	0.5	0.7
Barclays Long Government	(0.6)	(29.2)	(29.2)	(7.4)	(2.2)	0.6
Barclays Investment Grade Corp.	3.6	(15.8)	(15.8)	(2.9)	0.5	2.0
Barclays High Yield Corp. Bond	4.2	(11.2)	(11.2)	0.0	2.3	4.0
Credit Suisse Leveraged Loan	2.3	(1.1)	(1.1)	2.3	3.2	3.8
JPMorgan Global ex US Bond	7.0	(21.9)	(21.9)	(7.9)	(4.2)	(2.2)
JPMorgan Emerging Market Bond	8.1	(17.8)	(17.8)	(5.3)	(1.3)	1.6
INFLATION SENSITIVE						
Consumer Price Index	(0.0)	6.5	6.5	4.9	3.8	2.6
BC TIPS	2.0	(11.8)	(11.8)	1.2	2.1	1.1
Commodities	2.2	16.1	16.1	12.7	6.4	(1.3)
Gold	9.5	(0.7)	(0.7)	4.7	5.7	0.0
REITs	4.1	(24.9)	(24.9)	0.2	4.4	7.1
FTSE EPRA/NAREIT Global REITs	6.6	(24.5)	(24.5)	(4.2)	0.3	3.5
NCREIF ODCE*	(5.1)	6.6	6.6	9.0	7.7	9.1
NCREIF Farmland**	2.0	6.2	10.2	6.5	6.3	9.5
NCREIF Timberland**	2.4	7.6	12.6	5.8	4.7	5.9

*Data are preliminary.

**Data are as of September 30, 2022.

Source: Markov Processes International.



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ABOUT MARQUETTE ASSOCIATES

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Employee Pension Plan

Portfolio Overview



Observations

- Market Value as of December 31, 2022 was \$138.3 million
 - Q4-22 net investment change of \$7.4 million, returning 5.7% (net), vs. policy index of 5.8%
- Positive attribution for the quarter from:
 - Outperformance by most active equity managers
 - Value tilts within U.S. and Non-U.S. Equities
 - Infrastructure structure
- Negative attribution for the quarter from:
 - Asset allocation
 - Underperformance by active fixed income managers
- Portfolio changes during the quarter:
 - Rebalancing

Looking Ahead

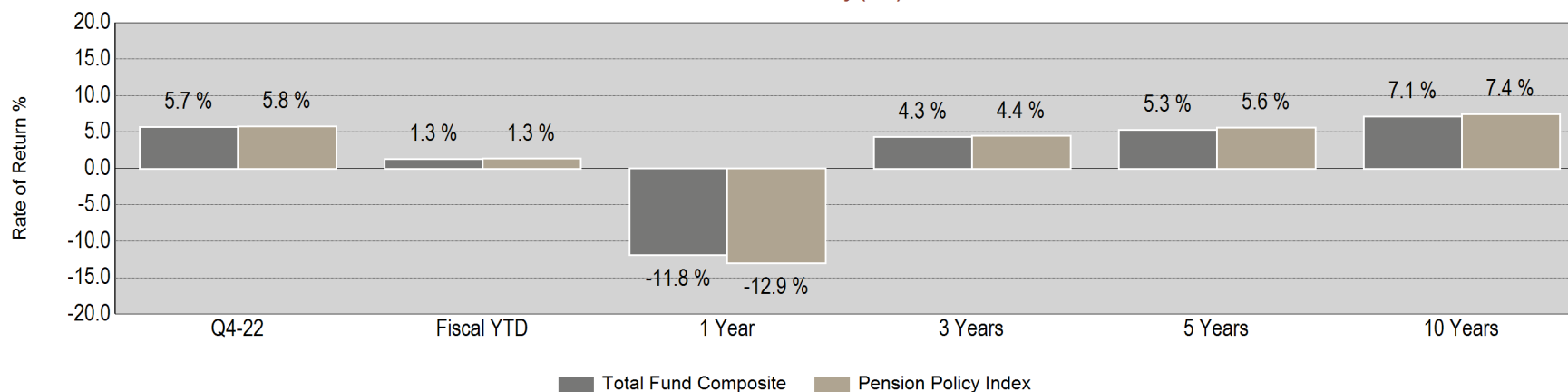
- Asset Allocation

As of December 31, 2022

Summary of Cash Flows

	Fourth Quarter	Fiscal Year-To-Date	One Year	Three Years	Five Years	Ten Years
Beginning Market Value	\$130,736,025	\$136,359,245	\$158,812,510	\$123,789,115	\$93,818,931	\$58,813,167
Contributions	\$117,731	\$246,046	\$404,409	\$966,026	\$16,342,875	\$26,026,120
Withdrawals	-\$13,582	-\$112,203	-\$2,149,862	-\$2,987,553	-\$3,381,454	-\$11,026,765
Net Cash Flow	\$104,150	\$133,843	-\$1,745,453	-\$2,021,527	\$12,961,421	\$14,999,355
Net Investment Change	\$7,415,240	\$1,762,326	-\$18,811,642	\$16,487,827	\$31,475,063	\$64,442,892
Ending Market Value	\$138,255,415	\$138,255,415	\$138,255,415	\$138,255,415	\$138,255,415	\$138,255,415

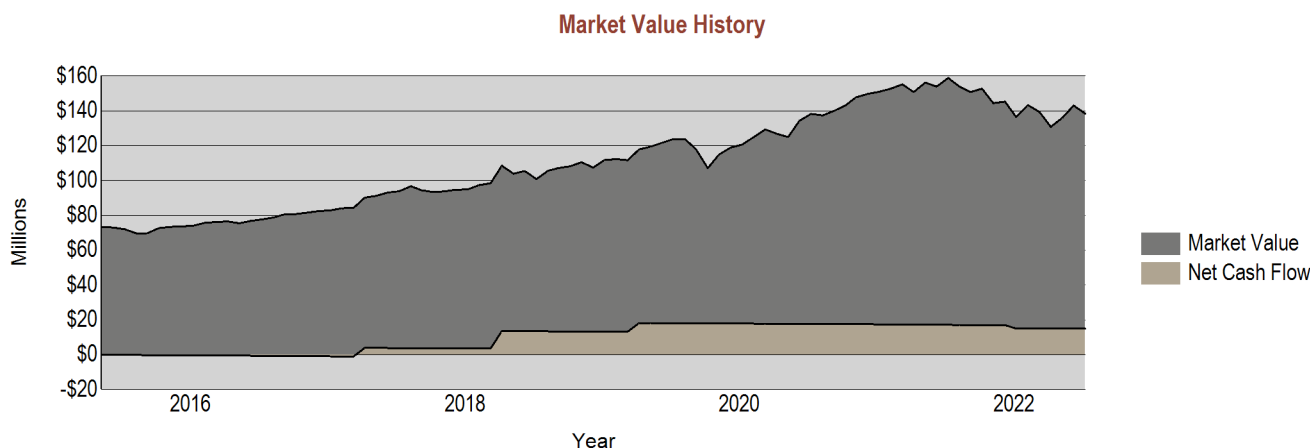
Return Summary (Net)



Asset Allocation vs. Target

	Current	Policy	Difference*	Policy Range	Within Range
U.S. Equity	37.9%	39.0%	-\$1,496,361	34.0% - 44.0%	Yes
Global Equity	15.0%	15.0%	-\$54,091	10.0% - 20.0%	Yes
Non-U.S. Equity	9.1%	9.0%	\$151,456	4.0% - 14.0%	Yes
Real Estate	6.7%	5.0%	\$2,390,655	0.0% - 10.0%	Yes
Infrastructure	5.6%	5.0%	\$828,020	0.0% - 10.0%	Yes
U.S. Fixed Income	24.5%	26.0%	-\$2,121,996	21.0% - 31.0%	Yes
Cash Equivalent	1.2%	1.0%	\$302,317	0.0% - 5.0%	Yes
Total	100.0%	100.0%			

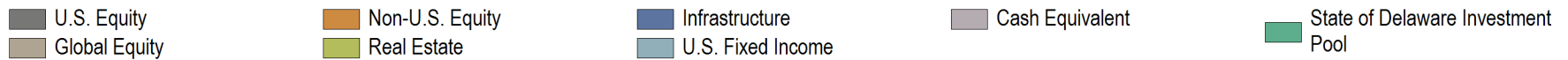
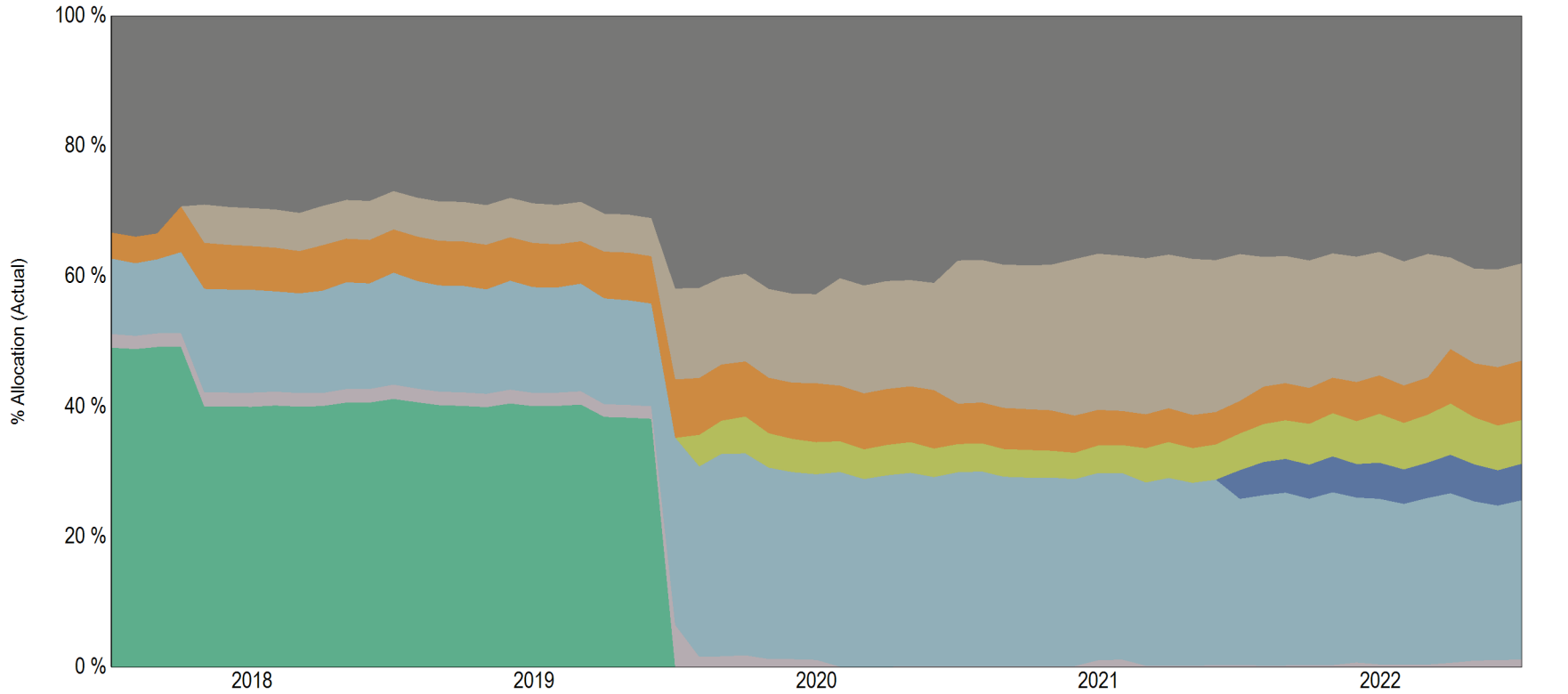
As of December 31, 2022



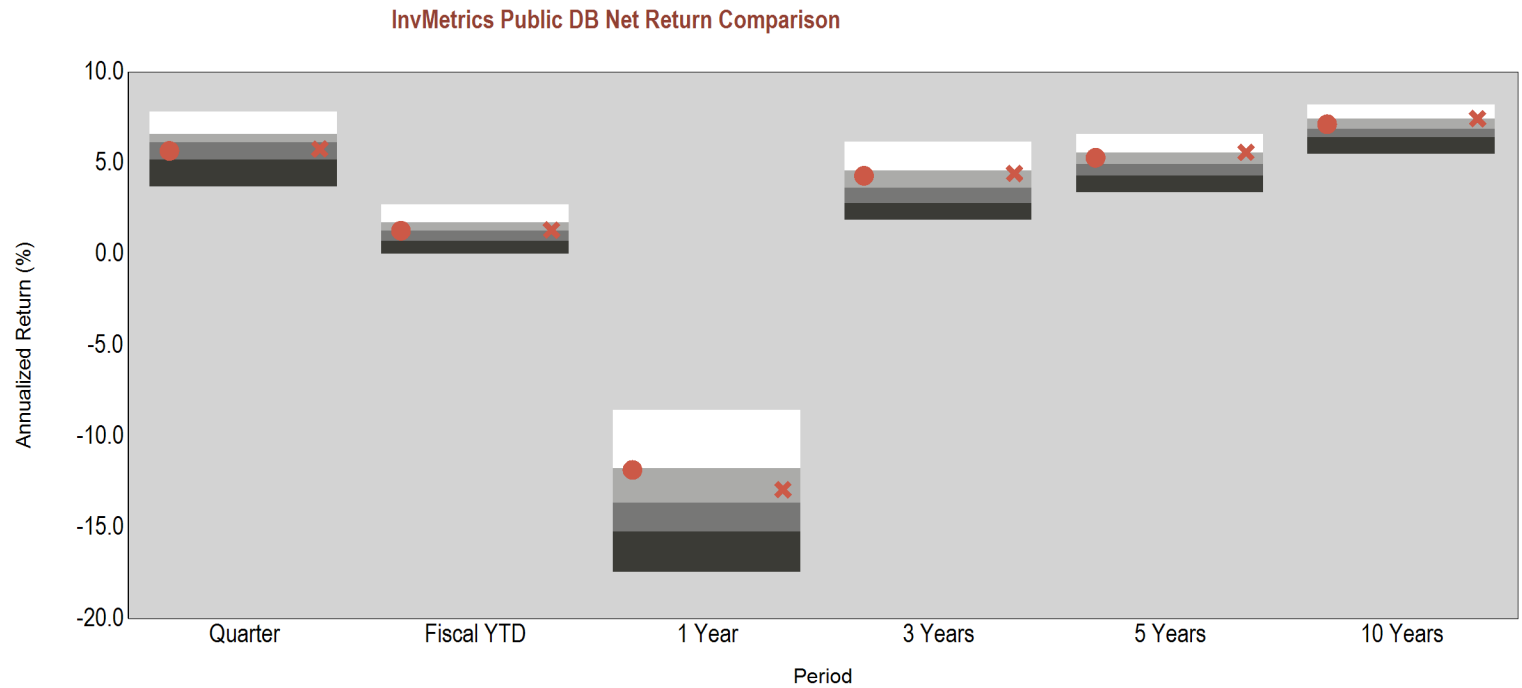
Cash Flow Summary by Manager for Quarter Ending December 31, 2022

	Beginning Market Value	Net Cash Flow	Net Investment Change	Ending Market Value
Fidelity 500 Index	\$39,918,299	\$150,000	\$3,023,424	\$43,091,724
Eaton Vance Atlanta Capital SMID	\$3,849,558	\$0	\$447,978	\$4,297,535
Vanguard Small-Cap Value Index	\$4,653,118	-\$165,000	\$545,874	\$5,033,992
Dodge & Cox Global Stock	\$6,080,721	\$0	\$806,601	\$6,887,322
Artisan Global Opportunities	\$5,706,672	\$400,000	\$350,475	\$6,457,147
MFS Low Volatility Global Equity	\$6,594,277	\$0	\$745,475	\$7,339,752
Schroder Int'l Multi-Cap Value Trust	\$1,749,537	\$0	\$261,354	\$2,010,891
Fidelity Total International Index	\$6,427,541	\$100,000	\$962,533	\$7,490,074
Harding Loevner Int'l Small Companies Portfolio	\$1,026,155	\$0	\$138,408	\$1,164,564
Wellington Emerging Markets Opportunities	\$1,736,028	\$0	\$192,886	\$1,928,914
Clarion Lion Properties Fund	\$10,294,975	-\$468,038	-\$523,511	\$9,303,426
JPMorgan IIF Hedged LP	\$7,424,490	\$0	\$0	\$7,424,490
Cohen & Steers Global Infrastructure Fund	\$289,721	\$0	\$26,580	\$316,301
Wilmington Trust Fixed Income	\$17,766,131	-\$6,626	\$262,016	\$18,021,521
Fidelity Intern. Treasury Bond Index	\$7,323,078	-\$325,000	\$66,572	\$7,064,650
Lord Abbett Short Duration Income	\$8,618,890	-\$325,000	\$88,295	\$8,382,185
Lord Abbett High Yield Fund	\$343,191	\$0	\$12,865	\$356,056
Wilmington U.S. Govt MM Fund - MF Acct	\$355,567	\$626,082	\$7,259	\$988,908
M&T Bank Municipal MM Savings	\$578,076	\$117,731	\$156	\$695,963
Total	\$130,736,025	\$104,150	\$7,415,240	\$138,255,415

Asset Allocation History
5 Years Ending December 31, 2022



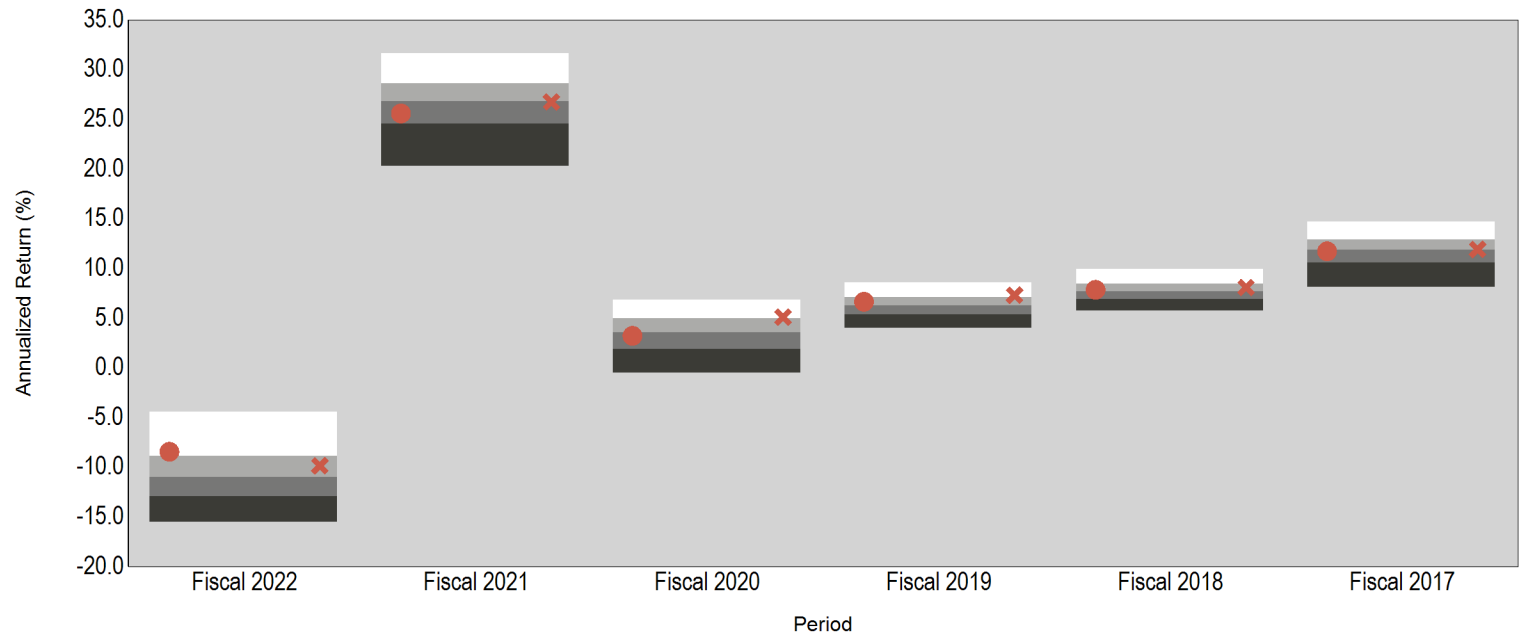
As of December 31, 2022



	Quarter		Fiscal YTD		1 Year		3 Years		5 Years		10 Years	
Return (Rank)	7.8	2.7	-8.5	6.2	6.6	8.2						
5th Percentile	6.6	1.7	-11.8	4.6	5.6	7.4						
25th Percentile	6.1	1.3	-13.6	3.6	4.9	6.9						
Median	5.2	0.7	-15.2	2.8	4.3	6.4						
75th Percentile	3.7	0.0	-17.4	1.9	3.4	5.5						
95th Percentile	240	240	240	233	220	169						
# of Portfolios	5.7	(60)	1.3	(49)	-11.8	(26)	4.3	(31)	5.3	(36)	7.1	(35)
● Total Fund Composite	5.8	(59)	1.3	(47)	-12.9	(37)	4.4	(28)	5.6	(24)	7.4	(25)
✕ Pension Policy Index												

As of December 31, 2022

InvMetrics Public DB Net Return Comparison



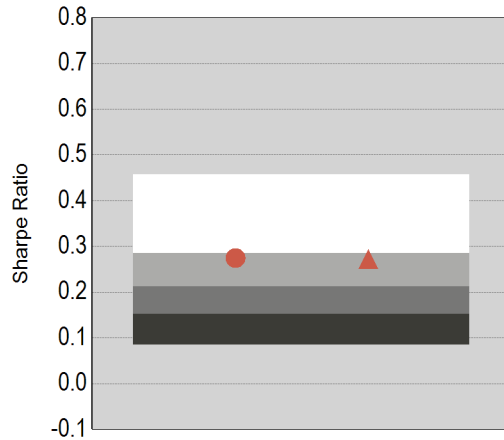
	Return (Rank)											
	Fiscal 2022		Fiscal 2021		Fiscal 2020		Fiscal 2019		Fiscal 2018		Fiscal 2017	
5th Percentile	-4.4	(21)	31.6	(64)	6.9	(56)	8.6	(36)	9.9	(46)	14.7	(53)
25th Percentile	-8.9	(35)	28.6	(52)	5.0	(24)	7.1	(20)	8.5	(38)	12.9	(49)
Median	-11.0		26.8		3.6		6.2		7.7		11.9	
75th Percentile	-12.9		24.6		1.9		5.4		6.9		10.6	
95th Percentile	-15.5		20.3		-0.5		4.0		5.7		8.1	
# of Portfolios	585		603		574		527		233		282	
● Total Fund Composite	-8.4	(21)	25.6	(64)	3.2	(56)	6.7	(36)	7.9	(46)	11.7	(53)
✕ Pension Policy Index	-9.8	(35)	26.8	(52)	5.1	(24)	7.3	(20)	8.1	(38)	11.9	(49)

Sussex County Employee Pension Plan

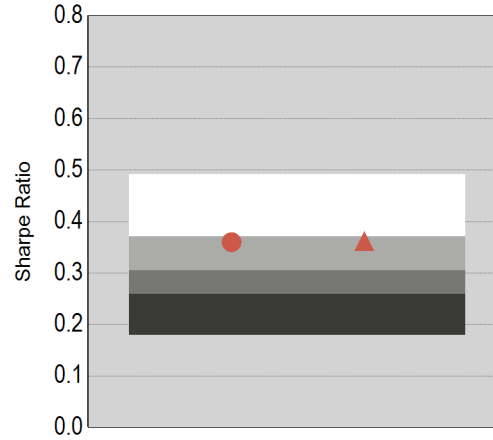
Peer Ranking (Net)

As of December 31, 2022

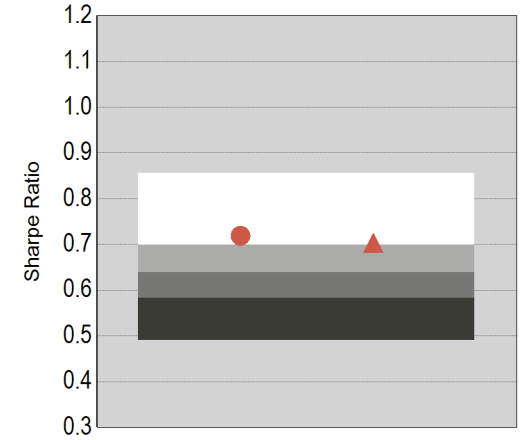
Sharpe Ratio vs. InvMetrics Public DB Net
3 Years Ending December 31, 2022



Sharpe Ratio vs. InvMetrics Public DB Net
5 Years Ending December 31, 2022



Sharpe Ratio vs. InvMetrics Public DB Net
10 Years Ending December 31, 2022



● Total Fund Composite	
Value	0.3
Rank	29
▲ Pension Policy Index	
Value	0.3
Rank	30
Universe	
5th %tile	0.5
25th %tile	0.3
Median	0.2
75th %tile	0.2
95th %tile	0.1

● Total Fund Composite	
Value	0.4
Rank	30
▲ Pension Policy Index	
Value	0.4
Rank	29
Universe	
5th %tile	0.5
25th %tile	0.4
Median	0.3
75th %tile	0.3
95th %tile	0.2

● Total Fund Composite	
Value	0.7
Rank	20
▲ Pension Policy Index	
Value	0.7
Rank	25
Universe	
5th %tile	0.9
25th %tile	0.7
Median	0.6
75th %tile	0.6
95th %tile	0.5

Sussex County Employee Pension Plan

Performance Summary (Net)

As of December 31, 2022

	3 Mo	Fiscal YTD	1 Yr	3 Yrs	5 Yrs	Market Value	% of Portfolio	Policy %	Inception	Inception Date
Total Fund Composite	5.7	1.3	-11.8	4.3	5.3	138,255,415	100.0	100.0	7.2	Nov-11
<i>Pension Policy Index</i>	5.8	1.3	-12.9	4.4	5.6				7.7	Nov-11
<i>InvMetrics Public DB Net Rank</i>	60	49	26	31	36				51	Nov-11
Total Equity Composite	9.5	2.9	-16.8	5.1	6.6	85,701,915	62.0	63.0	11.0	Nov-11
<i>Total Equity Policy Index</i>	8.9	2.7	-18.5	5.4	6.9				11.1	Nov-11
U.S. Equity Composite	8.3	2.9	-17.5	7.4	--	52,423,250	37.9	39.0	7.4	Jan-20
<i>Russell 3000</i>	7.2	2.4	-19.2	7.1	--				7.1	Jan-20
<i>Fidelity 500 Index</i>	7.6	2.3	-18.1	7.6	9.4	43,091,724	31.2	32.0	8.5	Jul-20
<i>S&P 500</i>	7.6	2.3	-18.1	7.7	9.4				8.5	Jul-20
<i>Large Cap MStar MF Rank</i>	58	59	51	33	23				49	Jul-20
<i>Eaton Vance Atlanta Capital SMID</i>	11.6	--	--	--	--	4,297,535	3.1	3.3	11.6	Sep-22
<i>Russell 2500</i>	7.4	--	--	--	--				7.4	Sep-22
<i>SMID Blend MStar MF Rank</i>	13	--	--	--	--				13	Sep-22
<i>Vanguard Small-Cap Value Index</i>	11.6	7.3	-9.3	7.1	5.8	5,033,992	3.6	3.8	18.7	Jul-20
<i>CRSP US Small Cap Value TR USD</i>	11.6	7.3	-9.3	7.1	5.8				18.7	Jul-20
<i>Small Value MStar MF Rank</i>	44	33	43	45	34				54	Jul-20
Global Equity Composite	10.1	2.2	-16.4	1.3	--	20,684,221	15.0	15.0	1.3	Jan-20
<i>MSCI ACWI IMI Net USD</i>	9.8	2.6	-18.4	3.9	--				3.9	Jan-20
<i>Dodge & Cox Global Stock</i>	13.3	2.0	-5.8	6.4	5.5	6,887,322	5.0	5.0	6.7	Dec-20
<i>MSCI ACWI Value NR USD</i>	14.2	5.5	-7.5	3.3	3.5				5.2	Dec-20
<i>Global Large Stock Value Mstar MF Rank</i>	73	88	43	14	35				26	Dec-20
<i>Artisan Global Opportunities</i>	5.9	1.6	-30.2	3.7	6.7	6,457,147	4.7	5.0	-10.8	Dec-20
<i>MSCI ACWI Growth</i>	5.3	-1.0	-28.6	3.8	6.4				-8.6	Dec-20
<i>Global Large Stock Growth Mstar MF Rank</i>	83	53	69	57	44				65	Dec-20
<i>MFS Low Volatility Global Equity</i>	11.3	4.2	-7.6	4.7	--	7,339,752	5.3	5.0	6.9	May-18
<i>MSCI ACWI Minimum Volatility Index</i>	8.5	1.9	-10.3	1.6	--				5.1	May-18
<i>eV Global Low Volatility Equity Net Rank</i>	37	19	38	3	--				4	May-18

Sussex County Employee Pension Plan

Performance Summary (Net)

As of December 31, 2022

	3 Mo	Fiscal YTD	1 Yr	3 Yrs	5 Yrs	Market Value	% of Portfolio	Policy %	Inception	Inception Date
Non-U.S. Equity Composite	14.1	1.6	-16.4	1.0	--	12,594,444	9.1	9.0	1.0	Jan-20
MSCI ACWI ex USA IMI	14.1	3.1	-16.6	0.2	--				0.2	Jan-20
Schroder Int'l Multi-Cap Value Trust	14.9	1.6	-11.1	--	--	2,010,891	1.5	1.5	0.7	Dec-20
MSCI ACWI ex USA IMI Value (Net)	15.6	3.8	-9.3	--	--				0.3	Dec-20
eV Non-US Diversified Value Eq Net Rank	87	89	66	--	--				51	Dec-20
Fidelity Total International Index	14.8	2.8	-16.3	0.3	1.0	7,490,074	5.4	5.0	-4.7	Dec-20
MSCI ACWI ex USA IMI	14.1	3.1	-16.6	0.2	0.8				-4.9	Dec-20
Foreign Large Blend MStar MF Rank	80	79	57	62	61				62	Dec-20
Harding Loevner Int'l Small Companies Portfolio	13.5	6.1	--	--	--	1,164,564	0.8	1.0	-16.5	Jan-22
MSCI ACWI ex US Small Cap Growth NR USD	11.7	2.8	--	--	--				-18.2	Jan-22
eV ACWI ex-US Small Cap Growth Equity Net Rank	41	9	--	--	--				30	Jan-22
Wellington Emerging Markets Opportunities	11.1	-4.8	--	--	--	1,928,914	1.4	1.5	-24.4	Jan-22
MSCI Emerging Markets	9.7	-3.0	--	--	--				-18.6	Jan-22
Diversified Emerging Mkts MStar MF Rank	30	88	--	--	--				80	Jan-22
Real Estate Composite						9,303,426	6.7	5.0		
Clarion Lion Properties Fund	-5.3	-4.9	8.8	10.5	--	9,303,426	6.7	5.0	10.5	Jan-20
NFI-ODCE	-5.1	-4.8	6.6	9.0	--				9.0	Jan-20
InvMetrics Public DB Real Estate Priv Net Rank	76	63	37	37	--				37	Jan-20
Infrastructure Composite	0.3	2.4	5.5	--	--	7,740,791	5.6	5.0	5.5	Dec-21
CPI +4%	0.0	1.2	9.6	--	--				9.6	Dec-21
JPMorgan IIF Hedged LP	0.0	2.5	6.1	--	--	7,424,490	5.4	5.0	6.1	Dec-21
CPI +4%	0.0	1.2	9.6	--	--				9.6	Dec-21
Cohen & Steers Global Infrastructure Fund	9.2	-0.8	--	--	--	316,301	0.2	0.0	-1.4	Jan-22
FTSE Global Core Infrastructure 50/50 Index (Net)	9.0	-0.8	--	--	--				-1.9	Jan-22
Infrastructure Mstar MF Rank	65	34	--	--	--				14	Jan-22

Sussex County Employee Pension Plan

Performance Summary (Net)

As of December 31, 2022

	3 Mo	Fiscal YTD	1 Yr	3 Yrs	5 Yrs	Market Value	% of Portfolio	Policy %	Inception	Inception Date
Fixed Income Composite	1.3	-1.5	-8.0	-1.1	0.8	33,824,412	24.5	26.0	1.1	Nov-11
<i>Bloomberg US Govt/Credit Int TR</i>	1.5	-1.6	-8.2	-1.3	0.7				1.4	Nov-11
Wilmington Trust Fixed Income	1.5	-1.3	-7.6	-1.0	0.8	18,021,521	13.0	13.0	1.2	Nov-11
<i>WT Fixed Income Policy Index</i>	1.5	-1.6	-8.2	-1.3	0.7				1.2	Nov-11
<i>eV US Interm Duration Fixed Inc Net Rank</i>	64	31	9	27	36				87	Nov-11
Fidelity Interm. Treasury Bond Index	0.9	-3.9	-12.7	-2.6	--	7,064,650	5.1	6.0	-2.7	Dec-19
<i>Bloomberg US Treasury 5-10 Yr TR</i>	1.2	-3.7	-12.6	-2.6	--				-2.6	Dec-19
<i>Intermediate Government MStar MF Rank</i>	71	69	83	19	--				22	Dec-19
Lord Abbett Short Duration Income	1.1	-0.4	-4.6	-0.1	--	8,382,185	6.1	7.0	0.0	Dec-19
<i>ICE BofA 1-3 Yrs US Corporate TR</i>	1.4	0.1	-4.1	0.0	--				0.1	Dec-19
<i>Short-Term Bond MStar MF Rank</i>	65	66	44	39	--				38	Dec-19
Lord Abbett High Yield Fund	3.7	2.9	--	--	--	356,056	0.3	0.0	2.9	Jun-22
<i>BofA ML US High Yield Constrained Index</i>	4.0	3.3	--	--	--				3.3	Jun-22
<i>High Yield Bond MStar MF Rank</i>	70	72	--	--	--				72	Jun-22
Cash & Equivalents						1,684,871	1.2	1.0		
Wilmington U.S. Govt MM Fund - MF Acct						988,908	0.7	1.0		
M&T Bank Municipal MM Savings						695,963	0.5	0.0		

Sussex County Employee Pension Plan

Fee Summary

As of December 31, 2022

Investment Manager Fees

Investment Name	Ticker	Market Value	Allocation	Estimated Annual Fee	Annual Expense Ratio
Fidelity 500 Index	FXAIX	\$43,091,724	31.2%	\$8,618	0.02%
Eaton Vance Atlanta Capital SMID	ERASX	\$4,297,535	3.1%	\$34,810	0.81%
Vanguard Small-Cap Value Index	VSIIX	\$5,033,992	3.6%	\$3,020	0.06%
Dodge & Cox Global Stock	DODWX	\$6,887,322	5.0%	\$42,701	0.62%
Artisan Global Opportunities	APHRX	\$6,457,147	4.7%	\$58,114	0.90%
MFS Low Volatility Global Equity	-	\$7,339,752	5.3%	\$24,221	0.33%
Schroder Int'l Multi-Cap Value Trust	-	\$2,010,891	1.5%	\$11,060	0.55%
Fidelity Total International Index	FTIHX	\$7,490,074	5.4%	\$4,494	0.06%
Harding Loevner Int'l Small Companies Portfolio	HLMRX	\$1,164,564	0.8%	\$13,043	1.12%
Wellington Emerging Markets Opportunities	TEOOX	\$1,928,914	1.4%	\$16,974	0.88%
Clarion Lion Properties Fund	-	\$9,303,426	6.7%	\$79,079	0.85%
JPMorgan IIF Hedged LP	-	\$7,424,490	5.4%	\$60,881	0.82%
Cohen & Steers Global Infrastructure Fund	CSUIX	\$316,301	0.2%	\$2,815	0.89%
Wilmington Trust Fixed Income	-	\$18,021,521	13.0%	\$27,032	0.15%
Fidelity Interm. Treasury Bond Index	FUAMX	\$7,064,650	5.1%	\$2,119	0.03%
Lord Abbett Short Duration Income	LDLVX	\$8,382,185	6.1%	\$26,823	0.32%
Lord Abbett High Yield Fund	LHYVX	\$356,056	0.3%	\$2,101	0.59%
Wilmington U.S. Govt MM Fund - MF Acct	WGOXX	\$988,908	0.7%	\$3,066	0.31%
M&T Bank Municipal MM Savings	-	\$695,963	0.5%	\$0	0.00%
Totals:		\$138,255,415		\$420,973	0.30%

Management Fees

Description	Estimated Annual Fee	Annual Expense Ratio
Investment Consultant Fee Marquette Associates, Inc. 14 basis points on first \$100m, 9 basis thereafter*	\$159,990	0.12%
Totals:	\$159,990	0.12%
Total Fees	\$580,963	0.42%

*Investment Consultant Fee calculated on aggregate market value of the Employee Pension Plan & the OPEB Plan.

As of December 31, 2022

RISK RETURN STATISTICS
January 01, 2018 Through December 31, 2022

Total Equity Composite Total Equity Policy Index

RETURN SUMMARY STATISTICS

Number of Periods	60	60
Maximum Return	11.23	12.50
Minimum Return	-13.99	-14.09
Annualized Return	6.56	6.89
Total Return	37.38	39.56
Annualized Excess Return Over Risk Free	5.37	5.71
Annualized Excess Return	-0.34	0.00

RISK SUMMARY STATISTICS

Beta	0.96	1.00
Upside Deviation	9.61	10.32
Downside Deviation	11.61	12.00

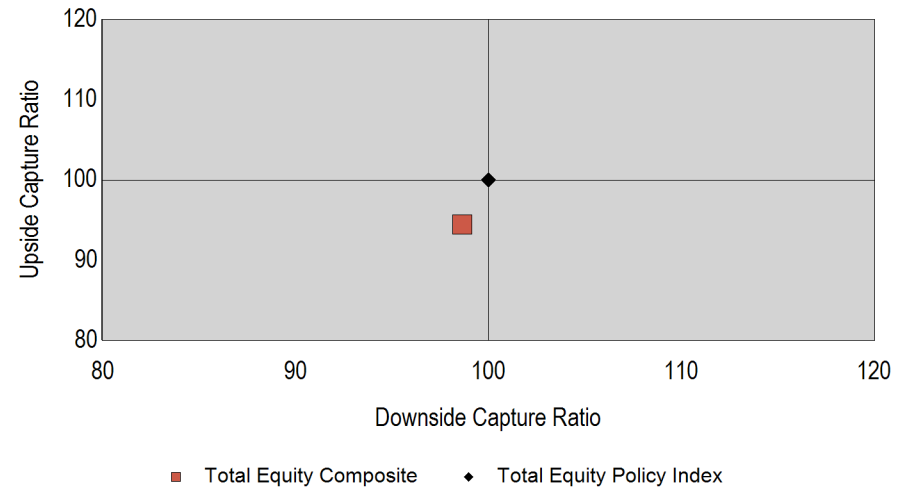
RISK/RETURN SUMMARY STATISTICS

Annualized Standard Deviation	17.77	18.44
Alpha	-0.01	0.00
Sharpe Ratio	0.30	0.31
Excess Return Over Market / Risk	-0.02	0.00
Tracking Error	1.49	0.00
Information Ratio	-0.23	--

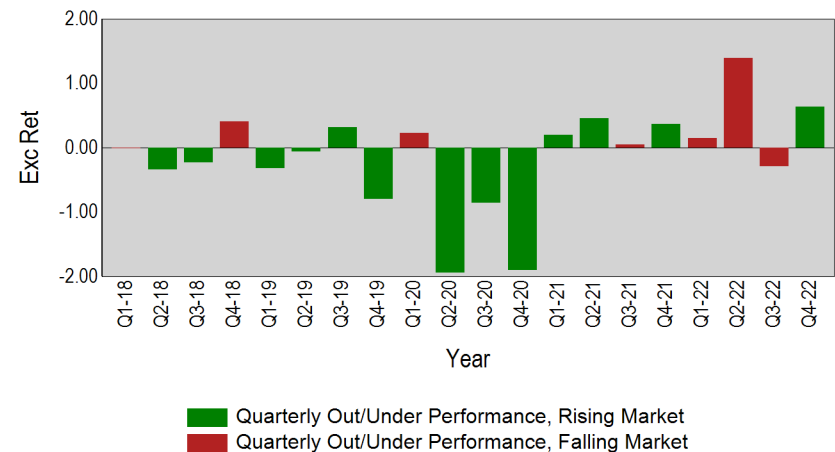
CORRELATION STATISTICS

R-Squared	0.99	1.00
Correlation	1.00	1.00

Upside Capture Ratio vs. Downside Capture Ratio
5 Years Ending December 31, 2022



Quarterly Excess Performance
Total Equity Composite vs. Total Equity Policy Index



Characteristics

	Portfolio	MSCI ACWI IMI Net USD
Number of Holdings	5,718	9,146
Weighted Avg. Market Cap. (\$B)	255.8	243.4
Median Market Cap. (\$B)	3.9	1.9
Price To Earnings	16.6	15.5
Price To Book	3.1	3.0
Price To Sales	1.8	1.7
Return on Equity (%)	21.2	19.4
Yield (%)	2.1	2.4

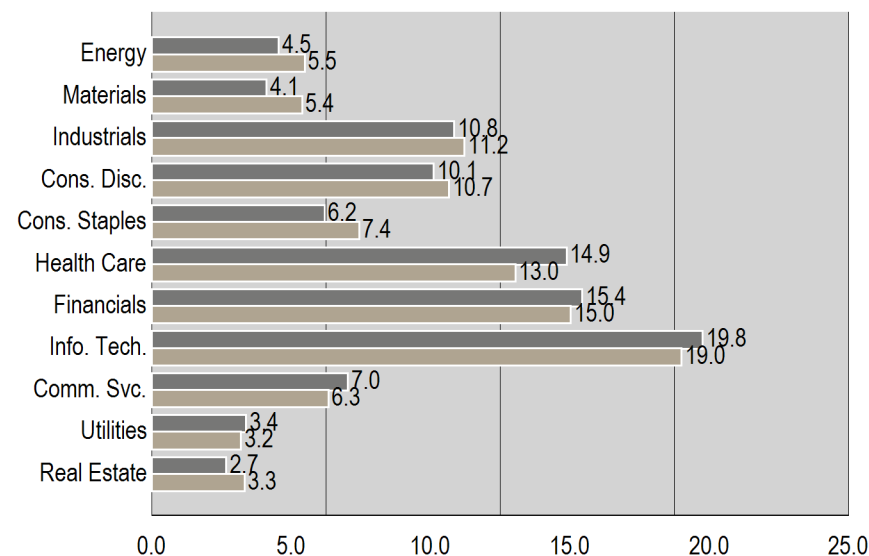
Top Holdings

MICROSOFT CORP	3.1%
APPLE INC	3.1%
AMAZON.COM INC	1.3%
ALPHABET INC	1.2%
JOHNSON & JOHNSON	1.0%
ALPHABET INC	1.0%
BERKSHIRE HATHAWAY INC	0.9%
UNITEDHEALTH GROUP INC	0.8%
JPMORGAN CHASE & CO	0.7%
EXXON MOBIL CORP	0.7%
Total	13.8%

Market Capitalization

	Small Cap	Mid Cap	Large Cap	Unclassified
Total Equity Composite	10.0%	17.2%	70.8%	2.1%
MSCI ACWI IMI Net USD	15.3%	15.4%	69.3%	0.0%
<i>Weight Over/Under</i>	-5.3%	1.8%	1.5%	2.1%

Sector Allocation (%) vs MSCI ACWI IMI Net USD



Region Allocation Summary

Region	% of Total	% of Bench	% Diff
North America ex U.S.	1.9%	3.1%	-1.2%
United States	71.8%	59.4%	12.4%
Europe Ex U.K.	10.0%	12.4%	-2.4%
United Kingdom	3.4%	4.0%	-0.6%
Pacific Basin Ex Japan	2.4%	3.4%	-1.0%
Japan	3.3%	6.1%	-2.8%
Emerging Markets	6.3%	11.2%	-5.0%
Other	0.9%	0.4%	0.5%
Total	100.0%	100.0%	0.0%

Characteristics

	Portfolio	Russell 3000
Number of Holdings	1,335	2,960
Weighted Avg. Market Cap. (\$B)	344.6	360.3
Median Market Cap. (\$B)	6.4	2.5
Price To Earnings	18.1	18.5
Price To Book	3.5	3.6
Price To Sales	2.1	2.2
Return on Equity (%)	26.5	23.9
Yield (%)	1.8	1.7

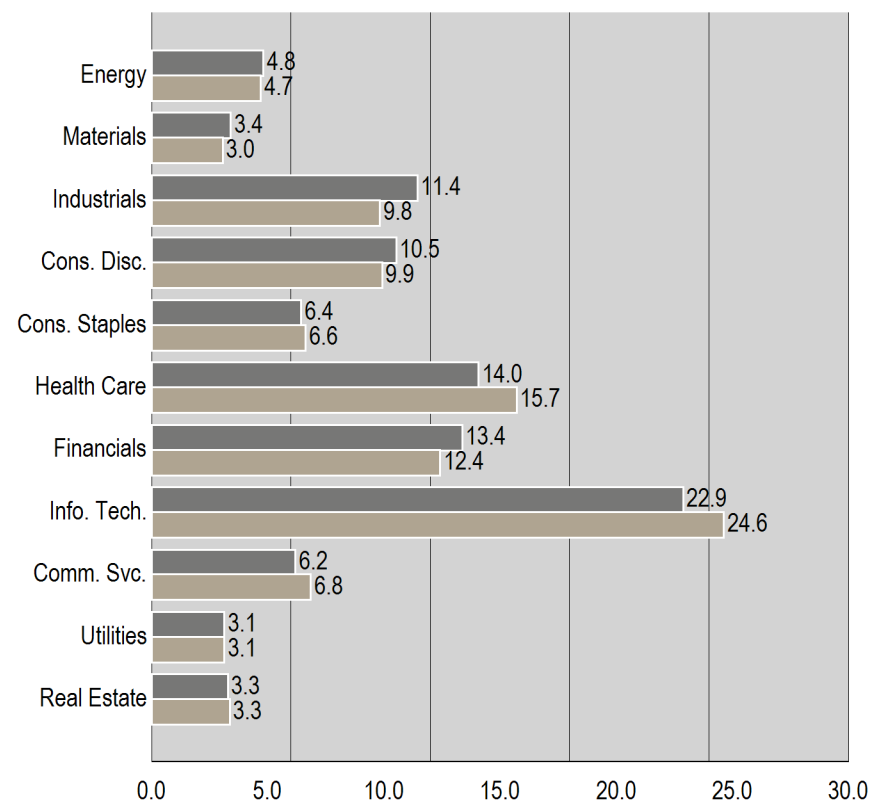
Top Holdings

APPLE INC	5.0%
MICROSOFT CORP	4.6%
AMAZON.COM INC	1.9%
BERKSHIRE HATHAWAY INC	1.4%
ALPHABET INC	1.4%
UNITEDHEALTH GROUP INC	1.3%
ALPHABET INC	1.2%
JOHNSON & JOHNSON	1.2%
EXXON MOBIL CORP	1.2%
JPMORGAN CHASE & CO	1.0%
Total	20.1%

Market Capitalization

	Small Cap	Mid Cap	Large Cap	Unclassified
U.S. Equity Composite	2.7%	27.5%	68.5%	1.2%
Russell 3000	5.6%	22.7%	71.7%	0.0%
<i>Weight Over/Under</i>	-2.9%	4.9%	-3.2%	1.2%

Sector Allocation (%) vs Russell 3000



Common Holdings Matrix

	<i>Fidelity 500 Index</i>		<i>Eaton Vance Atlanta Capital SMID</i>		<i>Vanguard Small-Cap Value Index</i>	
	#	%	#	%	#	%
Fidelity 500 Index	--	--	16	29	45	13
Eaton Vance Atlanta Capital SMID	16	1	--	--	20	6
Vanguard Small-Cap Value Index	45	1	20	40	--	--

Characteristics

	Portfolio	MSCI ACWI IMI Net USD
Number of Holdings	217	9,146
Weighted Avg. Market Cap. (\$B)	139.7	243.4
Median Market Cap. (\$B)	43.3	1.9
Price To Earnings	16.9	15.5
Price To Book	2.8	3.0
Price To Sales	1.8	1.7
Return on Equity (%)	18.9	19.4
Yield (%)	2.0	2.4

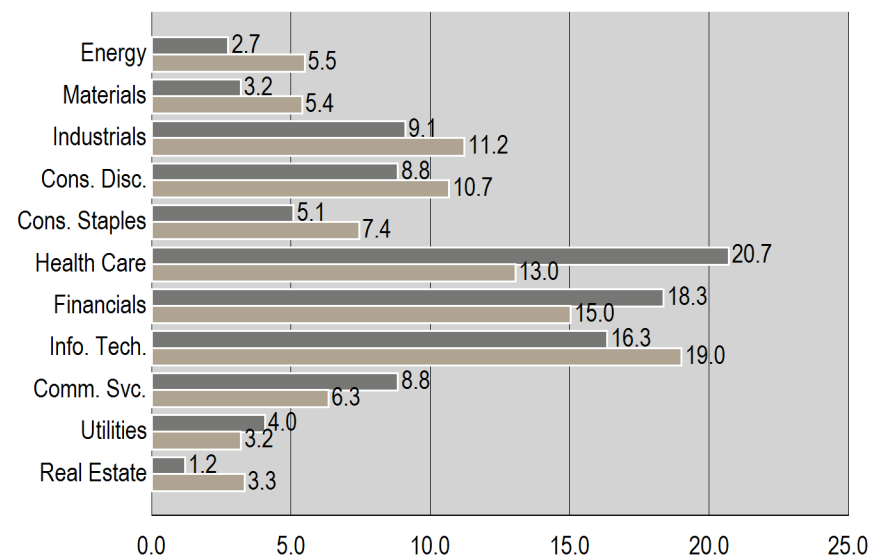
Top Holdings

SCHWAB (CHARLES) CORP	1.9%
NOVO NORDISK 'B'	1.9%
VEEVA SYSTEMS INC	1.7%
NEXTERA ENERGY INC	1.7%
TECHTRONIC INDUSTRIES CO LTD	1.6%
UBS GROUP AG	1.6%
BOSTON SCIENTIFIC CORP	1.5%
ALPHABET INC	1.4%
ADVANCED MICRO DEVICES INC	1.4%
MICROSOFT CORP	1.4%
Total	16.1%

Market Capitalization

	Small Cap	Mid Cap	Large Cap	Unclassified
Global Equity Composite	3.3%	20.5%	73.6%	2.6%
MSCI ACWI IMI Net USD	15.3%	15.4%	69.3%	0.0%
<i>Weight Over/Under</i>	-12.0%	5.1%	4.3%	2.6%

Sector Allocation (%) vs MSCI ACWI IMI Net USD



Region Allocation Summary

Region	% of Total	% of Bench	% Diff
North America ex U.S.	4.4%	3.1%	1.3%
United States	49.7%	59.4%	-9.6%
Europe Ex U.K.	20.2%	12.4%	7.8%
United Kingdom	6.8%	4.0%	2.8%
Pacific Basin Ex Japan	5.3%	3.4%	1.9%
Japan	5.9%	6.1%	-0.2%
Emerging Markets	6.1%	11.2%	-5.2%
Other	1.6%	0.4%	1.2%
Total	100.0%	100.0%	0.0%

Common Holdings Matrix

	<i>Dodge & Cox Global Stock</i>		<i>Artisan Global Opportunities</i>		<i>MFS Low Volatility Global Equity</i>	
	#	%	#	%	#	%
Dodge & Cox Global Stock	--	--	3	7	11	10
Artisan Global Opportunities	3	5	--	--	2	3
MFS Low Volatility Global Equity	11	18	2	7	--	--

Characteristics

	Portfolio	MSCI ACWI ex USA IMI
Number of Holdings	4,353	6,585
Weighted Avg. Market Cap. (\$B)	65.4	69.8
Median Market Cap. (\$B)	3.2	1.6
Price To Earnings	11.9	12.6
Price To Book	2.4	2.4
Price To Sales	1.2	1.2
Return on Equity (%)	15.2	14.6
Yield (%)	3.5	3.4

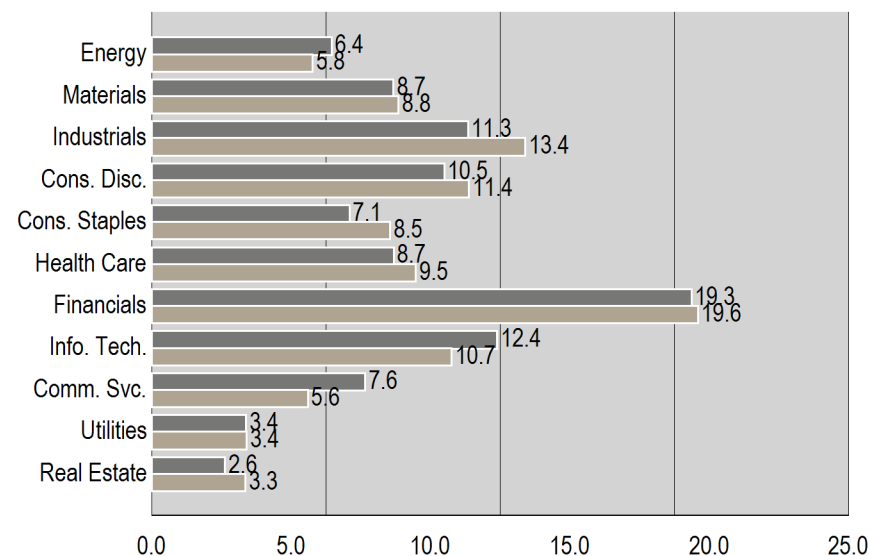
Top Holdings

TAIWAN SEMICONDUCTOR MANUFACTURING CO LTD	2.1%
TENCENT HOLDINGS LTD	1.5%
SAMSUNG ELECTRONICS CO LTD	0.8%
ALIBABA GROUP HOLDING LTD	0.8%
NESTLE SA, CHAM UND VEVEY	0.7%
ASTRAZENECA PLC	0.7%
ROCHE HOLDING AG	0.7%
NOVARTIS AG	0.7%
ASML HOLDING NV	0.6%
SHELL PLC	0.6%
Total	9.2%

Market Capitalization

	Small Cap	Mid Cap	Large Cap	Unclassified
Non-U.S. Equity Composite	26.8%	21.2%	47.4%	4.6%
MSCI ACWI ex USA IMI	24.0%	21.5%	54.5%	0.0%
<i>Weight Over/Under</i>	2.8%	-0.3%	-7.1%	4.6%

Sector Allocation (%) vs MSCI ACWI ex USA IMI



Region Allocation Summary

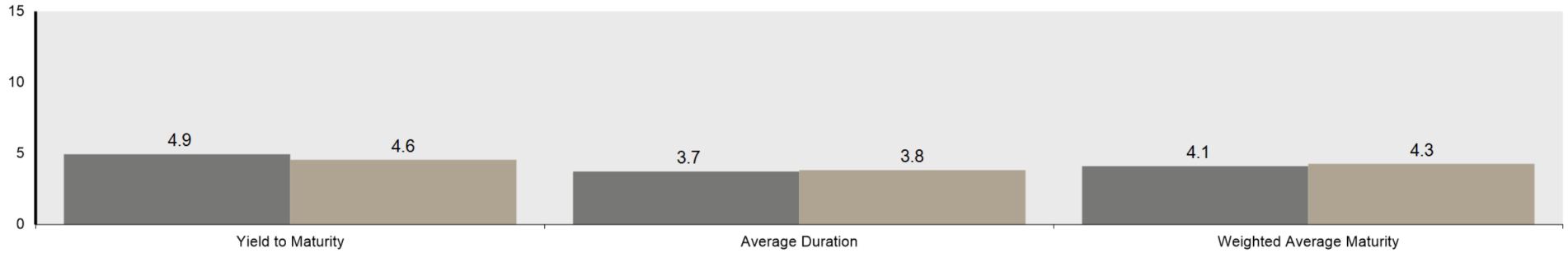
Region	% of Total	% of Bench	% Diff
North America ex U.S.	6.1%	7.6%	-1.6%
United States	1.0%	0.0%	1.0%
Europe Ex U.K.	27.7%	30.5%	-2.8%
United Kingdom	8.9%	9.8%	-0.9%
Pacific Basin Ex Japan	8.0%	8.4%	-0.5%
Japan	13.0%	15.0%	-2.1%
Emerging Markets	33.4%	27.7%	5.7%
Other	2.1%	0.9%	1.2%
Total	100.0%	100.0%	0.0%

Common Holdings Matrix

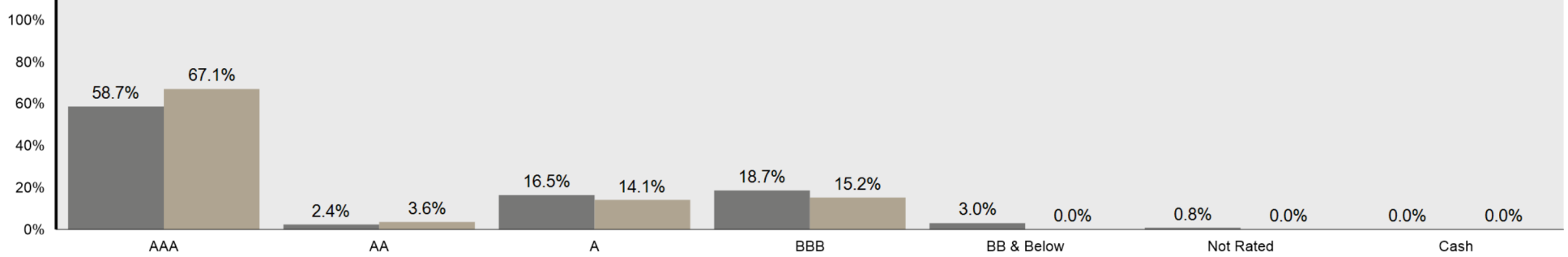
	<i>Schroder Int'l Multi-Cap Value Trust</i>		<i>Fidelity Total International Index</i>		<i>Harding Loevner Int'l Small Companies Portfolio</i>		<i>Wellington Emerging Markets Opportunities</i>	
	#	%	#	%	#	%	#	%
Schroder Int'l Multi-Cap Value Trust	--	--	401	26	3	4	24	29
Fidelity Total International Index	401	91	--	--	59	70	116	76
Harding Loevner Int'l Small Companies Portfolio	3	0	59	1	--	--	1	0
Wellington Emerging Markets Opportunities	24	10	116	11	1	1	--	--

As of December 31, 2022

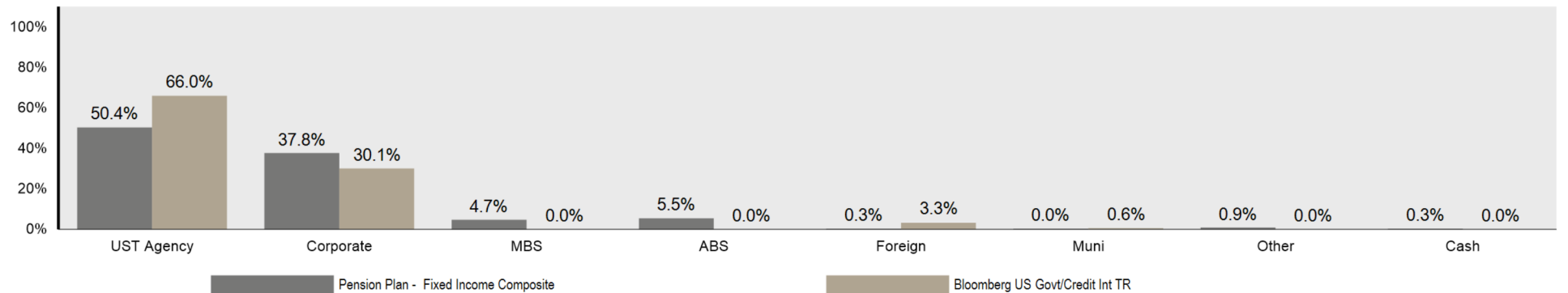
Yield to Maturity



Credit Quality



US Sector



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OPEB Plan

Portfolio Overview



Observations

- Market Value as of December 31, 2022 was \$56.1 million
 - Q4-22 net investment change of \$3.0 million, returning 5.7% (net), vs. policy index of 5.8%
- Positive attribution for the quarter from:
 - Outperformance by most active equity managers
 - Value tilts within U.S. and Non-U.S. Equities
 - Infrastructure structure
- Negative attribution for the quarter from:
 - Asset allocation
 - Underperformance by active fixed income managers
- Portfolio changes during the quarter:
 - Rebalancing

Looking Ahead

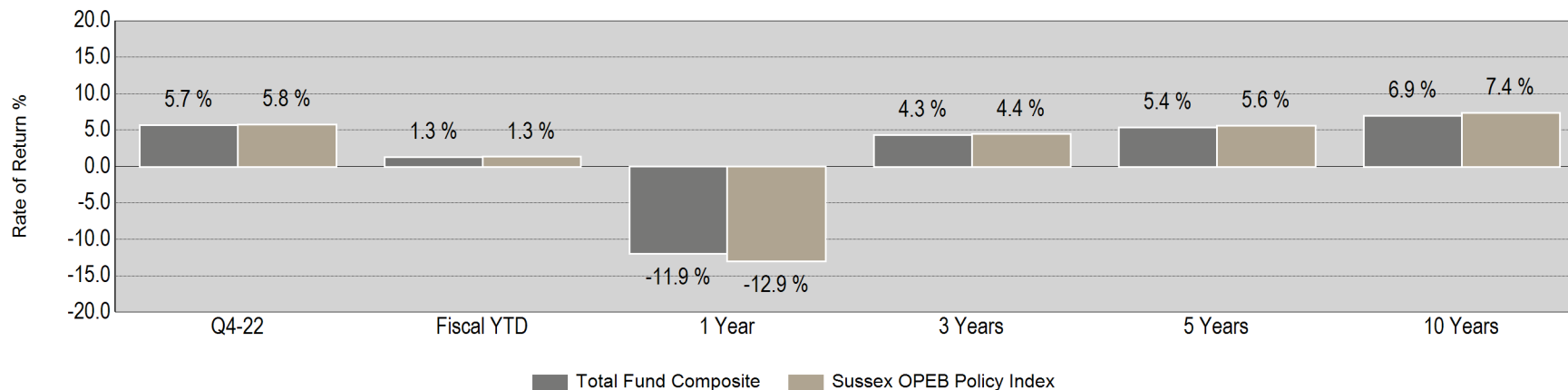
- Asset Allocation

As of December 31, 2022

Summary of Cash Flows

	Fourth Quarter	Fiscal Year-To-Date	One Year	Three Years	Five Years	Ten Years
Beginning Market Value	\$53,130,626	\$55,491,281	\$63,601,383	\$49,247,187	\$43,158,302	\$26,289,375
Contributions	\$0	\$0	\$170,009	\$581,453	\$639,486	\$9,586,312
Withdrawals	-\$6,260	-\$47,401	-\$64,148	-\$282,702	-\$399,084	-\$5,637,588
Net Cash Flow	-\$6,260	-\$47,401	\$105,861	\$298,751	\$240,402	\$3,948,723
Net Investment Change	\$3,018,547	\$699,033	-\$7,564,331	\$6,596,975	\$12,744,209	\$25,904,814
Ending Market Value	\$56,142,913	\$56,142,913	\$56,142,913	\$56,142,913	\$56,142,913	\$56,142,913

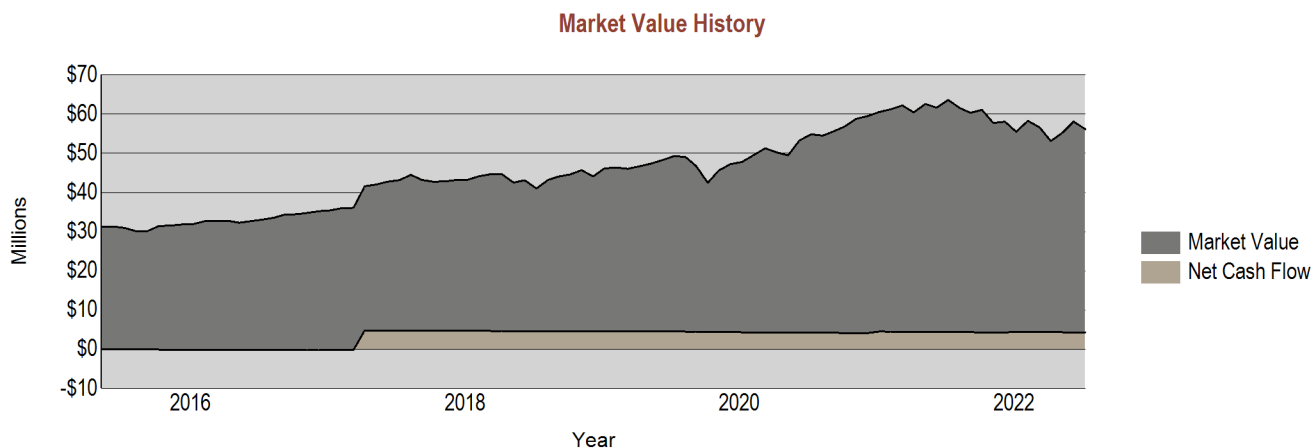
Return Summary (Net)



Asset Allocation vs. Target

	Current	Policy	Difference*	Policy Range	Within Range
U.S. Equity	38.2%	39.0%	-\$438,732	34.0% - 44.0%	Yes
Global Equity	14.7%	15.0%	-\$156,245	10.0% - 20.0%	Yes
Non-U.S. Equity	9.2%	9.0%	\$85,417	4.0% - 14.0%	Yes
Real Estate	6.7%	5.0%	\$936,049	0.0% - 10.0%	Yes
Infrastructure	5.4%	5.0%	\$238,748	0.0% - 10.0%	Yes
U.S. Fixed Income	25.0%	26.0%	-\$587,078	21.0% - 31.0%	Yes
Cash Equivalent	0.9%	1.0%	-\$78,159	0.0% - 5.0%	Yes
Total	100.0%	100.0%			

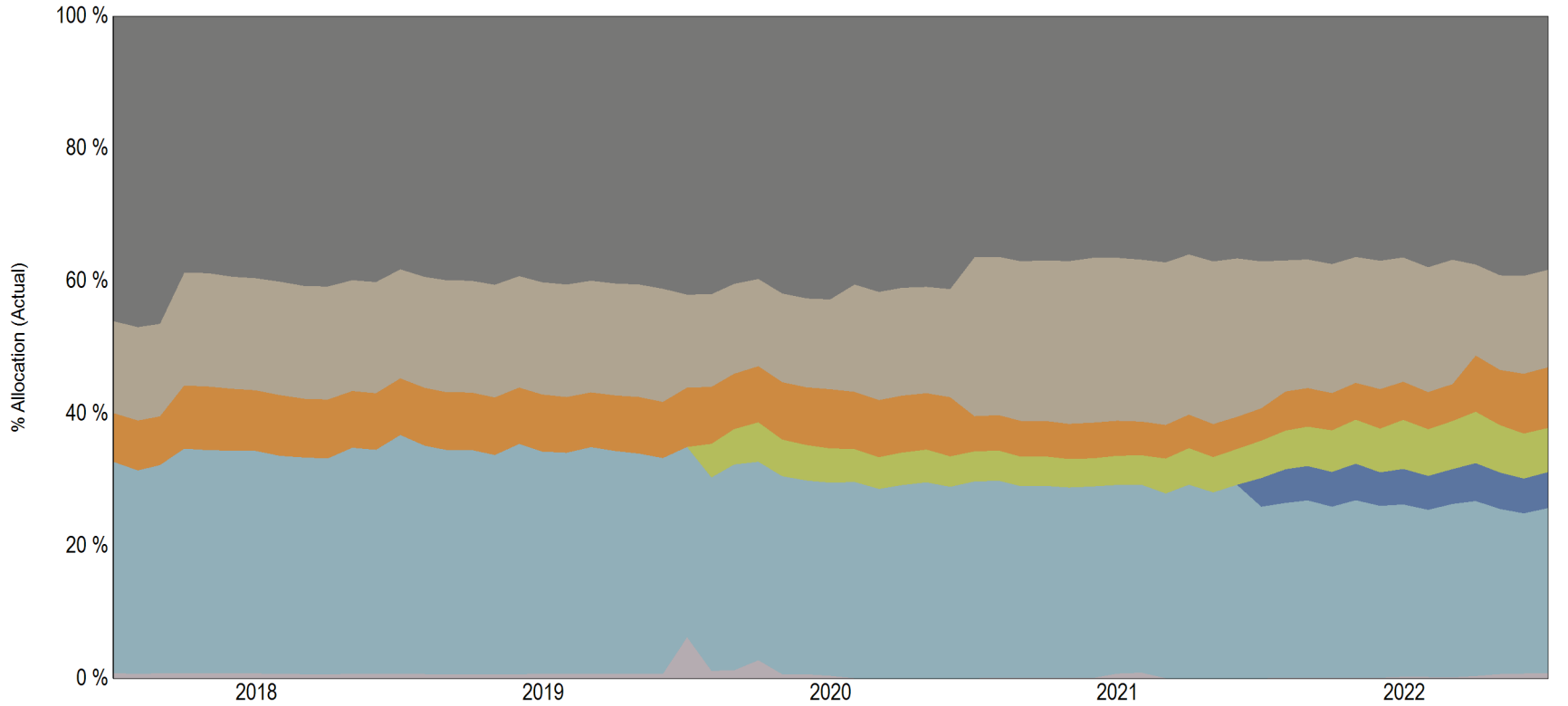
As of December 31, 2022



Cash Flow Summary by Manager for Quarter Ending December 31, 2022

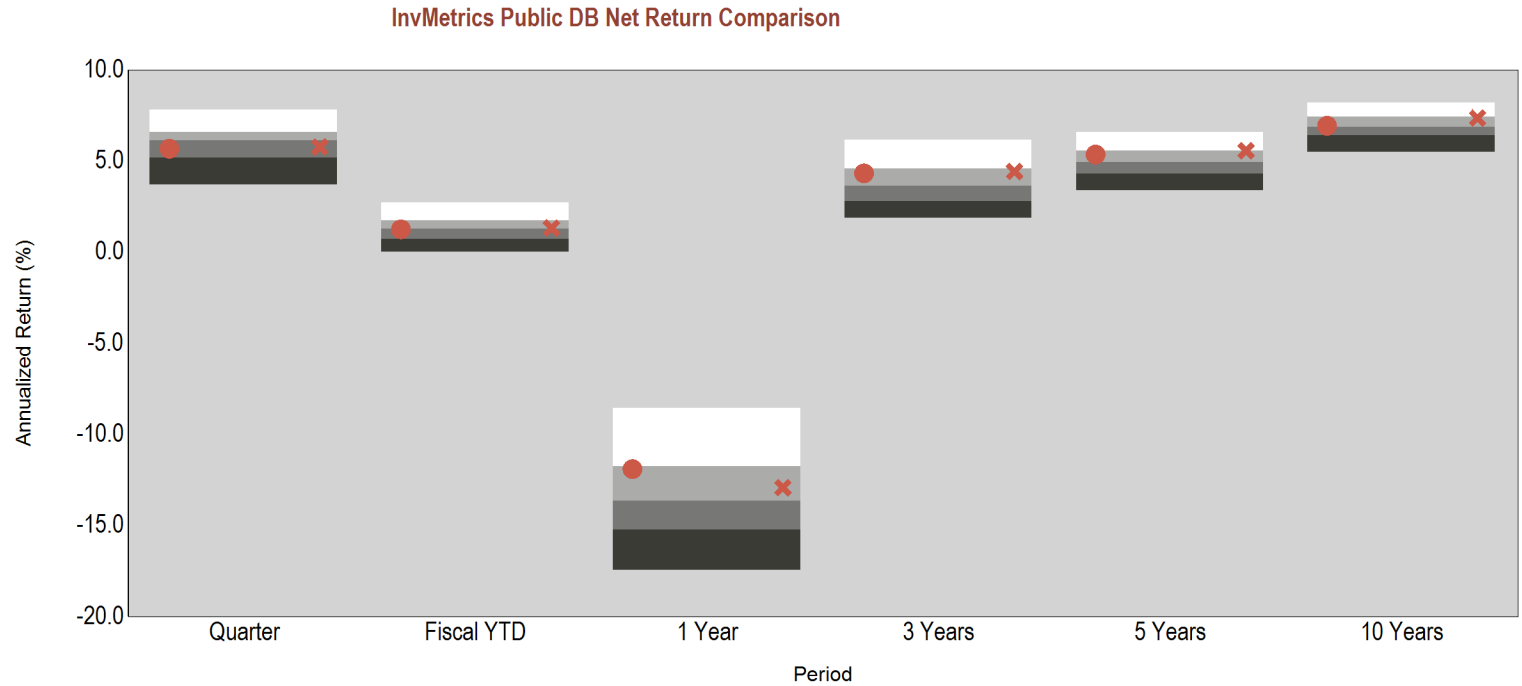
	Beginning Market Value	Net Cash Flow	Net Investment Change	Ending Market Value
Fidelity 500 Index	\$16,356,727	\$0	\$1,235,890	\$17,592,618
Eaton Vance Atlanta Capital SMID	\$1,628,319	\$0	\$189,489	\$1,817,808
Vanguard Small-Cap Value Index	\$1,894,264	-\$70,000	\$222,314	\$2,046,578
Dodge & Cox Global Stock	\$2,475,788	\$0	\$328,411	\$2,804,199
Artisan Global Opportunities	\$2,206,792	\$200,000	\$136,855	\$2,543,647
MFS Low Volatility Global Equity	\$2,623,094	\$0	\$294,252	\$2,917,346
Hartford Schroders Int'l Multi-Cap Value	\$689,354	\$0	\$103,414	\$792,769
Fidelity Total International Index	\$2,616,545	\$0	\$386,734	\$3,003,279
Harding Loevner Int'l Small Companies Portfolio	\$437,202	\$0	\$58,970	\$496,172
Wellington Emerging Markets Opportunities	\$761,455	\$0	\$84,604	\$846,058
Clarion Lion Properties Fund	\$4,129,111	-\$175,283	-\$210,633	\$3,743,195
JPMorgan IIF Hedged LP	\$2,916,764	\$0	\$0	\$2,916,764
Cohen & Steers Global Infrastructure Fund	\$118,279	\$0	\$10,851	\$129,130
Wilmington Trust Fixed Income	\$8,074,985	-\$3,012	\$113,073	\$8,185,046
Fidelity Intern. Treasury Bond Index	\$2,614,600	-\$75,000	\$23,748	\$2,563,348
Lord Abbett Short Duration Income	\$3,208,970	-\$125,000	\$32,844	\$3,116,813
Lord Abbett High Yield Fund	\$139,638	\$0	\$5,234	\$144,872
Wilmington U.S. Govt MM Fund - MF Acct	\$100,014	\$242,035	\$2,462	\$344,511
M&T Bank Municipal MM Savings	\$138,725	\$0	\$34	\$138,759
Total	\$53,130,626	-\$6,260	\$3,018,547	\$56,142,913

Asset Allocation History
5 Years Ending December 31, 2022



U.S. Equity Global Equity Non-U.S. Equity Real Estate Infrastructure U.S. Fixed Income Cash Equivalent

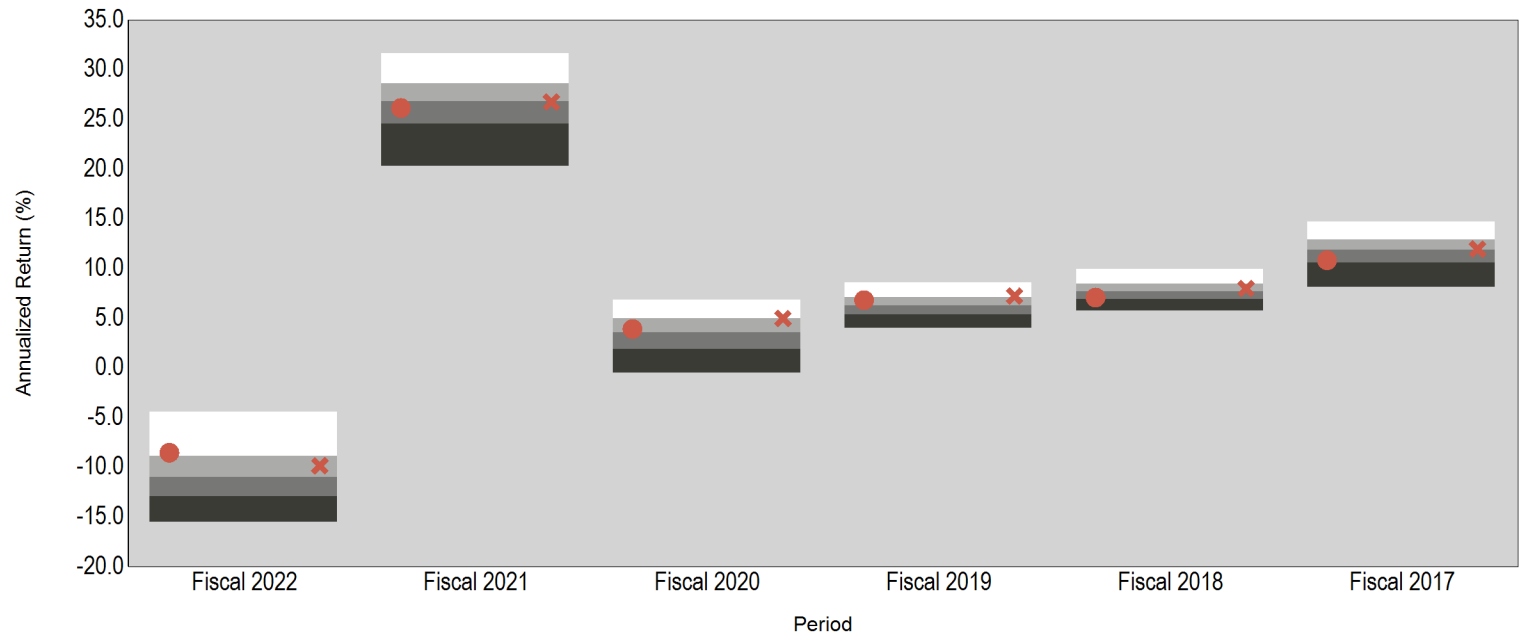
As of December 31, 2022



	Return (Rank)											
	Quarter		Fiscal YTD		1 Year		3 Years		5 Years		10 Years	
5th Percentile	7.8	2.7	-8.5	6.2	6.6	8.2						
25th Percentile	6.6	1.7	-11.8	4.6	5.6	7.4						
Median	6.1	1.3	-13.6	3.6	4.9	6.9						
75th Percentile	5.2	0.7	-15.2	2.8	4.3	6.4						
95th Percentile	3.7	0.0	-17.4	1.9	3.4	5.5						
# of Portfolios	240	240	240	233	220	169						
● Total Fund Composite	5.7	(60)	1.3	(51)	-11.9	(27)	4.3	(31)	5.4	(34)	6.9	(45)
✕ Sussex OPEB Policy Index	5.8	(59)	1.3	(47)	-12.9	(37)	4.4	(28)	5.6	(26)	7.4	(28)

As of December 31, 2022

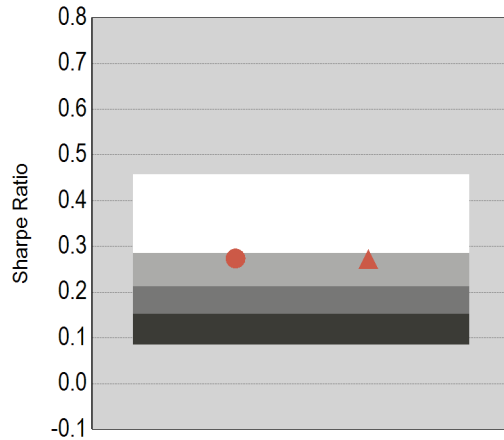
InvMetrics Public DB Net Return Comparison



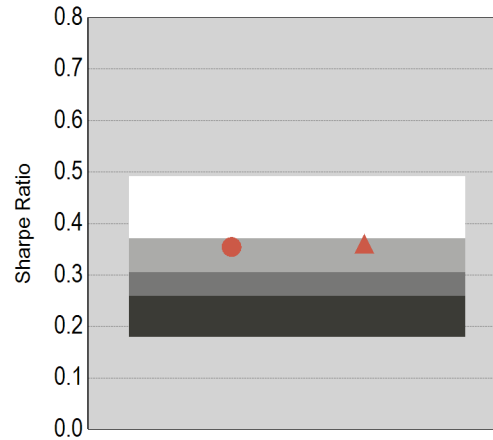
	Return (Rank)											
	Fiscal 2022		Fiscal 2021		Fiscal 2020		Fiscal 2019		Fiscal 2018		Fiscal 2017	
5th Percentile	-4.4	31.6	6.9	8.6	9.9	14.7						
25th Percentile	-8.9	28.6	5.0	7.1	8.5	12.9						
Median	-11.0	26.8	3.6	6.2	7.7	11.9						
75th Percentile	-12.9	24.6	1.9	5.4	6.9	10.6						
95th Percentile	-15.5	20.3	-0.5	4.0	5.7	8.1						
# of Portfolios	585	603	574	527	233	282						
● Total Fund Composite	-8.5	(22)	26.1	(59)	3.9	(43)	6.8	(33)	7.1	(69)	10.8	(67)
✕ Sussex OPEB Policy Index	-9.8	(35)	26.8	(52)	5.0	(26)	7.2	(21)	8.0	(41)	12.0	(48)

As of December 31, 2022

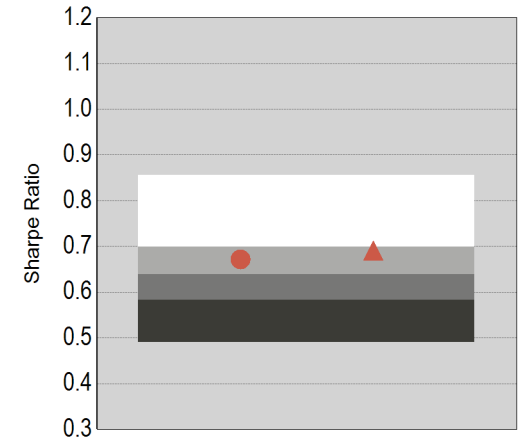
Sharpe Ratio vs. InvMetrics Public DB Net
3 Years Ending December 31, 2022



Sharpe Ratio vs. InvMetrics Public DB Net
5 Years Ending December 31, 2022



Sharpe Ratio vs. InvMetrics Public DB Net
10 Years Ending December 31, 2022



● Total Fund Composite	
Value	0.3
Rank	30
▲ Sussex OPEB Policy Index	
Value	0.3
Rank	30
Universe	
5th %tile	0.5
25th %tile	0.3
Median	0.2
75th %tile	0.2
95th %tile	0.1

● Total Fund Composite	
Value	0.4
Rank	33
▲ Sussex OPEB Policy Index	
Value	0.4
Rank	29
Universe	
5th %tile	0.5
25th %tile	0.4
Median	0.3
75th %tile	0.3
95th %tile	0.2

● Total Fund Composite	
Value	0.7
Rank	37
▲ Sussex OPEB Policy Index	
Value	0.7
Rank	29
Universe	
5th %tile	0.9
25th %tile	0.7
Median	0.6
75th %tile	0.6
95th %tile	0.5

Sussex County OPEB Plan

Performance Summary (Net)

As of December 31, 2022

	3 Mo	Fiscal YTD	1 Yr	3 Yrs	5 Yrs	Market Value	% of Portfolio	Policy %	Inception	Inception Date
Total Fund Composite	5.7	1.3	-11.9	4.3	5.4	56,142,913	100.0	100.0	6.8	Nov-11
<i>Sussex OPEB Policy Index</i>	5.8	1.3	-12.9	4.4	5.6				7.6	Nov-11
<i>InvMetrics Public DB Net Rank</i>	60	51	27	31	34				72	Nov-11
Total Equity Composite	9.5	2.9	-16.8	5.1	6.4	34,860,474	62.1	63.0	10.0	Nov-11
<i>Equity Policy Index</i>	8.9	2.7	-18.5	5.4	6.7				10.6	Nov-11
U.S. Equity Composite	8.3	2.9	-17.4	7.5	--	21,457,004	38.2	39.0	7.5	Jan-20
<i>Russell 3000</i>	7.2	2.4	-19.2	7.1	--				7.1	Jan-20
<i>Fidelity 500 Index</i>	7.6	2.3	-18.1	--	--	17,592,618	31.3	32.0	8.5	Jul-20
<i>S&P 500</i>	7.6	2.3	-18.1	--	--				8.5	Jul-20
<i>Large Cap MStar MF Rank</i>	58	59	51	--	--				49	Jul-20
<i>Eaton Vance Atlanta Capital SMID</i>	11.6	--	--	--	--	1,817,808	3.2	3.3	11.6	Sep-22
<i>Russell 2500</i>	7.4	--	--	--	--				7.4	Sep-22
<i>SMID Blend MStar MF Rank</i>	13	--	--	--	--				13	Sep-22
<i>Vanguard Small-Cap Value Index</i>	11.6	7.3	-9.3	--	--	2,046,578	3.6	3.8	18.7	Jul-20
<i>CRSP US Small Cap Value TR USD</i>	11.6	7.3	-9.3	--	--				18.7	Jul-20
<i>Small Value MStar MF Rank</i>	44	33	43	--	--				54	Jul-20
Global Equity Composite	10.1	2.1	-16.5	2.3	--	8,265,191	14.7	15.0	2.3	Jan-20
<i>MSCI ACWI IMI Net USD</i>	9.8	2.6	-18.4	3.9	--				3.9	Jan-20
<i>Dodge & Cox Global Stock</i>	13.3	2.0	-5.8	--	--	2,804,199	5.0	5.0	6.7	Dec-20
<i>MSCI ACWI Value NR USD</i>	14.2	5.5	-7.5	--	--				5.2	Dec-20
<i>Global Large Stock Value Mstar MF Rank</i>	73	88	43	--	--				26	Dec-20
<i>Artisan Global Opportunities</i>	5.9	1.6	-30.2	--	--	2,543,647	4.5	5.0	-10.8	Dec-20
<i>MSCI ACWI Growth</i>	5.3	-1.0	-28.6	--	--				-8.6	Dec-20
<i>Global Large Stock Growth Mstar MF Rank</i>	83	53	69	--	--				65	Dec-20
<i>MFS Low Volatility Global Equity</i>	11.2	4.1	-8.0	4.3	6.0	2,917,346	5.2	5.0	6.9	Dec-14
<i>MSCI ACWI Minimum Volatility Index</i>	8.5	1.9	-10.3	1.6	4.6				6.3	Dec-14
<i>eV Global Low Volatility Equity Net Rank</i>	38	25	41	10	8				10	Dec-14

Sussex County OPEB Plan

Performance Summary (Net)

As of December 31, 2022

	3 Mo	Fiscal YTD	1 Yr	3 Yrs	5 Yrs	Market Value	% of Portfolio	Policy %	Inception	Inception Date
Non-U.S. Equity Composite	14.1	1.4	-16.9	-1.9	--	5,138,279	9.2	9.0	-1.9	Jan-20
MSCI ACWI ex USA IMI	14.1	3.1	-16.6	0.2	--				0.2	Jan-20
Hartford Schroders Int'l Multi-Cap Value	15.0	1.1	-11.6	0.6	--	792,769	1.4	1.5	--	Dec-19
MSCI ACWI ex USA IMI Value (Net)	15.6	3.8	-9.3	0.2	--				--	Dec-19
Foreign Large Value MStar MF Rank	92	92	75	68	--				--	Dec-19
Fidelity Total International Index	14.8	2.8	-16.3	--	--	3,003,279	5.3	5.0	-4.7	Dec-20
MSCI ACWI ex USA IMI	14.1	3.1	-16.6	--	--				-4.9	Dec-20
Foreign Large Blend MStar MF Rank	80	79	57	--	--				62	Dec-20
Harding Loevner Int'l Small Companies Portfolio	13.5	6.1	--	--	--	496,172	0.9	1.0	-16.5	Jan-22
MSCI ACWI ex US Small Cap Growth NR USD	11.7	2.8	--	--	--				-18.2	Jan-22
eV ACWI ex-US Small Cap Growth Equity Net Rank	41	9	--	--	--				30	Jan-22
Wellington Emerging Markets Opportunities	11.1	-4.8	--	--	--	846,058	1.5	1.5	-24.4	Jan-22
MSCI Emerging Markets	9.7	-3.0	--	--	--				-18.5	Jan-22
Diversified Emerging Mkts MStar MF Rank	30	88	--	--	--				80	Jan-22
Real Estate Composite						3,743,195	6.7	5.0		
Clarion Lion Properties Fund	-5.3	-4.9	8.8	10.5	--	3,743,195	6.7	5.0	10.5	Jan-20
NFI-ODCE	-5.1	-4.8	6.6	9.0	--				9.0	Jan-20
InvMetrics Public DB Real Estate Priv Net Rank	76	63	37	39	--				39	Jan-20
Infrastructure Composite	0.4	2.3	5.4	--	--	3,045,894	5.4	5.0	5.4	Dec-21
CPI +4%	0.0	1.2	9.6	--	--				9.6	Dec-21
JPMorgan IIF Hedged LP	0.0	2.5	6.1	--	--	2,916,764	5.2	5.0	6.1	Dec-21
CPI +4%	0.0	1.2	9.6	--	--				9.6	Dec-21
Cohen & Steers Global Infrastructure Fund	9.2	-0.8	--	--	--	129,130	0.2	0.0	-1.4	Jan-22
FTSE Global Core Infrastructure 50/50 Index (Net)	9.0	-0.8	--	--	--				-1.9	Jan-22
Infrastructure Mstar MF Rank	65	34	--	--	--				14	Jan-22

Sussex County OPEB Plan

Performance Summary (Net)

As of December 31, 2022

	3 Mo	Fiscal YTD	1 Yr	3 Yrs	5 Yrs	Market Value	% of Portfolio	Policy %	Inception	Inception Date
Fixed Income Composite	1.3	-1.5	-7.9	-0.7	1.0	14,010,079	25.0	26.0	1.2	Nov-11
<i>Bloomberg US Govt/Credit Int TR</i>	1.5	-1.6	-8.2	-1.3	0.7				1.4	Nov-11
Wilmington Trust Fixed Income	1.4	-1.4	-7.5	-1.0	0.8	8,185,046	14.6	15.0	1.1	Mar-12
<i>WT Fixed Income Policy Index</i>	1.5	-1.6	-8.2	-1.3	0.7				1.2	Mar-12
<i>eV US Interm Duration Fixed Inc Net Rank</i>	73	37	7	27	40				85	Mar-12
Fidelity Interm. Treasury Bond Index	0.9	-3.9	-12.7	--	--	2,563,348	4.6	5.0	-8.1	May-21
<i>Bloomberg US Treasury 5-10 Yr TR</i>	1.2	-3.7	-12.6	--	--				-8.1	May-21
<i>Intermediate Government MStar MF Rank</i>	71	69	83	--	--				64	May-21
Lord Abbett Short Duration Income	1.1	-0.4	-4.5	--	--	3,116,813	5.6	6.0	-2.9	May-21
<i>ICE BofA 1-3 Yrs US Corporate TR</i>	1.4	0.1	-4.1	--	--				-2.8	May-21
<i>Short-Term Bond MStar MF Rank</i>	65	65	43	--	--				37	May-21
Lord Abbett High Yield Fund	3.7	2.9	--	--	--	144,872	0.3	0.0	2.9	Jun-22
<i>BofA ML US High Yield Constrained Index</i>	4.0	3.3	--	--	--				3.3	Jun-22
<i>High Yield Bond MStar MF Rank</i>	70	72	--	--	--				72	Jun-22
Cash & Equivalents						483,270	0.9	1.0		
Wilmington U.S. Govt MM Fund - MF Acct						344,511	0.6	1.0		
M&T Bank Municipal MM Savings						138,759	0.2	0.0		

As of December 31, 2022

Investment Manager Fees

Investment Name	Ticker	Market Value	Allocation	Estimated Annual Fee	Annual Expense Ratio
Fidelity 500 Index	FXAIX	\$17,592,618	31.3%	\$3,519	0.02%
Eaton Vance Atlanta Capital SMID	ERASX	\$1,817,808	3.2%	\$14,724	0.81%
Vanguard Small-Cap Value Index	VSIX	\$2,046,578	3.6%	\$1,228	0.06%
Dodge & Cox Global Stock	DODWX	\$2,804,199	5.0%	\$17,386	0.62%
Artisan Global Opportunities	APHRX	\$2,543,647	4.5%	\$22,893	0.90%
MFS Low Volatility Global Equity	MVGNX	\$2,917,346	5.2%	\$19,838	0.68%
Hartford Schroders Int'l Multi-Cap Value	SIDRX	\$792,769	1.4%	\$5,946	0.75%
Fidelity Total International Index	FTIHX	\$3,003,279	5.3%	\$1,802	0.06%
Harding Loevner Int'l Small Companies Portfolio	HLMRX	\$496,172	0.9%	\$5,557	1.12%
Wellington Emerging Markets Opportunities	TEOOX	\$846,058	1.5%	\$7,445	0.88%
Clarion Lion Properties Fund	-	\$3,743,195	6.7%	\$31,817	0.85%
JPMorgan IIF Hedged LP	-	\$2,916,764	5.2%	\$23,917	0.82%
Cohen & Steers Global Infrastructure Fund	CSUIX	\$129,130	0.2%	\$1,149	0.89%
Wilmington Trust Fixed Income	-	\$8,185,046	14.6%	\$12,278	0.15%
Fidelity Interm. Treasury Bond Index	FUAMX	\$2,563,348	4.6%	\$769	0.03%
Lord Abbett Short Duration Income	LDLVX	\$3,116,813	5.6%	\$9,974	0.32%
Lord Abbett High Yield Fund	LHYVX	\$144,872	0.3%	\$855	0.59%
Wilmington U.S. Govt MM Fund - MF Acct	WGOXX	\$344,511	0.6%	\$1,068	0.31%
M&T Bank Municipal MM Savings	-	\$138,759	0.2%	\$0	0.00%
Totals:		\$56,142,912		\$182,165	0.32%

Management Fees

Description	Estimated Annual Fee	Annual Expense Ratio
Investment Consultant Fee Marquette Associates, Inc. 14 basis points on first \$100m, 9 basis thereafter*	\$64,969	0.12%
Totals:	\$64,969	0.12%
Total Fees	\$247,133	0.44%

*Investment Consultant Fee calculated on aggregate market value of the Employee Pension Plan & the OPEB Plan.

RISK RETURN STATISTICS
January 01, 2018 Through December 31, 2022

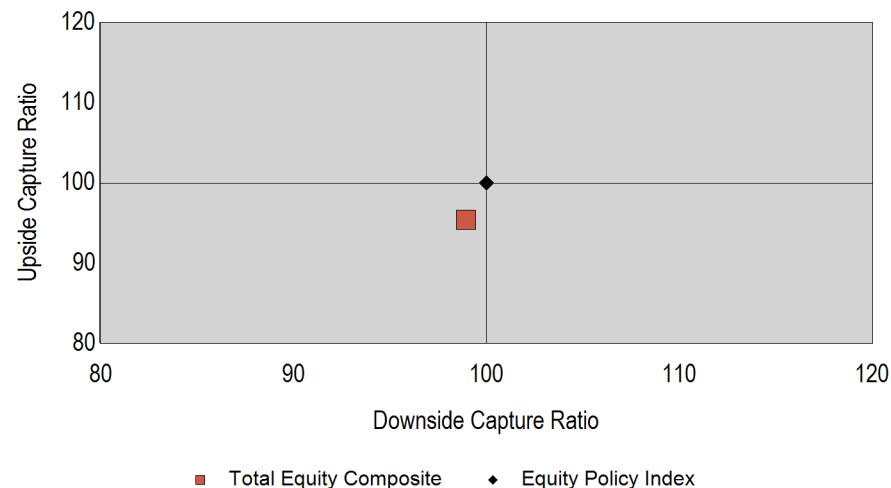
	Total Equity Composite	Equity Policy Index
RETURN SUMMARY STATISTICS		
Number of Periods	60	60
Maximum Return	11.54	12.50
Minimum Return	-14.13	-14.09
Annualized Return	6.44	6.74
Total Return	36.62	38.56
Annualized Excess Return Over Risk Free	5.25	5.55
Annualized Excess Return	-0.30	0.00

	Total Equity Composite	Equity Policy Index
RISK SUMMARY STATISTICS		
Beta	0.97	1.00
Upside Deviation	9.78	10.26
Downside Deviation	11.59	12.26

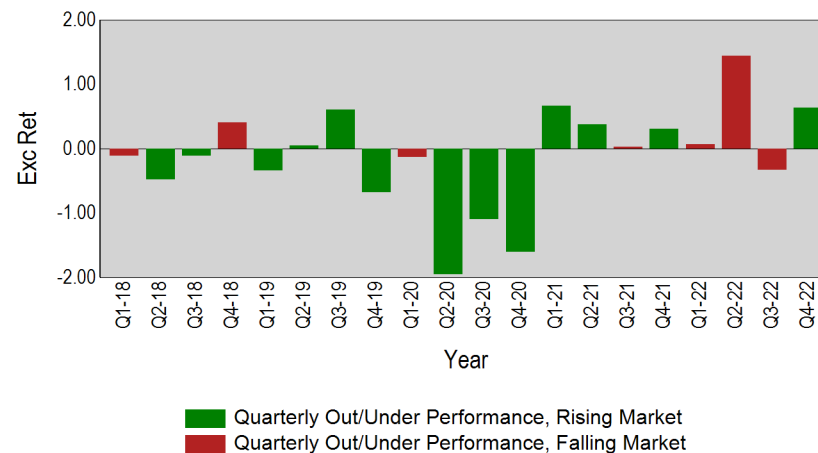
	Total Equity Composite	Equity Policy Index
RISK/RETURN SUMMARY STATISTICS		
Annualized Standard Deviation	17.88	18.41
Alpha	-0.01	0.00
Sharpe Ratio	0.29	0.30
Excess Return Over Market / Risk	-0.02	0.00
Tracking Error	1.46	0.00
Information Ratio	-0.21	--

	Total Equity Composite	Equity Policy Index
CORRELATION STATISTICS		
R-Squared	0.99	1.00
Correlation	1.00	1.00

Upside Capture Ratio vs. Downside Capture Ratio
5 Years Ending December 31, 2022



Quarterly Excess Performance
Total Equity Composite vs. Equity Policy Index



Characteristics

	Portfolio	MSCI ACWI IMI Net USD
Number of Holdings	5,697	9,146
Weighted Avg. Market Cap. (\$B)	256.4	243.4
Median Market Cap. (\$B)	3.9	1.9
Price To Earnings	16.5	15.5
Price To Book	3.1	3.0
Price To Sales	1.8	1.7
Return on Equity (%)	21.2	19.4
Yield (%)	2.1	2.4

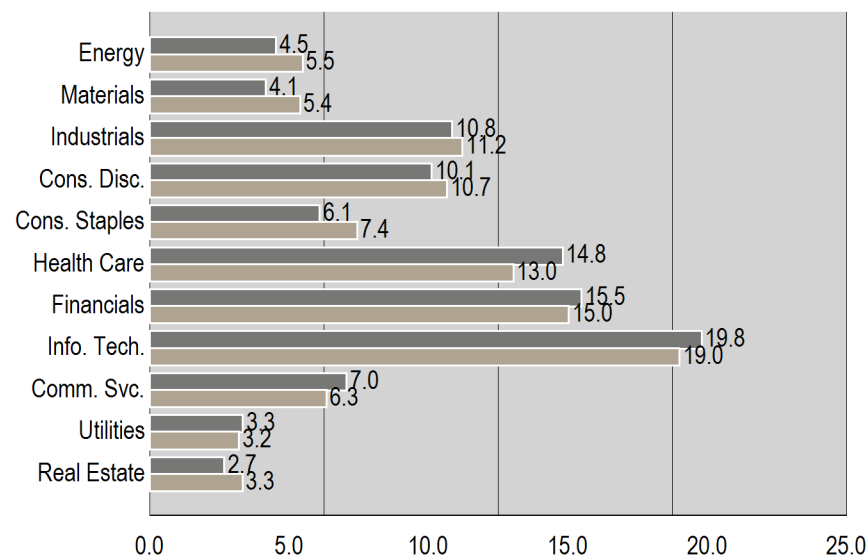
Top Holdings

MICROSOFT CORP	3.2%
APPLE INC	3.1%
AMAZON.COM INC	1.3%
ALPHABET INC	1.2%
JOHNSON & JOHNSON	1.0%
ALPHABET INC	1.0%
BERKSHIRE HATHAWAY INC	0.9%
UNITEDHEALTH GROUP INC	0.8%
JPMORGAN CHASE & CO	0.7%
EXXON MOBIL CORP	0.7%
Total	13.8%

Market Capitalization

	Small Cap	Mid Cap	Large Cap	Unclassified
Total Equity Composite	10.0%	17.2%	70.6%	2.2%
MSCI ACWI IMI Net USD	15.3%	15.4%	69.3%	0.0%
<i>Weight Over/Under</i>	-5.2%	1.8%	1.3%	2.2%

Sector Allocation (%) vs MSCI ACWI IMI Net USD



Region Allocation Summary

Region	% of Total	% of Bench	% Diff
North America ex U.S.	1.9%	3.1%	-1.2%
United States	71.9%	59.4%	12.5%
Europe Ex U.K.	9.8%	12.4%	-2.6%
United Kingdom	3.3%	4.0%	-0.6%
Pacific Basin Ex Japan	2.4%	3.4%	-1.0%
Japan	3.3%	6.1%	-2.8%
Emerging Markets	6.5%	11.2%	-4.8%
Other	0.9%	0.4%	0.5%
Total	100.0%	100.0%	0.0%

Characteristics

	Portfolio	Russell 3000
Number of Holdings	1,335	2,960
Weighted Avg. Market Cap. (\$B)	344.0	360.3
Median Market Cap. (\$B)	6.4	2.5
Price To Earnings	18.1	18.5
Price To Book	3.5	3.6
Price To Sales	2.1	2.2
Return on Equity (%)	26.5	23.9
Yield (%)	1.7	1.7

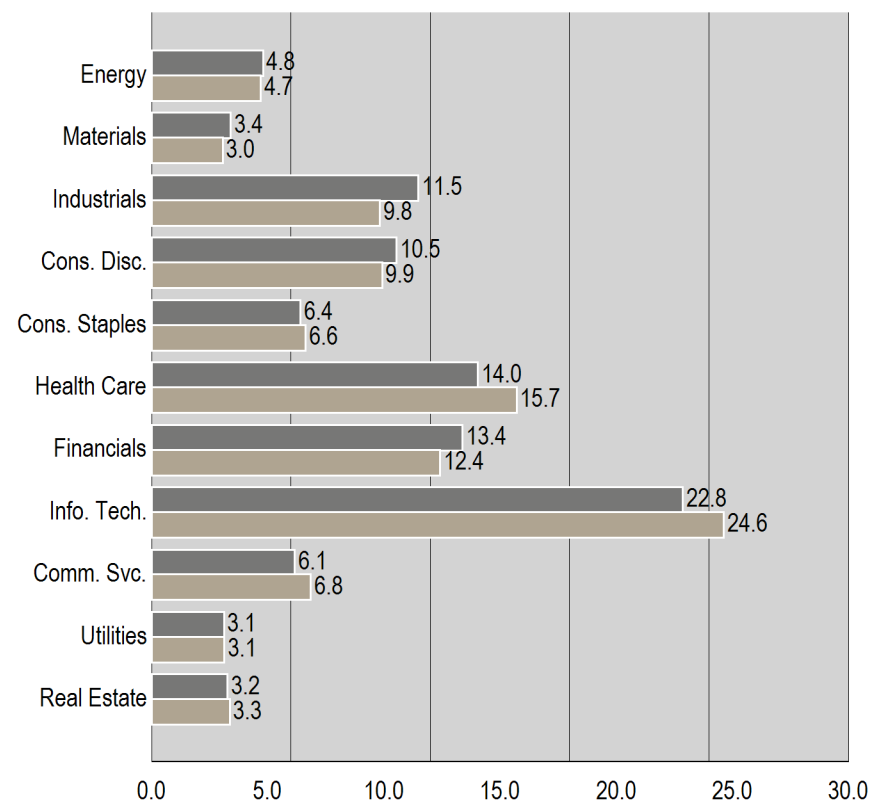
Top Holdings

APPLE INC	5.0%
MICROSOFT CORP	4.6%
AMAZON.COM INC	1.9%
BERKSHIRE HATHAWAY INC	1.4%
ALPHABET INC	1.3%
UNITEDHEALTH GROUP INC	1.3%
ALPHABET INC	1.2%
JOHNSON & JOHNSON	1.2%
EXXON MOBIL CORP	1.2%
JPMORGAN CHASE & CO	1.0%
Total	20.1%

Market Capitalization

	Small Cap	Mid Cap	Large Cap	Unclassified
U.S. Equity Composite	2.7%	27.7%	68.3%	1.3%
Russell 3000	5.6%	22.7%	71.7%	0.0%
<i>Weight Over/Under</i>	-2.9%	5.0%	-3.4%	1.3%

Sector Allocation (%) vs Russell 3000



Common Holdings Matrix

	<i>Fidelity 500 Index</i>		<i>Eaton Vance Atlanta Capital SMID</i>		<i>Vanguard Small-Cap Value Index</i>	
	#	%	#	%	#	%
Fidelity 500 Index	--	--	16	29	45	13
Eaton Vance Atlanta Capital SMID	16	1	--	--	20	6
Vanguard Small-Cap Value Index	45	1	20	40	--	--

Characteristics

	Portfolio	MSCI ACWI IMI Net USD
Number of Holdings	217	9,146
Weighted Avg. Market Cap. (\$B)	139.8	243.4
Median Market Cap. (\$B)	43.3	1.9
Price To Earnings	16.9	15.5
Price To Book	2.8	3.0
Price To Sales	1.8	1.7
Return on Equity (%)	18.9	19.4
Yield (%)	2.0	2.4

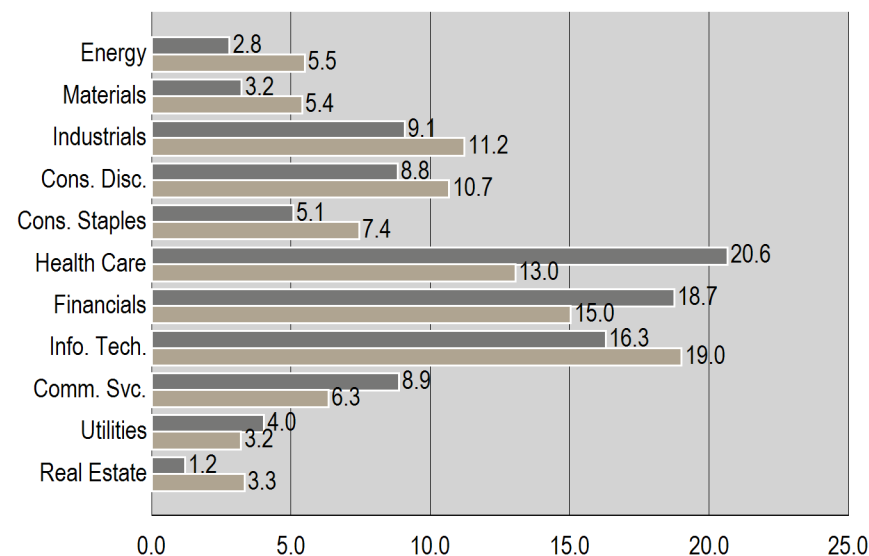
Top Holdings

SCHWAB (CHARLES) CORP	1.9%
NOVO NORDISK 'B'	1.9%
VEEVA SYSTEMS INC	1.7%
NEXTERA ENERGY INC	1.7%
TECHTRONIC INDUSTRIES CO LTD	1.6%
UBS GROUP AG	1.6%
BOSTON SCIENTIFIC CORP	1.5%
MICROSOFT CORP	1.4%
ALPHABET INC	1.4%
ADVANCED MICRO DEVICES INC	1.4%
Total	15.9%

Market Capitalization

	Small Cap	Mid Cap	Large Cap	Unclassified
Global Equity Composite	3.3%	20.4%	73.7%	2.6%
MSCI ACWI IMI Net USD	15.3%	15.4%	69.3%	0.0%
<i>Weight Over/Under</i>	-12.0%	5.0%	4.4%	2.6%

Sector Allocation (%) vs MSCI ACWI IMI Net USD



Region Allocation Summary

Region	% of Total	% of Bench	% Diff
North America ex U.S.	4.4%	3.1%	1.3%
United States	49.4%	59.4%	-10.0%
Europe Ex U.K.	20.2%	12.4%	7.8%
United Kingdom	6.8%	4.0%	2.8%
Pacific Basin Ex Japan	5.2%	3.4%	1.8%
Japan	5.9%	6.1%	-0.2%
Emerging Markets	6.4%	11.2%	-4.8%
Other	1.6%	0.4%	1.2%
Total	100.0%	100.0%	0.0%

Common Holdings Matrix

	<i>Dodge & Cox Global Stock</i>		<i>Artisan Global Opportunities</i>		<i>MFS Low Volatility Global Equity</i>	
	#	%	#	%	#	%
Dodge & Cox Global Stock	--	--	3	7	11	10
Artisan Global Opportunities	3	5	--	--	2	3
MFS Low Volatility Global Equity	11	18	2	7	--	--

Characteristics

	Portfolio	MSCI ACWI ex USA IMI
Number of Holdings	4,331	6,585
Weighted Avg. Market Cap. (\$B)	65.6	69.8
Median Market Cap. (\$B)	3.2	1.6
Price To Earnings	11.8	12.6
Price To Book	2.4	2.4
Price To Sales	1.2	1.2
Return on Equity (%)	15.1	14.6
Yield (%)	3.5	3.4

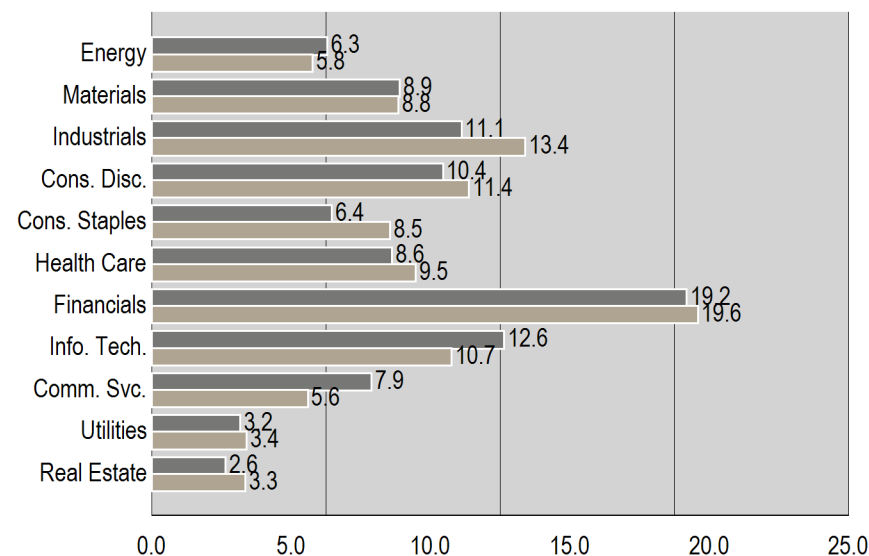
Top Holdings

TAIWAN SEMICONDUCTOR MANUFACTURING CO LTD	2.2%
TENCENT HOLDINGS LTD	1.5%
SAMSUNG ELECTRONICS CO LTD	0.9%
ALIBABA GROUP HOLDING LTD	0.8%
ROCHE HOLDING AG	0.7%
NESTLE SA, CHAM UND VEVEY	0.7%
SHELL PLC	0.7%
ASTRAZENECA PLC	0.7%
NOVARTIS AG	0.7%
ASML HOLDING NV	0.6%
Total	9.4%

Market Capitalization

	Small Cap	Mid Cap	Large Cap	Unclassified
Non-U.S. Equity Composite	27.1%	20.9%	46.6%	5.4%
MSCI ACWI ex USA IMI	24.0%	21.5%	54.5%	0.0%
<i>Weight Over/Under</i>	3.1%	-0.6%	-7.9%	5.4%

Sector Allocation (%) vs MSCI ACWI ex USA IMI



Region Allocation Summary

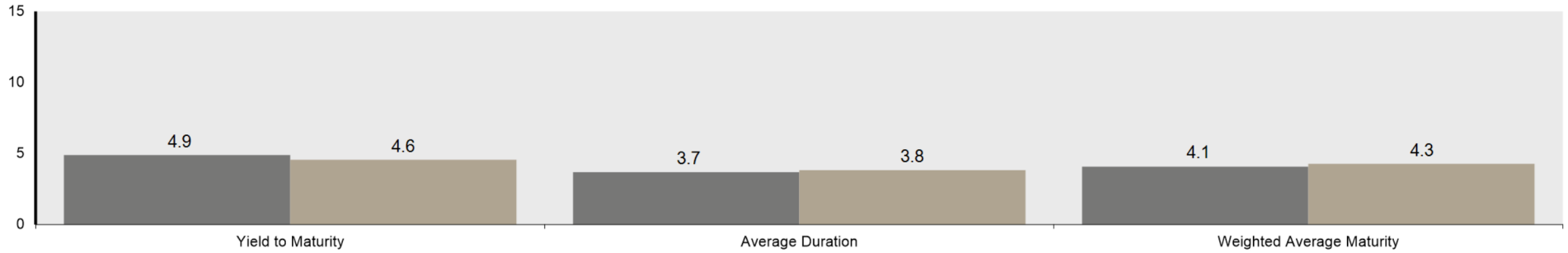
Region	% of Total	% of Bench	% Diff
North America ex U.S.	6.1%	7.6%	-1.5%
United States	0.9%	0.0%	0.9%
Europe Ex U.K.	27.0%	30.5%	-3.5%
United Kingdom	8.5%	9.8%	-1.3%
Pacific Basin Ex Japan	7.9%	8.4%	-0.5%
Japan	13.0%	15.0%	-2.0%
Emerging Markets	34.4%	27.7%	6.7%
Other	2.2%	0.9%	1.2%
Total	100.0%	100.0%	0.0%

Common Holdings Matrix

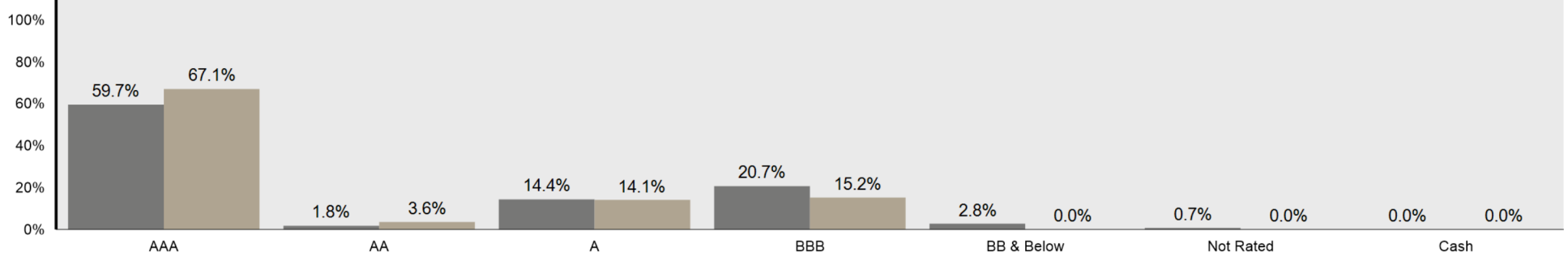
	<i>Hartford Schrodgers Int'l Multi-Cap Value</i>		<i>Fidelity Total International Index</i>		<i>Harding Loevner Int'l Small Companies Portfolio</i>		<i>Wellington Emerging Markets Opportunities</i>	
	#	%	#	%	#	%	#	%
Hartford Schrodgers Int'l Multi-Cap Value	--	--	452	27	3	4	30	31
Fidelity Total International Index	452	89	--	--	59	70	116	76
Harding Loevner Int'l Small Companies Portfolio	3	0	59	1	--	--	1	0
Wellington Emerging Markets Opportunities	30	10	116	11	1	1	--	--

As of December 31, 2022

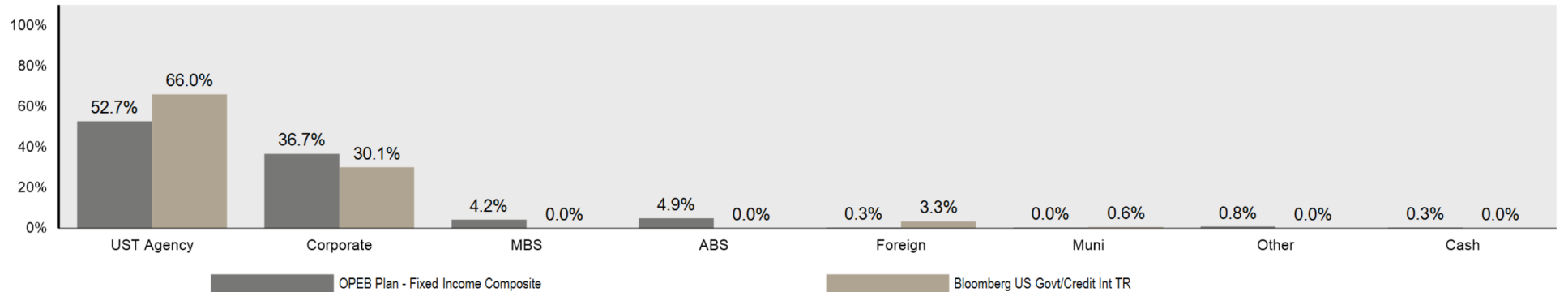
Yield to Maturity



Credit Quality



US Sector



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Sussex County, Delaware

Investment Managers



Manager Summary: Passively-managed. Seeks to provide investment results that correspond to the total return performance of common stocks publicly traded in the United States. Normally investing at least 80% of assets in common stocks included in the S&P 500 Index, which broadly represents the performance of common stocks publicly traded in the United States.

Characteristics

	Portfolio	S&P 500
Number of Holdings	505	503
Weighted Avg. Market Cap. (\$B)	413.4	415.6
Median Market Cap. (\$B)	29.6	29.6
Price To Earnings	19.3	19.5
Price To Book	3.9	3.9
Price To Sales	2.5	2.5
Return on Equity (%)	30.2	30.0
Yield (%)	1.8	1.7

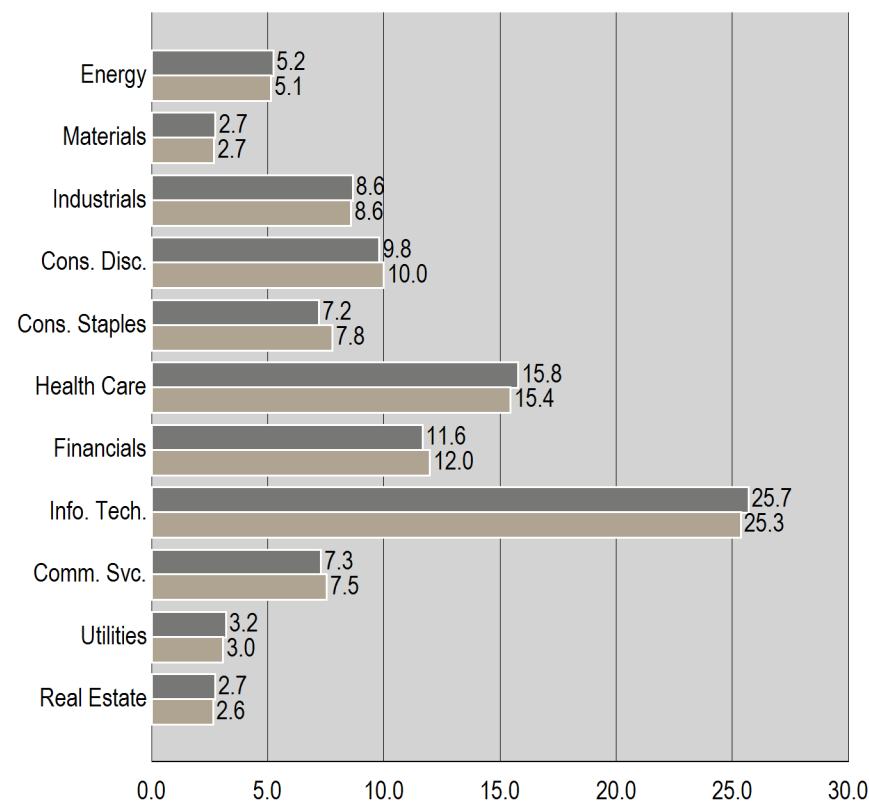
Top Holdings

APPLE INC	6.0%
MICROSOFT CORP	5.6%
AMAZON.COM INC	2.3%
BERKSHIRE HATHAWAY INC	1.7%
ALPHABET INC	1.6%
UNITEDHEALTH GROUP INC	1.5%
ALPHABET INC	1.5%
JOHNSON & JOHNSON	1.4%
EXXON MOBIL CORP	1.4%
JPMORGAN CHASE & CO	1.2%
Total	24.4%

Market Capitalization

	Small Cap	Mid Cap	Large Cap
Fidelity 500 Index	0.1%	16.3%	83.6%
S&P 500	0.1%	16.2%	83.7%
<i>Weight Over/Under</i>	<i>0.0%</i>	<i>0.1%</i>	<i>-0.1%</i>

Sector Allocation (%) vs S&P 500



Manager Summary: Focus on investing in high-quality companies with a history of stable and consistent earnings. Emphasize innovative business models, shareholder-friendly managements and companies with limited Wall Street coverage. Seek high levels of free cash flow with low volatility over time. Portfolio comprised of companies with high credit ratings - tends to outperform when quality is in favor.

Characteristics

	Portfolio	Russell 2500
Number of Holdings	54	2,448
Weighted Avg. Market Cap. (\$B)	11.0	6.1
Median Market Cap. (\$B)	10.1	1.5
Price To Earnings	21.5	13.1
Price To Book	3.4	2.5
Price To Sales	2.0	1.4
Return on Equity (%)	23.3	11.2
Yield (%)	0.9	1.7

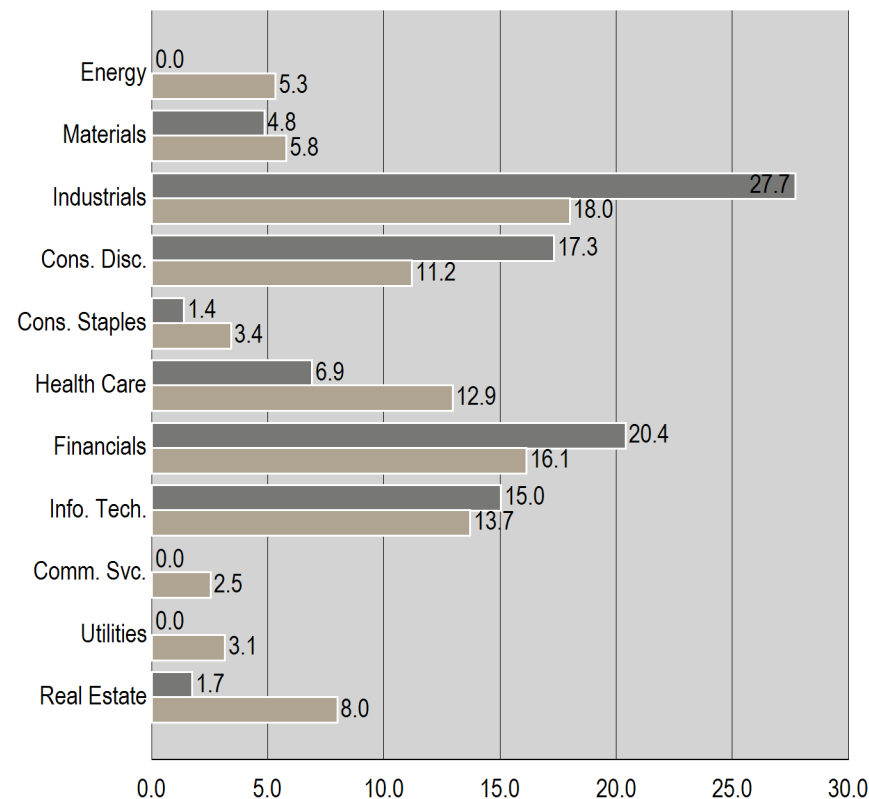
Top Holdings

BERKLEY (W.R.) CORP	5.0%
CARLISLE COS INC	4.3%
ARAMARK	3.4%
ENVISTA HOLDINGS CORP	3.3%
BROWN & BROWN INC	3.1%
RPM INTERNATIONAL INC	2.9%
AFFILIATED MANAGERS GROUP INC.	2.8%
SEI INVESTMENTS CO	2.6%
ULTA BEAUTY INC	2.6%
LANDSTAR SYSTEM INC	2.5%
Total	32.6%

Market Capitalization

	Small Cap	Mid Cap	Large Cap
Eaton Vance Atlanta Capital SMID	1.2%	98.8%	0.0%
Russell 2500	36.4%	63.6%	0.0%
<i>Weight Over/Under</i>	<i>-35.3%</i>	<i>35.3%</i>	<i>0.0%</i>

Sector Allocation (%) vs Russell 2500



As of December 31, 2022

Manager Summary: Passively managed to track the performance of the CRSP US Small Cap Value Index. Follows a full-replication approach whereby the fund attempts to hold the same securities at the same weights as the benchmark. Low expense ratio means the returns will also track the benchmark closely on a net-of-fees basis.

Characteristics

	Portfolio	CRSP US Small Cap Value TR USD
Number of Holdings	857	857
Weighted Avg. Market Cap. (\$B)	6.1	6.2
Median Market Cap. (\$B)	2.8	2.8
Price To Earnings	11.0	11.0
Price To Book	2.1	2.1
Price To Sales	1.0	1.0
Return on Equity (%)	15.6	15.6
Yield (%)	2.4	2.4

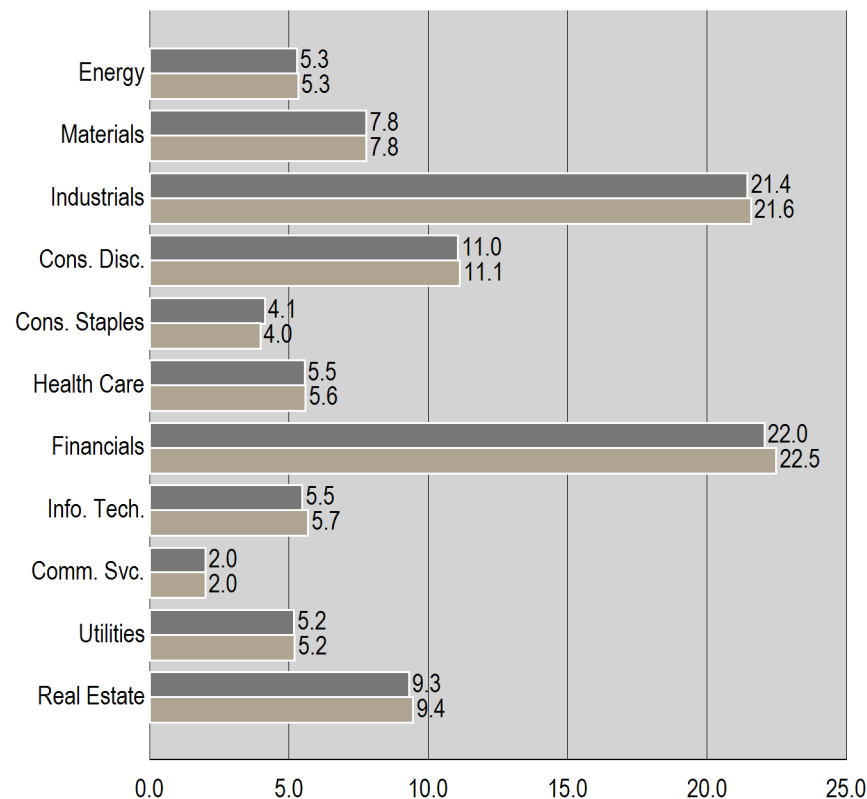
Top Holdings

IDEX CORP	0.7%
STEEL DYNAMICS INC	0.6%
ATMOS ENERGY CORP	0.6%
APA CORPORATION	0.6%
BUNGE LTD	0.6%
HOWMET AEROSPACE INC	0.6%
BOOZ ALLEN HAMILTON HOLDING CORPORATION	0.5%
FIRST HORIZON CORP	0.5%
KIMCO REALTY CORP	0.5%
GAMING AND LEISURE PROPERTIES INC	0.5%
Total	5.7%

Market Capitalization

	Small Cap	Mid Cap	Large Cap
Vanguard Small-Cap Value Index	76.3%	23.7%	0.0%
CRSP US Small Cap Value TR USD	77.4%	22.6%	0.0%
<i>Weight Over/Under</i>	<i>-1.2%</i>	<i>1.2%</i>	<i>0.0%</i>

Sector Allocation (%) vs CRSP US Small Cap Value TR USD



Manager Summary: Focuses on identifying large, well-established companies across the globe that trade at a discount to their long-term profit opportunities. Emphasize fundamental research, attempting to understand risks facing businesses over a 3-5-year time horizon. Seeks companies with solid management teams and strong, competitive franchises. Strategy tends to hold deep value stocks that may be out-of-favor in the short-term but offer good value for the long-term investor.

Characteristics

	Portfolio	MSCI ACWI
Number of Holdings	91	2,883
Weighted Avg. Market Cap. (\$B)	141.4	274.2
Median Market Cap. (\$B)	39.4	11.9
Price To Earnings	12.2	16.1
Price To Book	2.3	3.2
Price To Sales	1.2	1.9
Return on Equity (%)	19.2	22.0
Yield (%)	2.5	2.4

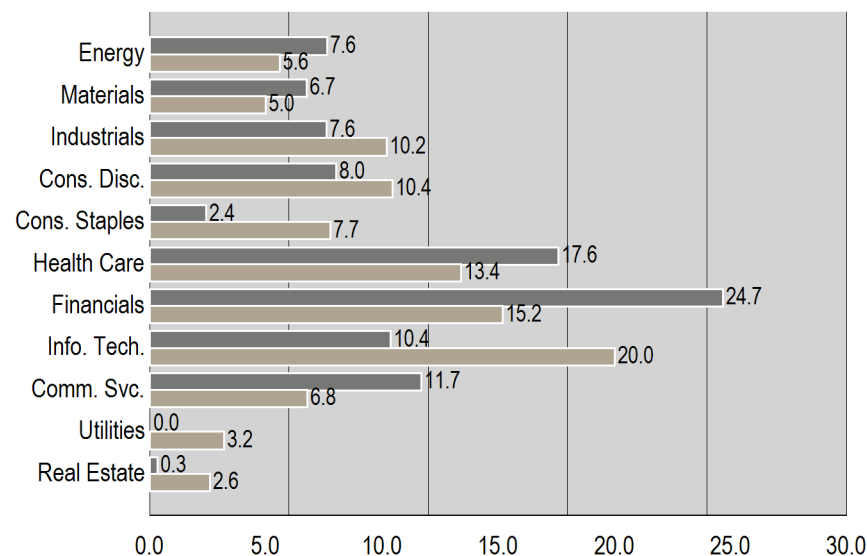
Top Holdings

SANOFI	3.5%
OCCIDENTAL PETROLEUM CORP	2.9%
ALPHABET INC	2.8%
SCHWAB (CHARLES) CORP	2.5%
GSK PLC	2.5%
SUNCOR ENERGY INC.	2.4%
OVINTIV INC	2.4%
VMWARE INC	2.4%
PROSUS ORD	2.3%
COMCAST CORP	2.3%
Total	26.0%

Market Capitalization

	Small Cap	Mid Cap	Large Cap	Unclassified
Dodge & Cox Global Stock	2.7%	15.4%	78.4%	3.5%
MSCI ACWI	5.1%	16.3%	78.6%	0.0%
<i>Weight Over/Under</i>	<i>-2.5%</i>	<i>-0.8%</i>	<i>-0.2%</i>	<i>3.5%</i>

Sector Allocation (%) vs MSCI ACWI



Region Allocation Summary

Region	% of Total	% of Bench	% Diff
North America ex U.S.	4.3%	3.0%	1.2%
United States	48.7%	60.4%	-11.6%
Europe Ex U.K.	24.6%	12.6%	12.1%
United Kingdom	8.6%	3.9%	4.8%
Pacific Basin Ex Japan	0.1%	3.2%	-3.1%
Japan	2.5%	5.6%	-3.0%
Emerging Markets	11.1%	11.1%	0.0%
Other	0.0%	0.3%	-0.3%
Total	100.0%	100.0%	0.0%

Manager Summary: Targets high-quality companies with above-average and sustainable earnings growth. Holdings tend to be global franchises with strong industry positioning. Portfolio will typically include 50-70 stocks and tends to have low turnover. Relatively unconstrained with respect to country, sector & position weights.

Characteristics

	Portfolio	MSCI ACWI
Number of Holdings	44	2,883
Weighted Avg. Market Cap. (\$B)	118.3	274.2
Median Market Cap. (\$B)	40.9	11.9
Price To Earnings	26.1	16.1
Price To Book	3.8	3.2
Price To Sales	4.2	1.9
Return on Equity (%)	13.7	22.0
Yield (%)	0.9	2.4

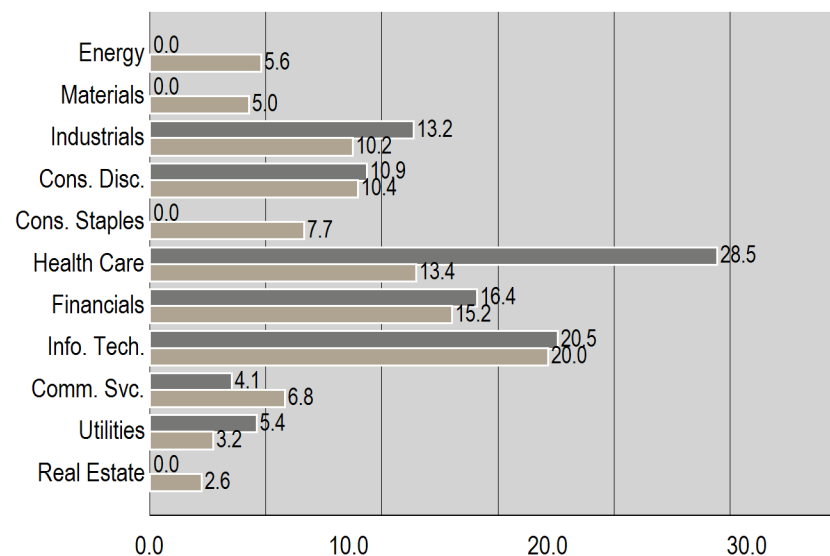
Top Holdings

VEEVA SYSTEMS INC	5.4%
NEXTERA ENERGY INC	5.4%
TECHTRONIC INDUSTRIES CO LTD	5.2%
BOSTON SCIENTIFIC CORP	4.7%
ADVANCED MICRO DEVICES INC	4.4%
NOVO NORDISK 'B'	3.9%
LONZA GROUP AG	3.8%
ASTRAZENECA PLC	3.7%
SCHWAB (CHARLES) CORP	3.5%
CNH INDUSTRIAL N.V.	3.2%
Total	43.2%

Market Capitalization

	Small Cap	Mid Cap	Large Cap	Unclassified
Artisan Global Opportunities	0.0%	22.6%	74.9%	2.5%
MSCI ACWI	5.1%	16.3%	78.6%	0.0%
<i>Weight Over/Under</i>	-5.1%	6.3%	-3.7%	2.5%

Sector Allocation (%) vs MSCI ACWI



Region Allocation Summary

Region	% of Total	% of Bench	% Diff
North America ex U.S.	2.5%	3.0%	-0.5%
United States	51.2%	60.4%	-9.2%
Europe Ex U.K.	21.8%	12.6%	9.3%
United Kingdom	10.1%	3.9%	6.3%
Pacific Basin Ex Japan	10.1%	3.2%	6.9%
Japan	4.3%	5.6%	-1.3%
Emerging Markets	0.0%	11.1%	-11.1%
Other	0.0%	0.3%	-0.3%
Total	100.0%	100.0%	0.0%

Manager Summary: Strategy seeks to produce long-term excess market returns with less volatility than the market. Investment process combines quantitative inputs and fundamental analysis. Only stocks that exhibit low volatility are considered for further analysis. Fundamental inputs include analyst expectations for earnings and valuation. Stocks are then rated buy, hold, or sell. Strategy typically holds 80-120 names with a maximum position limit of 4%.

Characteristics

	Portfolio	MSCI ACWI
Number of Holdings	98	2,883
Weighted Avg. Market Cap. (\$B)	156.8	274.2
Median Market Cap. (\$B)	49.6	11.9
Price To Earnings	17.6	16.1
Price To Book	2.7	3.2
Price To Sales	1.7	1.9
Return on Equity (%)	23.0	22.0
Yield (%)	2.5	2.4

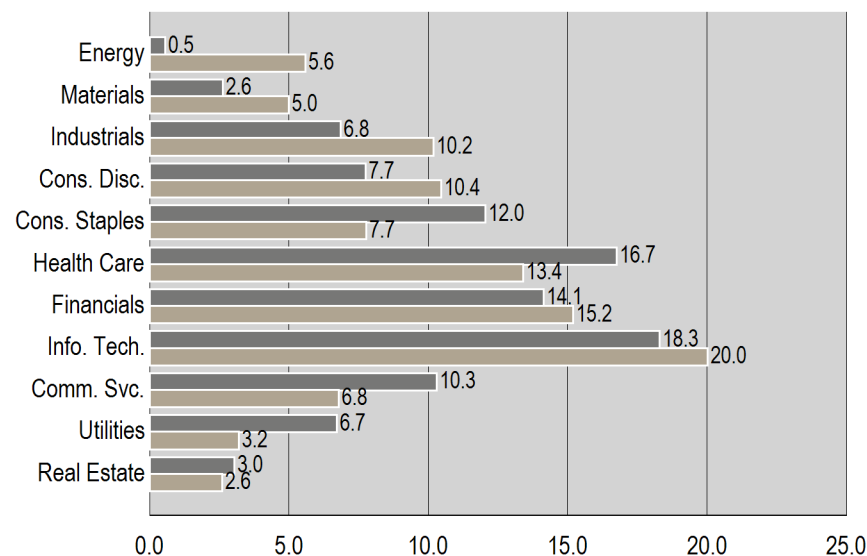
Top Holdings

DBS GROUP HOLDINGS LTD	3.1%
JOHNSON & JOHNSON	3.0%
AMDOCS LTD	3.0%
MCKESSON CORP	2.5%
MICROSOFT CORP	2.5%
ROCHE HOLDING AG	2.4%
KDDI CORP	2.3%
EVEREST RE GROUP LTD	2.3%
DOLLAR GENERAL CORPORATION	2.0%
GENERAL MILLS INC.	2.0%
Total	25.1%

Market Capitalization

	Small Cap	Mid Cap	Large Cap	Unclassified
MFS Low Volatility Global Equity	6.9%	23.4%	68.1%	1.7%
MSCI ACWI	5.1%	16.3%	78.6%	0.0%
<i>Weight Over/Under</i>	<i>1.7%</i>	<i>7.1%</i>	<i>-10.6%</i>	<i>1.7%</i>

Sector Allocation (%) vs MSCI ACWI



Region Allocation Summary

Region	% of Total	% of Bench	% Diff
North America ex U.S.	6.2%	3.0%	3.2%
United States	49.3%	60.4%	-11.0%
Europe Ex U.K.	14.5%	12.6%	1.9%
United Kingdom	2.2%	3.9%	-1.7%
Pacific Basin Ex Japan	5.9%	3.2%	2.7%
Japan	10.6%	5.6%	5.1%
Emerging Markets	6.7%	11.1%	-4.4%
Other	4.6%	0.3%	4.3%
Total	100.0%	100.0%	0.0%

Manager Summary: Quantitative process leads to a diversified, all-cap portfolio with developed and emerging market exposure. The team seeks stocks trading at attractive valuations with higher quality fundamentals than industry peers. Weighting scheme favors higher-quality and more liquid securities. Portfolio tends to hold more than 500 stocks

Characteristics

	Portfolio	MSCI ACWI ex USA Value
Number of Holdings	540	1,343
Weighted Avg. Market Cap. (\$B)	51.7	60.4
Median Market Cap. (\$B)	4.3	8.5
Price To Earnings	8.5	9.3
Price To Book	2.0	1.7
Price To Sales	0.9	0.9
Return on Equity (%)	16.9	11.9
Yield (%)	4.7	5.0

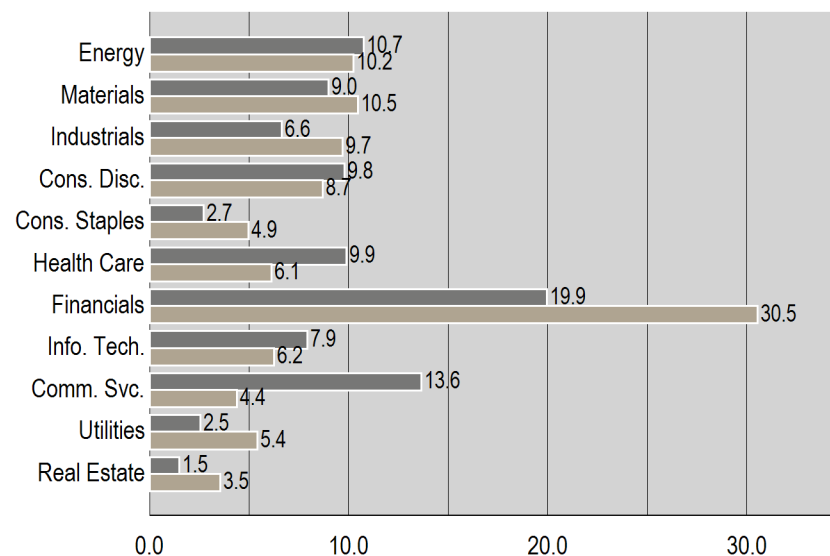
Top Holdings

ROCHE HOLDING AG	1.5%
SHELL PLC	1.4%
ONO PHARMACEUTICAL CO LTD	1.4%
NOVARTIS AG	1.4%
KDDI CORP	1.4%
ASTELLAS PHARMA INC	1.4%
EQUINOR ASA	1.3%
TAIWAN SEMICONDUCTOR MANUFACTURING CO LTD	1.3%
SWISSCOM AG, ITTIGEN	1.3%
ASTRAZENECA PLC	1.3%
Total	13.6%

Market Capitalization

	Small Cap	Mid Cap	Large Cap	Unclassified
Hartford Schrodgers Int'l Multi-Cap Value	24.1%	27.8%	40.7%	7.4%
MSCI ACWI ex USA Value	12.7%	27.1%	60.1%	0.0%
<i>Weight Over/Under</i>	<i>11.3%</i>	<i>0.6%</i>	<i>-19.4%</i>	<i>7.4%</i>

Sector Allocation (%) vs MSCI ACWI ex USA Value



Region Allocation Summary

Region	% of Total	% of Bench	% Diff
North America ex U.S.	9.2%	7.6%	1.6%
United States	0.0%	0.0%	0.0%
Europe Ex U.K.	30.5%	29.2%	1.3%
United Kingdom	11.5%	12.6%	-1.1%
Pacific Basin Ex Japan	8.0%	8.1%	-0.1%
Japan	17.9%	14.5%	3.4%
Emerging Markets	20.8%	27.3%	-6.4%
Other	2.0%	0.7%	1.3%
Total	100.0%	100.0%	0.0%

As of December 31, 2022

Manager Summary: The investment seeks to provide investment results that correspond to the total return of foreign developed and emerging stock markets. The fund normally invests at least 80% of assets in securities included in the MSCI ACWI (All Country World Index) ex USA Investable Market Index and in depository receipts representing securities included in the index. The MSCI ACWI (All Country World Index) ex USA Investable Market Index is a market capitalization-weighted index designed to measure the investable equity market performance for global investors of large, mid, and small-cap stocks in developed and emerging markets, excluding the U.S.

Characteristics

	Portfolio	MSCI ACWI ex USA IMI
Number of Holdings	4,179	6,585
Weighted Avg. Market Cap. (\$B)	69.2	69.8
Median Market Cap. (\$B)	2.9	1.6
Price To Earnings	12.6	12.6
Price To Book	2.4	2.4
Price To Sales	1.2	1.2
Return on Equity (%)	14.7	14.6
Yield (%)	3.4	3.4

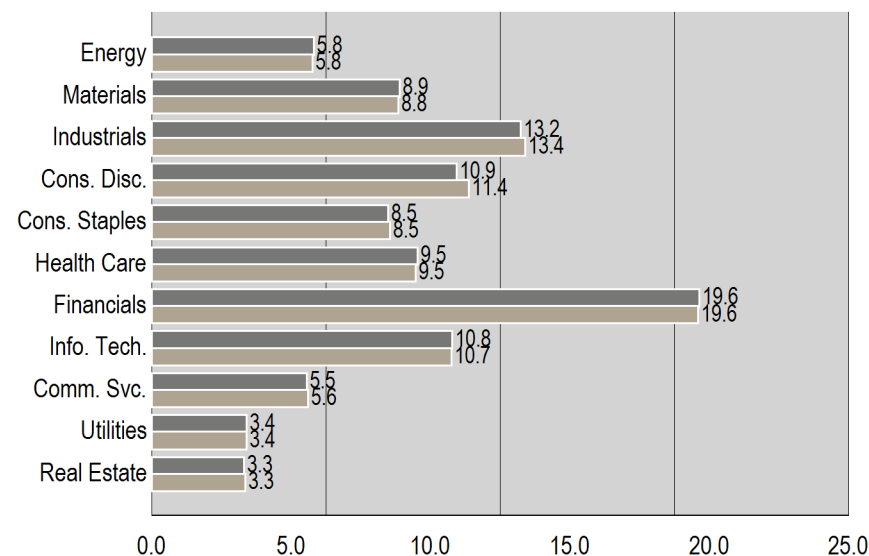
Top Holdings

TAIWAN SEMICONDUCTOR MANUFACTURING CO LTD	1.4%
NESTLE SA, CHAM UND VEVEY	1.2%
TENCENT HOLDINGS LTD	1.0%
NOVO NORDISK 'B'	0.9%
ROCHE HOLDING AG	0.9%
ASML HOLDING NV	0.9%
ASTRAZENECA PLC	0.8%
SAMSUNG ELECTRONICS CO LTD	0.8%
SHELL PLC	0.8%
LVMH MOET HENNESSY LOUIS VUITTON SE	0.8%
Total	9.5%

Market Capitalization

	Small Cap	Mid Cap	Large Cap	Unclassified
Fidelity Total International Index	21.3%	21.8%	53.7%	3.2%
MSCI ACWI ex USA IMI	24.0%	21.5%	54.5%	0.0%
<i>Weight Over/Under</i>	<i>-2.7%</i>	<i>0.3%</i>	<i>-0.8%</i>	<i>3.2%</i>

Sector Allocation (%) vs MSCI ACWI ex USA IMI



Region Allocation Summary

Region	% of Total	% of Bench	% Diff
North America ex U.S.	7.7%	7.6%	0.1%
United States	0.2%	0.0%	0.2%
Europe Ex U.K.	32.1%	30.5%	1.6%
United Kingdom	8.2%	9.8%	-1.6%
Pacific Basin Ex Japan	9.7%	8.4%	1.2%
Japan	15.2%	15.0%	0.2%
Emerging Markets	25.3%	27.7%	-2.4%
Other	1.6%	0.9%	0.7%
Total	100.0%	100.0%	0.0%

Manager Summary: Employs a fundamental bottom-up investing approach with a focus on growth at a reasonable price. Fundamental research is employed to identify investments with four key criteria: competitive advantage, quality management, financial strength, and sustainable growth. The strategy generally holds 75-150 names and will include emerging markets and frontier markets, with the total of the two capped at 30%.

Characteristics

	Portfolio	MSCI ACWI ex US Small Cap Growth NR USD
Number of Holdings	87	2,456
Weighted Avg. Market Cap. (\$B)	3.1	2.4
Median Market Cap. (\$B)	2.7	1.0
Price To Earnings	17.7	16.5
Price To Book	2.5	2.6
Price To Sales	1.7	1.5
Return on Equity (%)	16.1	13.8
Yield (%)	2.4	1.9

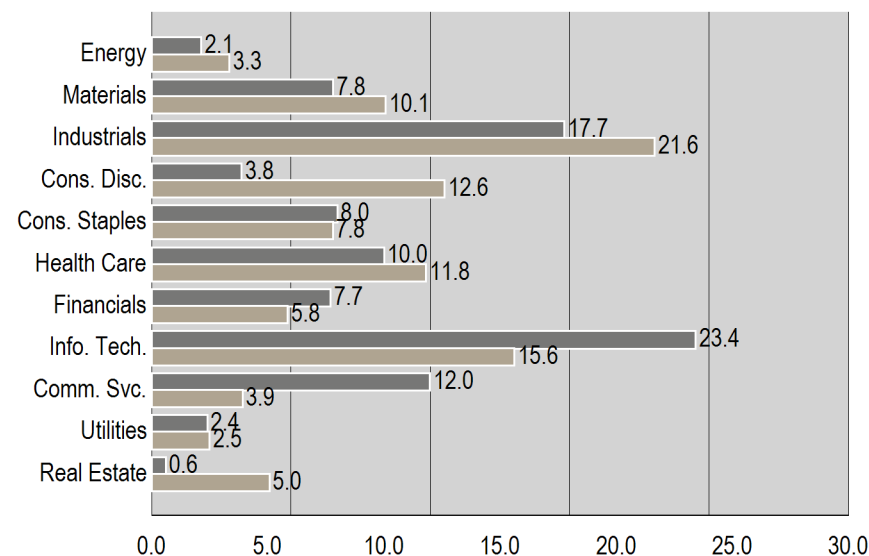
Top Holdings

RUBIS SA, PARIS	2.4%
MEGACABLE HOLDINGS SAB DE	2.3%
KEYWORDS STUDIOS PLC	2.3%
REPLY SPA, TORINO	2.2%
DIPLOMA	2.2%
ALTEN	2.1%
SENIOR PLC	2.1%
HOA PHAT GROUP JOINT STOCK CO	2.1%
SIAULIU BANKAS AB	2.0%
ABCAM PLC ADR	2.0%
Total	21.7%

Market Capitalization

	Small Cap	Mid Cap	Large Cap	Unclassified
Harding Loevner Int'l Small Companies Portfolio	86.4%	5.2%	0.0%	8.4%
MSCI ACWI ex US Small Cap Growth NR USD	98.9%	1.1%	0.0%	0.0%
<i>Weight Over/Under</i>	<i>-12.5%</i>	<i>4.1%</i>	<i>0.0%</i>	<i>8.4%</i>

Sector Allocation (%) vs MSCI ACWI ex US Small Cap Growth NR USD



Region Allocation Summary

Region	% of Total	% of Bench	% Diff
North America ex U.S.	2.0%	7.3%	-5.3%
United States	4.3%	0.0%	4.3%
Europe Ex U.K.	33.9%	23.3%	10.6%
United Kingdom	16.5%	9.9%	6.6%
Pacific Basin Ex Japan	2.3%	10.6%	-8.2%
Japan	12.1%	21.1%	-9.0%
Emerging Markets	23.0%	25.7%	-2.7%
Other	6.0%	2.1%	3.9%
Total	100.0%	100.0%	0.0%

Manager Summary: Strategy employs a fundamental investment approach centered on industry focused bottom-up analysis. Invest in companies with a market capitalization in the largest 95% of the MSCI Emerging Markets Index by weight. Portfolio typically has 80-200 holdings.

Characteristics

	Portfolio	MSCI Emerging Markets
Number of Holdings	152	1,375
Weighted Avg. Market Cap. (\$B)	102.5	95.7
Median Market Cap. (\$B)	14.5	6.5
Price To Earnings	11.4	11.4
Price To Book	3.0	2.6
Price To Sales	1.2	1.1
Return on Equity (%)	15.7	14.4
Yield (%)	3.6	3.4

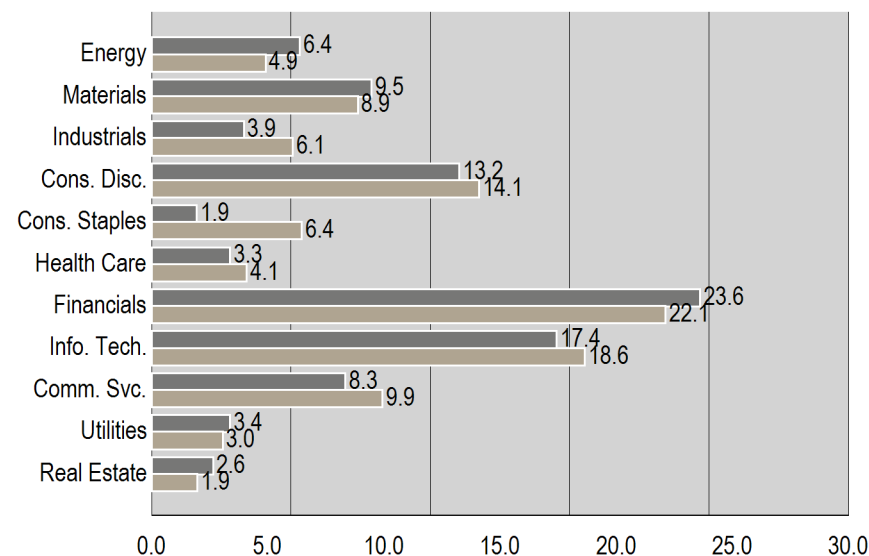
Top Holdings

TAIWAN SEMICONDUCTOR MANUFACTURING CO LTD	7.3%
TENCENT HOLDINGS LTD	4.8%
SAMSUNG ELECTRONICS CO LTD	2.4%
BHARTI AIRTEL - COM	2.4%
PT BANK RAKYAT INDONESIA TBK	2.3%
RELIANCE INDUSTRIES LTD	2.3%
BANCO BRADESCO SA BRAD	2.0%
CONTEMPORARY AMPEREX TECHNOLOGY CO LTD	1.9%
KASIKORNBANK PUBLIC CO LTD	1.8%
KOTAK MAHINDRA BANK LTD	1.8%
Total	28.8%

Market Capitalization

	Small Cap	Mid Cap	Large Cap	Unclassified
Wellington Emerging Markets Opportunities	3.2%	22.1%	65.5%	9.2%
MSCI Emerging Markets	12.8%	23.3%	63.9%	0.0%
<i>Weight Over/Under</i>	-9.6%	-1.3%	1.6%	9.2%

Sector Allocation (%) vs MSCI Emerging Markets



Region Allocation Summary

Region	% of Total	% of Bench	% Diff
North America ex U.S.	0.0%	0.0%	0.0%
United States	2.3%	0.0%	2.3%
Europe Ex U.K.	1.1%	0.3%	0.7%
United Kingdom	1.9%	0.0%	1.9%
Pacific Basin Ex Japan	5.0%	0.0%	5.0%
Japan	0.7%	0.0%	0.7%
Emerging Markets	87.1%	98.7%	-11.6%
Other	2.0%	0.9%	1.1%
Total	100.0%	100.0%	0.0%

Characteristics

Fund GAV (\$MM)	\$23,973.7
Fund NAV (\$MM)	\$18,209.4
Cash (% of NAV)	1.8%
# of Investments	186
% in Top 10 by NAV	21.2%
Leverage %	20.4%
Occupancy	92.8%
# of MSAs	36
1-Year Dividend Yield	3.5%
As of Date	30-Sep-22

Strategy Breakdown

	% of Portfolio
Pre-Development	3.7%
Development	6.7%
Initial Leasing	1.4%
Operating	85.0%
Re-Development	
Other	3.3%

Top Five Metro Areas	% of NAV
Boston-Cambridge-Quincy, MA	12.2%
Los Angeles-Long Beach-Santa Ana, CA	12.1%
San Francisco-Oakland-Fremont, CA	10.3%
Seattle-Tacoma-Bellevue, WA	8.7%
New York-Northern New Jersey-Long Island, NY-NJ-PA	6.1%

Queue In:

Contribution Queue (\$MM)	
Anticipated Drawdown (Months)	

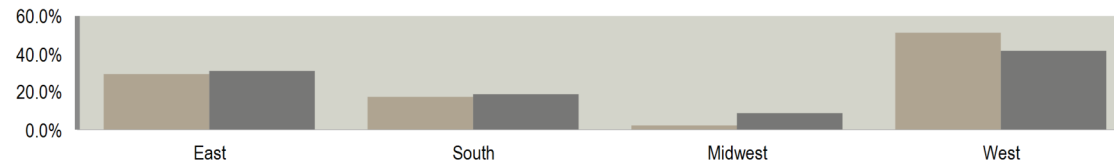
Queue Out:

Redemption Queue (\$MM)	\$1,101.00
Anticipated Payout (Months)	

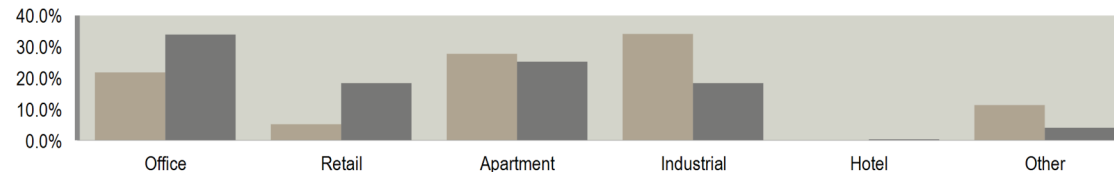
Top Ten Holdings Investment Detail

#	Property	Type	Location	% of Fund NAV
1	245 First Street	Office	Cambridge, MA	3.0%
2	75-125 Binney Street	Other	Cambridge, MA	2.8%
3	Mansfield Logistics Park	Industrial	Mansfield, NJ	2.5%
4	Savoy	Apartment	Sunnyvale, CA	2.1%
5	Silver State Commerce Center	Industrial	North Las Vegas, NV	1.9%
6	215 Fremont Street	Office	San Francisco, CA	1.9%
7	One Marina Park Drive	Office	Boston, MA	1.9%
8	Eastlake Life Science Campus	Other	Seattle, WA	1.8%
9	Cranbury Station	Industrial	Cranbury, NJ	1.7%
10	213 East Grand Avenue	Other	South San Francisco, CA	1.7%
Total				21.2%

Regional Breakdown by NAV (Excluding Cash & Debt)



Property Type Breakdown by NAV (Excluding Cash & Debt)



Property Size Breakdown by NAV (Excluding Cash & Debt)



■ Clarion Lion Properties Fund ■ NCREIF-ODCE

Characteristics

JPMorgan	
Fund Inception/Vintage Year	2007
Total Fund GAV (\$M)	\$50,840.7
Total Fund NAV (\$M)	\$26,846.2
Cash Balance % of NAV	0.0%
% in Top 10 by NAV	76.3%

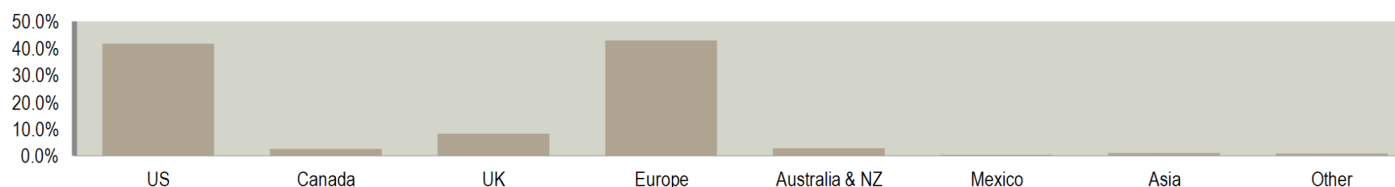
Strategy Breakdown

# of Investments	20		
# of Investors	1210		
# OECD Countries	28		
Trailing 12-month Dividend Yield	6.3%		
Queue Out:	\$284.8	Queue In:	\$4,299.4

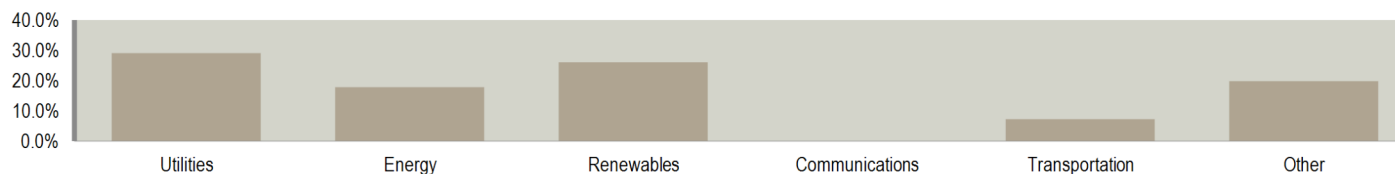
Top 10 Fund investments by NAV

Investment	Sector	Location	Investment (\$M)	Fair Mkt Val (\$M)	% of Portfolio
GETEC	Other	Europe		\$3,412.8	12.6%
El Paso Electric	Electric	United States		\$2,721.0	10.1%
Falck Renewables	Wind	UK/Europe/United States		\$2,567.1	9.5%
Summit Utilities	Gas	United States		\$2,465.5	9.1%
Onward Energy	Wind	United States		\$2,284.7	8.5%
Ventient Energy Limited	Wind	UK/Europe		\$1,653.8	6.1%
Koole Terminals	Storage	Netherlands		\$1,530.6	5.7%
Sonnexix Power Holdings	Solar	Various OECD		\$1,440.4	5.3%
Adven	Other	Finland/Sweden		\$1,417.5	5.2%
BWC Terminals	Storage	United States		\$1,124.4	4.2%
Total			\$0.0	\$20,617.8	76.3%

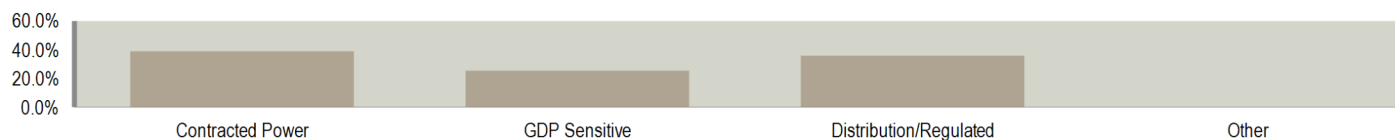
Country Breakdown of Active Assets



Sector Breakdown of Active Assets



Investment by Revenue Source



Manager Summary: Focuses on a relatively broad opportunity set across both infrastructure sectors and geography (emerging and developed markets) with an emphasis on companies that are owners and operators of infrastructure assets. Cohen & Steers will generally avoid cyclical subsectors such as oil and gas production (upstream energy) but will invest in midstream energy. The Fund screens for companies that exhibit relatively predictable inflation-lined cash flows and regulated and monopolistic businesses with high barriers to entry. Typically holds between 50-80 holdings at any given time with a concentration in the U.S. and larger capitalization stocks.

Characteristics

	Portfolio	MSCI ACWI
Number of Holdings	59	2,883
Weighted Avg. Market Cap. (\$B)	40.4	274.2
Median Market Cap. (\$B)	18.8	11.9
Price To Earnings	22.1	16.1
Price To Book	2.3	3.2
Price To Sales	2.7	1.9
Return on Equity (%)	12.0	22.0
Yield (%)	3.2	2.4

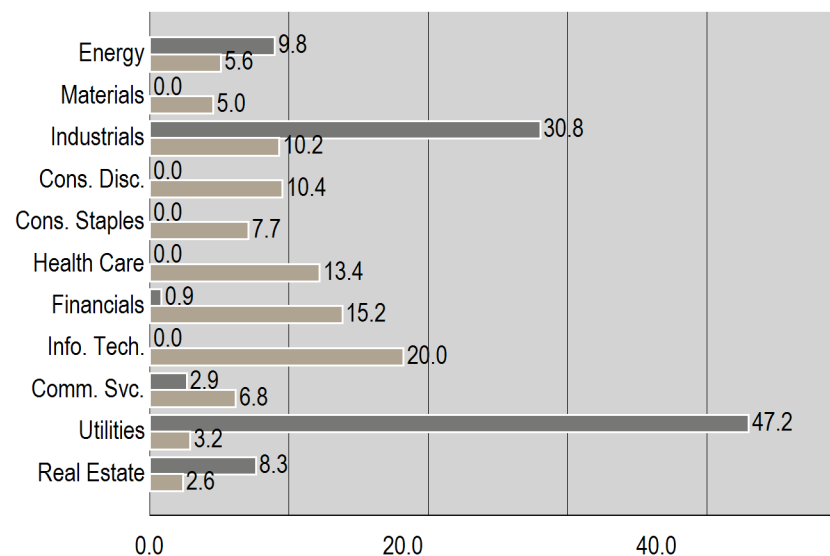
Top Holdings

NEXTERA ENERGY INC	6.6%
NORFOLK SOUTHERN CORP	5.4%
TRANSURBAN GROUP	5.0%
SEMPRA	4.6%
AMERICAN TOWER CORP	3.9%
PPL CORP	3.0%
TC ENERGY CORP	2.9%
AIRPORTS OF THAILAND PCL	2.6%
DTE ENERGY CO	2.4%
SBA COMMUNICATIONS CORP	2.4%
Total	38.8%

Market Capitalization

	Small Cap	Mid Cap	Large Cap	Unclassified
Cohen & Steers Global Infrastructure Fund	12.4%	30.1%	56.7%	0.8%
MSCI ACWI	5.1%	16.3%	78.6%	0.0%
<i>Weight Over/Under</i>	<i>7.3%</i>	<i>13.8%</i>	<i>-21.9%</i>	<i>0.8%</i>

Sector Allocation (%) vs MSCI ACWI

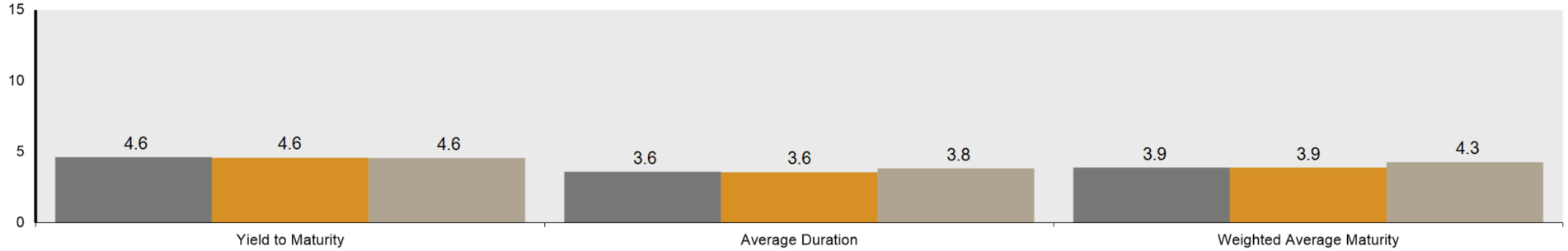


Region Allocation Summary

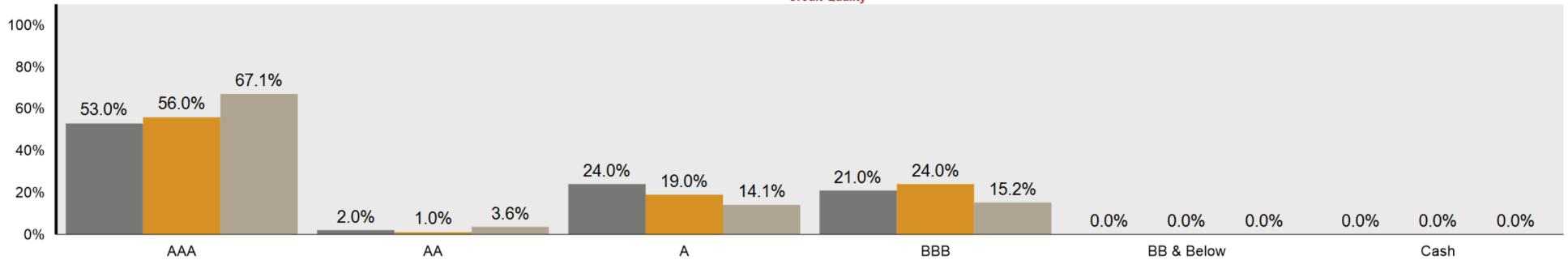
Region	% of Total	% of Bench	% Diff
North America ex U.S.	11.1%	3.0%	8.1%
United States	55.5%	60.4%	-4.9%
Europe Ex U.K.	5.7%	12.6%	-6.9%
United Kingdom	1.4%	3.9%	-2.4%
Pacific Basin Ex Japan	10.7%	3.2%	7.5%
Japan	4.1%	5.6%	-1.4%
Emerging Markets	11.4%	11.1%	0.3%
Other	0.0%	0.3%	-0.3%
Total	100.0%	100.0%	0.0%

Manager Summary: Strategy focuses equally on duration management, sector selection and yield curve exposure. Assess overall market environment and position portfolio to benefit from realistic expectations. Will actively trade, including analysis of technical factors, price momentum, interest rate outlook and yield curve movement.

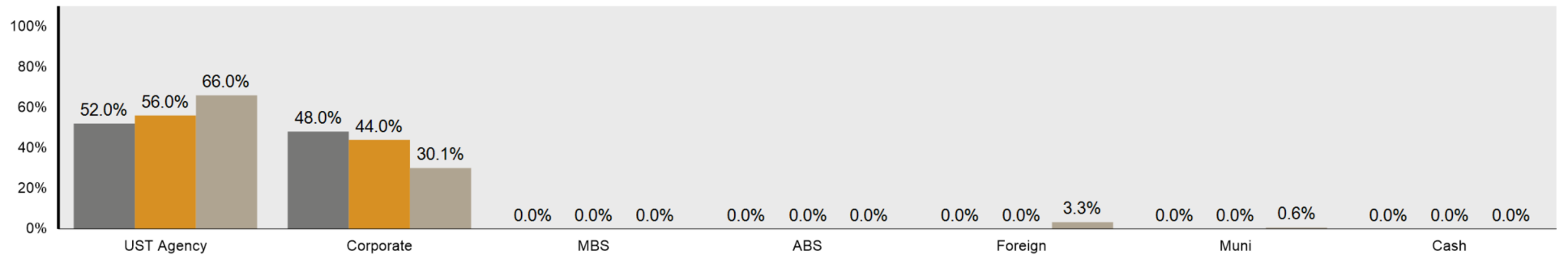
Yield to Maturity



Credit Quality



US Sector



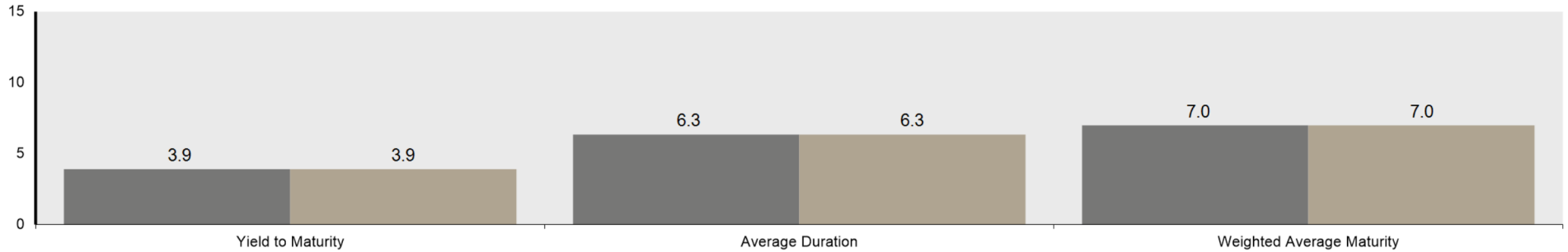
Pension Plan - Wilm. Trust Fixed Income

OPEB Plan - Wilm. Trust Fixed Income

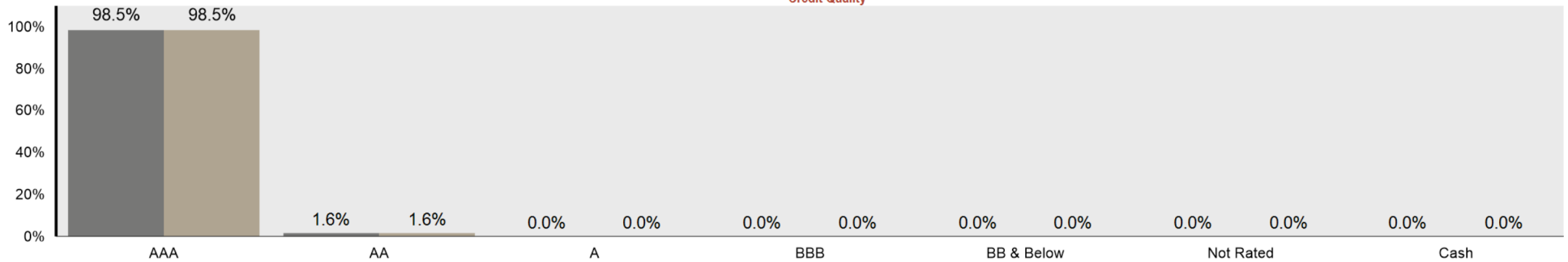
Bloomberg US Govt/Credit Int TR

Manager Summary: Passively-managed using an index sampling approach. Seeks to track the performance of Barclays Capital U.S. 5-10 year Treasury Index. Invests only in U.S. Treasury securities. Intermediate duration portfolio. a smaller number of securities.

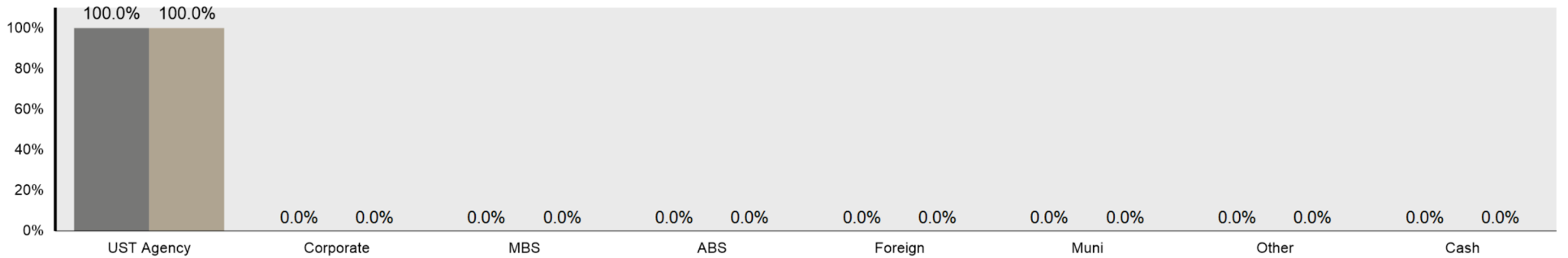
Yield to Maturity



Credit Quality



US Sector

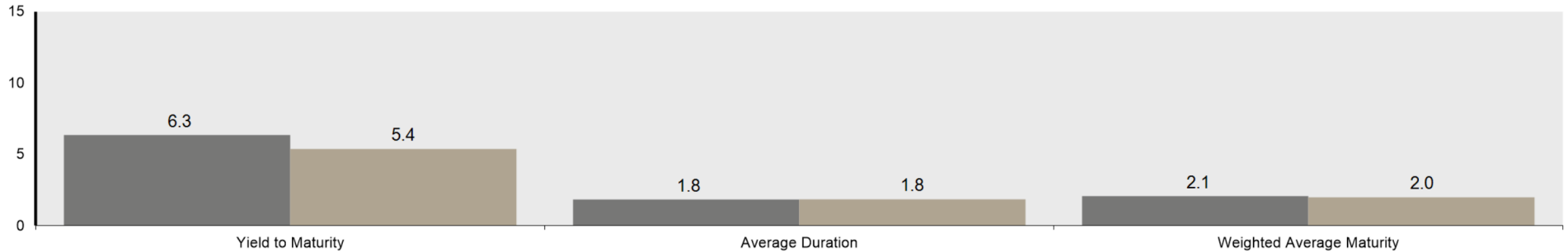


Fidelity Intern. Treasury Bond

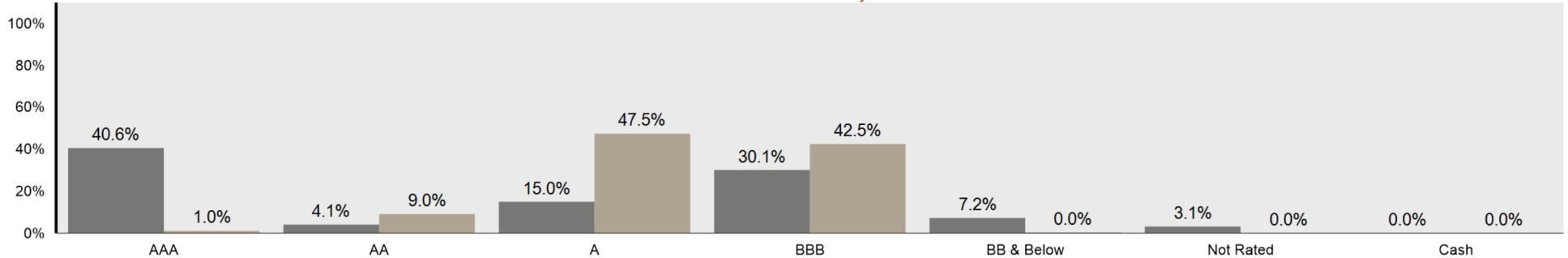
BBgBarc US Treasury 5-10 Yr TR

Manager Summary: Seeks to add value through sector rotation and security selection among short-duration securities. Approach combines top-down decisions making with bottom-up security selection. A separate quantitative team helps monitor risk allocation as well as the relative attractiveness of securities and sectors. The strategy employs a duration-neutral position versus the benchmark.

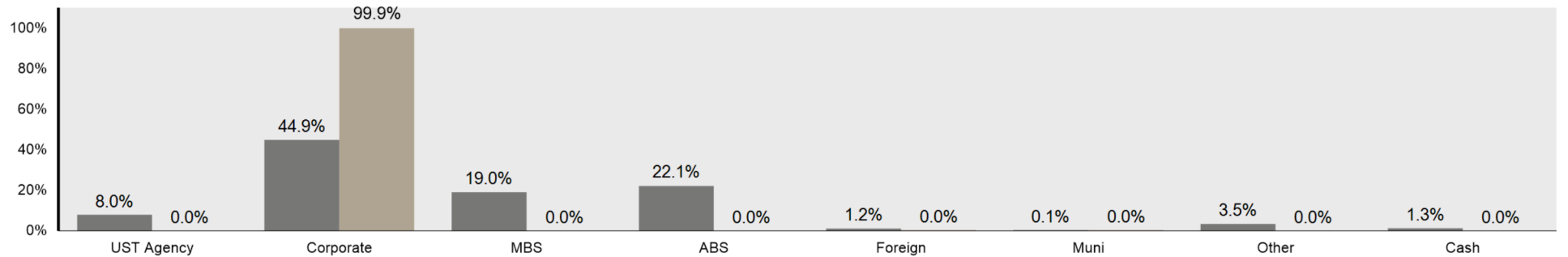
Yield to Maturity



Credit Quality



US Sector

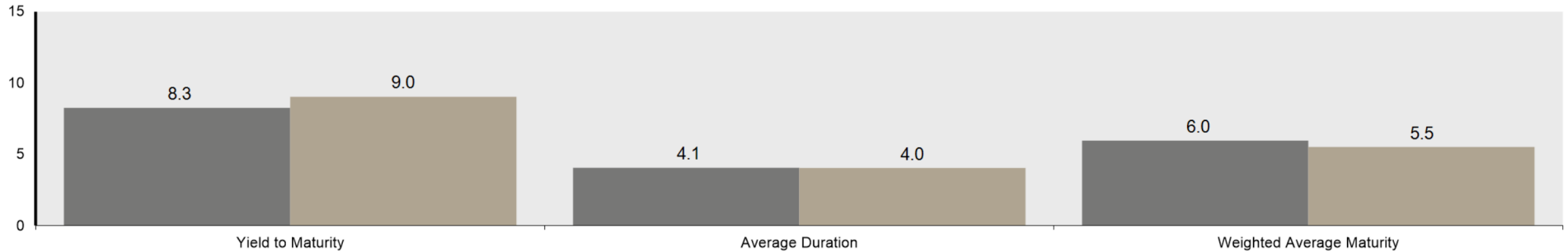


Lord Abbett Short Duration Income Fund

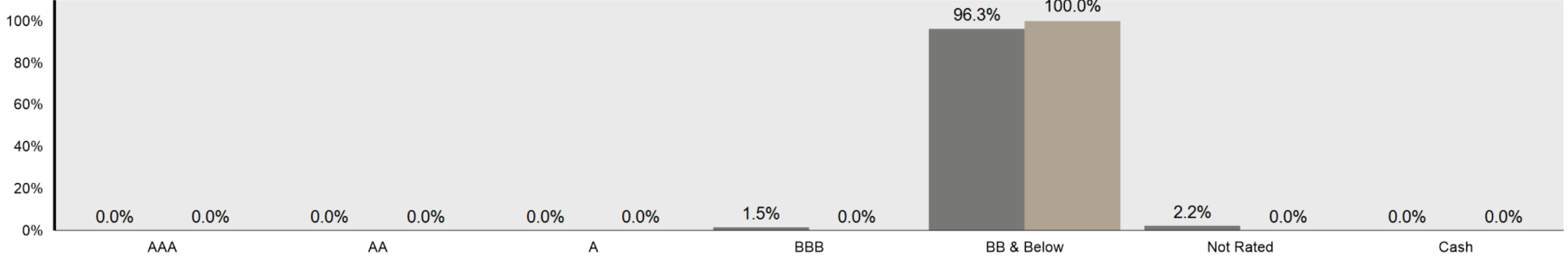
ICE BofAML 1-3 Year U.S. Corp. Index

Manager Summary: The team uses a bottom-up, fundamental analysis of each company under coverage. The research process includes an analysis of the quality of management, the company's relative market position and industry dynamics. Fundamental analysis is augmented by quantitative modeling which allows the team to individually assess the credit worthiness of target companies in a variety of economic scenarios.

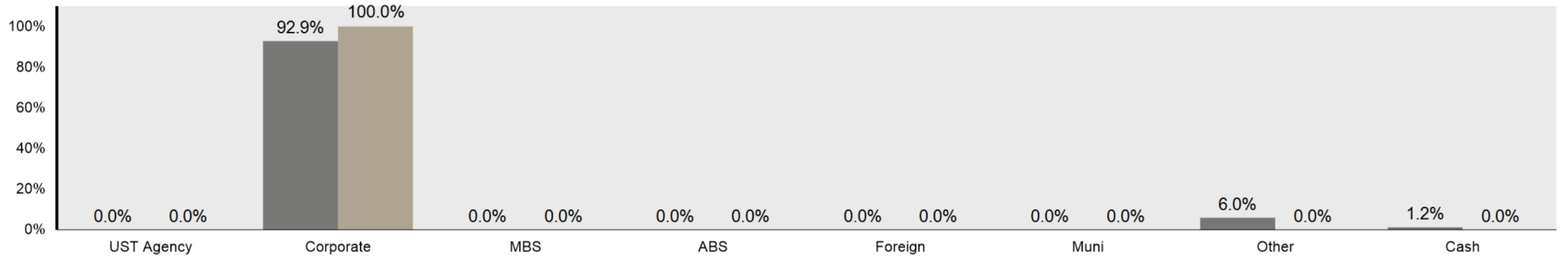
Yield to Maturity



Credit Quality



US Sector



Lord Abbett High Yield Fund

ICE BofAML U.S. HY Constrained Index

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PENSION FUND COMMITTEE

Minutes of Meeting

February 2, 2023

The Sussex County Pension Fund Committee met on February 2, 2023, at 10:00 a.m. in the County Council Chambers, Georgetown, Delaware. Those in attendance included members: Gina Jennings, Todd Lawson, Karen Brewington, Kathy Roth, Robin Griffith and Kathleen Ryan. Also in attendance were Pat Wing of Marquette Associates, the County's Pension Investment Consultant; Janet Cranna, Brett Warren, and Margaret Tempkin of Cheiron, the County's Actuary.

Ms. Jennings called the meeting to order.

1. **Approval of Minutes**

The minutes of the August 18, 2023, meeting were approved by consent.

2. **Public Comment**

There was no public comment.

3. **Performance Reports of the Pension and OPEB Funds**

Mr. Wing reported that 2023 is off to a strong start to the year for markets, equities and fixed incomes.

Mr. Wing distributed copies of a report entitled, "Sussex County Quarterly Performance Report as of December 31, 2022". The Investment Performance Report includes information regarding the market environment for the fourth quarter of 2022, as well as quarterly and annual performances of the Pension and OPEB Plans. The report should be referenced for a more detailed analysis.

Mr. Wing referred members to the Market Environment. The GDP grew by 2.9 in Quarter 4. There was a lot of growth driven by net exports and a build in private inventory investment. Consumer spending weakened a little bit from the third quarter. The Federal Reserve continues to raise interest rates and the expectation is there is one more hike coming in March and possibly again in May. If we assume that inflation continues to cool and comes in around 3% and disposable income grows at its pre-pandemic trend, then real disposable income for consumers is actually set to turn positive which should help support consumer spending in the back half of 2023. Markets did relatively well in the fourth quarter. There was some weakness to real estate in the fourth quarter. It was the opposite for equities and fixed income. Infrastructure is reported on a lag basis so there is no data available at this time however, the first three quarters showed about a 6% return so we would expect a positive return in infrastructure for the fourth quarter.



If the economy does enter a recession, earnings are likely to come under pressure. The timing of any recession may impact equity performance in 2023. Based on the eleven economic recessions since 1950, equities, on average, tend to peak approximately 9 months before the beginning of a recession and find a bottom, on average, about 3 months after a recession begins. If an eventual recession does unfold in 2023, equities may continue to trend higher in the near term if any recession begins towards the end of the year. Using history as a guide, if the economic downturn occurs earlier, equity volatility may return in short order.

Mr. Wing directed members to the Pension Fund Performance Report.

Observations as of December 31, 2022, included:

- The market value was \$138.3 million. The portfolio realized a fourth quarter gain of 7.4 million, returning 5.7% (net) vs. policy index of 5.8%.
- Positive attribution for the quarter resulted from outperformance by most active equity managers, value tilts within U.S. and Non-U.S. equities, and infrastructure structure.
- Negative attribution for the quarter resulted from asset allocation and underperformance by active fixed income managers.
- Portfolio changes during the quarter rebalancing.
- Looking Ahead/Recommendations: Asset Allocation.

There was discussion on when and if a recession could possibly occur, how to diversify the growth engine, private debt, floating rate funds as well as investing in energy. Mrs. Jennings stated that her focus was to make sure that the assumed rate of return stays at 6 ³/₄ percent and that she was ok with the option of just changing our bonds and equities percentages, as that can be done very quickly.

Mr. Wing stated that a review of the asset allocation will take place at the meeting in May.

3. Annual Actuarial Report

At the request of the County, Cheiron, the County's actuary, performed their annual actuarial valuation of the Sussex County Employee Pension Plan, as well as the Sussex County Postemployment Benefit Plan. Committee members were provided with a report entitled "Actuarial Valuation Report as of November 17, 2022", as well as a PowerPoint presentation. The report also included GASB 67/68/74/75.

The valuation included a historical review, assessment of risk, valuation results, and projections. There was discussion regarding the increase in salaries that impacted the unfunded liability.

The OPEB plan is doing very well. Cheiron is using market value of assets as opposed to a smooth value. There has been an uptick in active employees as well as an uptick in retirees. Due to the volatility in the market, Cheiron was asked to look at where the assets are in relation to the liability and to look at the actuarial smoothing of the assets for this plan. Cheiron felt it was a good idea to start incorporating the smooth value of assets to develop the contributions.

A Motion was made by Mrs. Roth and seconded by Mr. Lawson for the Pension Committee to make a recommendation to the County Council to change the OPEB funding policy to have an actuarial value of assets by using a 5-year smoothing of assets, gains and losses.

Motion Adopted: 6 Yeas.

Vote by Roll Call: Yea; Ms. Ryan, Yea; Ms. Griffith Yea;
Mr. Lawson, Yea; Ms. Brewington Yea, Ms. Roth Yea;
Ms. Jennings, Yea

4. **2023 Meeting Dates**

Following are the meetings for 2023:

May 18, 2023
August 17, 2023
November 16, 2023

All meetings begin at 10:00 a.m. and will be held virtually, except for the November meeting, which will be held in the Sussex County Council Chambers, Administrative Office Building, Georgetown, Delaware. Calendar invitations will be sent to each member.

5. **Additional Business**

No Additional Business.

6. **Adjourn**

At 11:41 a.m., a Motion was made by Mrs. Roth, seconded by Mrs. Brewington, to adjourn. Motion Adopted by Voice Vote.

Respectfully submitted,

Bobbi L. Albright
Executive Administrative Assistant

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Sussex County

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Memorandum

TO: Sussex County Council
The Honorable Michael H. Vincent, President
The Honorable John L. Rieley, Vice President
The Honorable Cynthia C. Green
The Honorable Douglas B. Hudson
The Honorable Mark G. Schaeffer

FROM: Gina A. Jennings
Finance Director/COO

William Pfaff
Economic Development Director

DATE: February 24, 2023

RE: **Budget Amendment**

At the February 28th Council meeting, we will propose the attached ordinance for your consideration and introduction. The ordinance amends the annual operating budget for fiscal year 2023 to establish new fees and expenses for the kitchen incubator project that will be operational this spring.

Please contact me if you have any questions or concerns.

Attachments

pc: Mr. Todd F. Lawson



ORDINANCE NO. ____

AN ORDINANCE AMENDING THE ANNUAL OPERATING BUDGET FOR FISCAL YEAR 2023 TO INCORPORATE NEW FEES AND EXPENSES FOR THE KITCHEN INCUBATOR PROJECT

WHEREAS, on June 21, 2022, the Sussex County Council adopted the Annual Operating Budget for Fiscal Year 2023; and

WHEREAS, the Sussex County Kitchen Incubator Project is a program that will create a collaborative community, providing shared kitchen space combined with business assistance to help aspiring and existing entrepreneurs build great food companies, create jobs, improve healthy food access, and strengthen our regional food economy; and

WHEREAS, the Sussex County Kitchen Incubator Project anticipates being operational before year end; and

WHEREAS, to establish new fees and to reflect revenues and expenditures for anticipated operations for the incubator operations, the Sussex County Council desires to amend the Anticipated General Fund Revenues, the Anticipated General Fund Expenditures and the fee section in the Annual Operating Budget Ordinance for the Fiscal Year Ending June 30, 2023, as more fully set forth herein.

NOW, THEREFORE, THE COUNTY OF SUSSEX HEREBY ORDAINS:

Section 1. The “Anticipated General Fund Revenues” for the Fiscal Year Ending June 30, 2023 set forth in the Annual Operating Budget Ordinance for the Fiscal Year 2023 is hereby amended by deleting the language in brackets and adding the language in bold and underlined as follows:

	Amount Year Ending June 30, 2023
Revenues:	
<u>Taxes</u>	
Real Property - County	\$ 15,944,000
Real Property - Library	1,868,000
Realty Transfer	32,800,000
Fire Service	1,860,000
Lodging Tax	1,000,000
Penalties and Interest	150,000
<u>Intergovernmental</u>	
Federal Grants	
Emergency Operations	200,000
Housing and Urban Development	2,403,000
Library	9,000

	Amount Year Ending June 30, 2023
Payments in Lieu of Taxes	6,100
State Grants	
Economic Development	150,000
Local Emergency Planning Commission	72,000
Library	350,000
Other	100,000
Paramedic	5,200,000
<u>Charges for Services</u>	
Constitutional Office Fees	
Marriage Bureau	175,000
Recorder of Deeds	5,488,000
Recorder of Deeds - Maintenance	60,000
Recorder of Deeds - Town Realty Transfer Tax	135,000
Register of Wills	1,300,000
Sheriff	750,000
General Government Fees	
Building Permits & Zoning Fees	2,630,000
9-1-1 System Fee	559,630
Manufactured Home Placement Fee	150,000
Building Inspection Fees	1,960,000
Airport Operations/Economic Development [670,000]	<u>691,000</u>
Miscellaneous Fees	62,000
Private Road Review & Inspection Fees	2,200,000
<u>Miscellaneous Revenue</u>	
Fines and Forfeits	50,000
Investment Income	1,000,000
Miscellaneous Revenues	227,200
<u>Other Financing Sources</u>	
Interfund Transfers In	47,000
Appropriated Reserve	<u>6,059,900</u>
Total Revenues	<u>\$ 85,656,830</u>

[85,635,830]

Section 2. The “Anticipated General Fund Appropriations and Expenditures” for the Fiscal Year Ending June 30, 2023 is hereby amended by deleting the language in brackets and adding the language in bold and underlined as follows:

Expenditures	Amount Year Ending June 30, 2023
General Government	
County Council	737,463
Administration	618,822
Legal	550,000
Finance	2,587,040
Assessment	5,847,200
Building Code	1,487,313
GIS	1,056,527
Human Resources & General Employment	1,025,649
Records Management	333,607
Facilities Management	2,413,626
Information Technology	2,509,600
Planning and Zoning	
Planning and Zoning	1,787,548
Constable	1,539,346
Paramedics	21,187,553
Emergency Preparedness	5,606,655
Engineering	2,234,269
Library	
Administration	891,913
Operations	2,682,816
Economic Development	
Economic Development	[553,460]
Safety and Security	<u>490,666</u>
Airport and Business Park	1,013,341
Community Development	2,965,945
Grant-in-aid	22,085,609
Constitutional Offices	
Marriage Bureau	280,471
Recorder of Deeds	1,001,135
Register of Wills	690,456
Sheriff	742,300
Other Financing Uses	
Transfers Out	115,500
Reserve for Contingencies	600,000
Total Expenditures	[85,635,830]
	<u>\$ 85,656,830</u>

Section 3. The “New Sources of Revenue” for the Fiscal Year Ending June 30, 2023 set forth in the Annual Operating Budget Ordinance for the Fiscal Year 2023 is hereby amended by adding the language in bold and underlined as follows:

New Sources of Revenue:

- 14.) **Kitchen Incubator - Application fee to use facility - \$100**
- 15.) **Kitchen Incubator - Security deposit to use facility - \$300**
- 16.) **Kitchen Incubator - Monthly facility charge to use kitchen up to 15 hours - \$300. Any additional hours used will be charged at the rate of \$24 per hour.**
- 17.) **Kitchen Incubator – Facility charge for non-monthly subscribers - \$35 per hour with a minimum of three hours**
- 18.) **Kitchen Incubator – Dry storage fee - \$75 per month**
- 19.) **Kitchen Incubator – Small refrigeration area - \$45 per month**
- 20.) **Kitchen Incubator –Large refrigeration area - \$75 per month per shelf**

Section 4. This Ordinance shall become effective immediately upon its adoption.

SYNOPSIS

This ordinance amends the Anticipated General Fund Revenues, the Anticipated General Fund Expenditures and the fee section in the Annual Operating Budget Ordinance for the Fiscal Year Ending June 30, 2023, to incorporate new fees and expenses associated with the Kitchen Incubator Project.

All new language is in bold and is underlined. All deleted language is in brackets.

I DO HEREBY CERTIFY THAT THE FOREGOING IS A TRUE AND CORRECT COPY OF ORDINANCE NO. ____ ADOPTED BY THE SUSSEX COUNTY COUNCIL ON THE ____ DAY OF _____ 2023.

TRACY N. TORBERT
CLERK OF THE COUNCIL

FINANCE DEPARTMENT
ACCOUNTING DIVISION

ANDREA M. WALL
MANAGER
awall@sussexcountyde.gov



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MEMORANDUM:

TO: Sussex County Council
The Honorable Michael H. Vincent, President
The Honorable John L. Rieley, Vice President
The Honorable Cynthia Green
The Honorable Douglas B. Hudson
The Honorable Mark Schaeffer

FROM: Andrea M. Wall
Manager of Accounting

SUBJECT: **INSURANCE BROKER RECOMMENDATION**

DATE: February 28, 2023

On Tuesday, I will be making a recommendation to select Alliant as the County's insurance broker. In November, the County advertised a Request for Proposal (RFP) for an insurance broker to begin the insurance renewal process. We received proposals from three qualified firms, and we interviewed all three firms.

Alliant is being recommended for the following reasons:

- National resources, largest footprint in the public sector with dedicated team, fourth largest broker overall in the United States. They handle over 1,000 county clients.
- Incumbent broker who did not increase fee for their five years serving as County broker.
- Incumbent broker already familiar with County insurance program and seamless continuation of broker services.
- Lowest broker fee, reduced to show commitment to working with the County.
- Tailored process and forum that deepens underwriter/client/broker relationships.
- Dedicated claims, placement and risk control staff embedded in service team.
- Enhanced customer service features

Selection of our broker is the first step in the insurance renewal process. Once our broker is selected they will continue the renewal process by approaching alternative markets on our behalf, and we will present results and present a motion in June to place our coverages.

Angela Tennis from Insurance Buyers Council will be available to discuss the highlights of the RFP process and answer any questions.

Scoring Matrix - Request for Proposals - Broker Services (Post Interview)

#	Criteria	Weight	Connor Strong	USI	Alliant
1	Marketing plan with tightened timeframe	20	8.5	9	9.75
2	Qualifications of the proposer and its personnel, Q&A responses	25	8.5	9.5	9.75
3	Was team representative of RFP response	10	9	8	10
4	Assistance to County team	15	7.75	7.75	9
6	Creativity in presentation	5	5.5	8	7.75
7	Cyber resources	5	8.5	8.75	9.5
8	Willingness to risk fee if deadlines aren't met	10	1.75	8.5	9.75
9	Property valuations and solutions	10	4	6.75	8.75
	Total Weighted Score	100	7.16	8.50	9.45
	Fee - Year 1		\$110,000	\$95,000	\$90,000
	Fee - Year 2		\$110,000	\$95,000	\$95,000
	Fee - Year 3		\$110,000	\$95,000	\$100,000
	Fee - Total		\$330,000	\$285,000	\$285,000

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Memorandum

TO: Sussex County Council
The Honorable Michael H. Vincent, President
The Honorable John L. Rieley, Vice President
The Honorable Cynthia C. Green
The Honorable Douglas B. Hudson
The Honorable Mark G. Schaeffer

FROM: Hans Medlarz, P.E., County Engineer

RE: *EMS Public Safety Building – Project C19-04*
A. Change Order No. 22

DATE: February 28, 2023

The single Public Safety Building concept was first introduced in the FY 2019 Budget Ordinance consolidating all EMS training, administration, and logistics functions in one facility. The scope and cost were updated in accordance with a space allocation programming effort in the FY 2020 Budget Ordinance and further refined based on design stages in the FY 2021 & FY 2022 Budget Ordinances reflecting a total project expense of \$12.00 million. The anticipated overall project costs are still more than 10% below budget. The complete expense summary will be presented to Council at the time of granting of substantial of the original project scope at the end of March.

Following a publicly advertised process, Council awarded the EMS Department's - Architectural Consulting Services base contract to the George, Miles and Buhr, Inc. The subsequent Public Safety Building Project C19-04 base agreement covered professional services for an initial not to exceed amount of \$300,000.00.

The State's fire prevention regulations required a single-entry point necessitating a full sprinkler distribution system design and due to the critical nature of the facility, a secondary air conditioning backup in the form of a cooling tower was desired. Council authorized a \$31,720.00 stand-alone purchase order to RMF Engineering for these specialty designs.

In October of 2020, the Departments presented the 60% design review to County Council followed by a 75% design presentation in March of 2021. Based on the County's request, GMB was asked to create fiber optic cabling, audio/visual, security/alarm and fit out specialty scopes for procurement under Cooperative Purchasing Agreements, increasing the project design complexity. Hence, Council approved on March 23, 2021, GMB's Amendment No.1 increasing the not to exceed threshold by \$61,500.00.



Following the March Council presentation, the scope still evolved considerably due to design revisions and added design features. Consequently, GMB and its subconsultants exceeded the previously approved allocations bringing the project to bid. GMB offered a discounted fee of \$75,000.00 to cover these services. In addition, they proposed a construction services fee of \$244,500.00. Overall, the professional services were well below 10% of construction, comparing favorably with industry standards and on August 10, 2021, County Council authorized issuance of GMB's Amendments No. 2 & 3 increasing the overall not to exceed amount to \$681,000.00.

In June the Public Safety Building, Project C19-04 was publicly advertised, on July 14, 2021, eight (8) bids were received and on August 10, 2021, Council awarded the project to Bancroft Construction Company in the amount of \$8,282,169.00.

The bid documents included provisions to recover pandemic related price increases between *bid and award* for structural and light weight steel material costs. Therefore, on August 31, 2021, Council approved Change Order No. 1 in the not to exceed amount of \$40,000 for structural and Change Order No. 2 in the amount of \$8,800 for light weight steel material price increases.

The structural steel material change order no.1 was based on August 12, 2021, pricing. When Bancroft transmitted the "letter of intent to award", their subcontractor Iron Works, Inc. on August 30th in turn issued material purchase orders. However, the material suppliers responded that material quotations were only binding for one week due to supply chain impacts and volatile steel markets. In consultation with County Leadership, the Engineering Department authorized Bancroft to lock in at the August 30th material costs triggering a \$22,829.00 revision to change order no. 1 approved by Council on September 14, 2021.

When the project bid, the Fire Marshall site permit had been issued but the associated building permit was still under review. By the time it was finalized two issues had to be addressed (i) fire protection details in the plenum and (ii) a secondary emergency egress from the mezzanine.

The plenum needed to be either sprinkled or all materials had to be fire rated. The only material not meeting the rating was the water piping. The County requested the PVC piping for ease of maintenance and the mechanical subcontractor suggested to add fire rated insulation but switch the valving to PVC under a partial credit for a net Change Order No. 3 cost of \$13,554.94. In addition, the County EMS team had initiated a proposed Change Order No. 4 for air filtration system safety upgrades, paid for through American Rescue Plan Act funds in the amount of \$4,740.28. On November 20, 2021, County Council approved both change orders.

The change order scope associated with the emergency mezzanine exit was complex requiring scope modifications for eight (8) trades. The electrical trade also included some minor changes to the outlet configurations to accommodate the selected A/V equipment for a total \$58,245.80 which County Council approved under Change Order No. 5 on January 11, 2022.

The existing EOC allegedly had dual primary electric power feeds based on original design drawings, staff recollection as well as DP&L records. Upon examination of the actual EOC transformer by DP&L, it was determined that the facility had only one feed. Prior to that, the electrical sub-contractor had initiated some limited conduit installations, Council issued a reimbursement Change Order No. 6 in the amount of \$1,905.85.

However, for the project to proceed, DP&L and the County's General Labor & Equipment contractor had to extend primary power to the existing transformer from the opposite side of

Rudder Lane. In addition, the transformer and generator location for the building was revised, as well as vehicle charging circuits added. These changes were priced out and approved by Council on March 1, 2022, under Change Order No. 9 in the amount of \$56,830.98.

In December 2021, following a detailed Miss Utility locate, the Team recognized that there were conflicts between the proposed gravity storm drainage pipe and the existing high voltage lines off site. The stormwater management design had the stormwater pipe system crossing the intersection of Airport Road and Aviation Avenue. Close examination revealed that this crossing was not plausible as the stormwater pipe intersected approximately eight other utilities primarily high voltage electric lines and sewer force mains at different elevations.

While investigating stormwater options, two existing roof drainage pipe conflicts came to light. The combination of both these impacts required a re-work of the entire grading plan, along with the redirection of the storm drainage piping along Airport Road. The Department and the contractor agreed on the scope and pricing, including the required fill and on March 1, 2022, Council issued the associated Change Order No. 7 in the amount of \$62,924.75.

In the filling process of “Lake Thomas”, unsuitable soils were encountered. The site work contractor undercut these areas and restored them with suitable materials. This work was performed on a time and materials basis under Change Order No. 11. Also covered under this request is an adjustment to a drop ceiling and bulkhead location in the corridor leading to the northside of the existing EOC building. On March 22, 2022, Council accepted Change Order No. 11 in the amount of \$5,427.58.

Bancroft had submitted RFI#44 seeking clarification regarding the EOC kitchen renovations due to a lack of existing condition documentation on the mechanical drawings and insufficient detailing of connections. GMB’s plan envisioned an open ceiling concept with cabinet & countertop which was unable to incorporate the two roof drains in the existing exercise room and kitchen. With an acceptable resolution plan needed, the Department worked with Bancroft and developed the attached “Owner Resolution Plan No.3 addressing the existing conditions and on March 22, 2022, Council accepted credit Change Order No. 12 in the amount of (\$15,118.52).

The heating and hot water systems were designed based on availability of natural gas. Chesapeake Utilities’ service extension project from the Coastal Business Park to Rudder Lane is delayed and may not be ready at the time of building commissioning. The utility directed us to seek an interim solution using their subsidiary, Sharp Energy, which already supplies propane to the Joint Maintenance Facility under this arrangement. The Engineering & Finance Departments developed a purchase order for the installation.

Due to a conflict in the existing lobby, the stud wall had to be extended alongside the existing beam, allowing the proposed wall to bypass the structural steel. Bancroft submitted PCO #013 to modify said exterior stud wall framing and to extend the drywall and batt insulation to the roof deck based on a sound attenuation request from Team EMS based on sensitive medical discussions. On May 17, 2022, County Council approved Change Order No. 13 in the amount of \$16,711.84 and the unit of \$11.57/sf for additional wall sections if necessary.

The EOC staff made the Engineering Department aware of frequent overheating the State Police IT equipment server room due to added equipment. This room is the only server room w/o a dedicated source of cooling. J.T. Richardson, the mechanical subcontractor for Bancroft working on the Public Safety Building was previously working directly for the County when

the Department issued an on-call mechanical PO for urgent repairs at the Complex. On May 17, 2022, Council was advised that we would follow this same approach in this case based on the same hourly rates and agreed upon mark-ups.

On June 21, 2022, County Council approved Change Order No. 14 in the aggregate amount of \$26,371.68 addressing the modifications listed below:

1. Special floor tile color selection.
2. Separation of the decorative architectural wall from one to two location.
3. Back-up cooling tower protection by bollards.
4. Structural modifications to the he primary cooling tower support.
5. Roof membrane boots to cover penetrations in six (6) locations.
6. Additional epoxy coating.
7. Lobby storefront modifications.

Change Order No. 15 is the result of RFI-60 and a field change for the gutter support in the mechanical well of the sloped roof system. The latter was needed to build out the wall section around the well to allow the installation of the gutter system. RFI-60 exposed an issue related to the door jams of the overhead door in the logistics warehouse. The original approach left an exposed brick veneer edge which was addressed by adding a secondary steel channel on each jam. On July 26, 2022, Council approved Change Order No. 15 in the aggregate amount of \$11,357.87.

The EMS team requested modifications to the room signage in February of 2022. It went through several iterations reducing the costs. The final version, Change Order 16, was approved by Council on August 23, 2022, in the amount of \$2,361.79.

On September 20, 2022, Council approved Change Order No. 17 in the aggregate amount of \$30,089.13, addressing the modifications listed below:

1. Light fixture change and deletion of ceiling baffles in Circuit Training Room.
2. Garage door manufacturer change from Dalton Door to Overhead Door due to extended lead times.
3. Replacement of damaged temporary construction fence.
4. Concrete pad for relocated MCU cabinets.
5. Flagpole model change to avoid conflict with a pole mounted LED light fixture.
6. Decorative fence extension to enclose MCU cabinets at the new location.
7. Ductwork re-routing to avoid conflict with roof access ladder.
8. Credit for deletion of HVAC transfer ducts and grilles in Logistics Warehouse offices.

On November 15, 2022, County Council approved Change Order Nos. 18 and 20 in the respective amounts of \$19,574.73 and \$10,330.17 which addressed the modifications and issues listed below.

1. Modification of the concrete slab in the plaza to support the new EMS memorial.
2. A removable bollard was added in the plaza area.

3. Additional demolition of sidewalk and new concrete underneath the new supplemental chiller.
4. Concrete apron modification outside the Logistics Warehouse.
5. Raising a section of sprinkler main in an EMS office corridor.
6. Electrical credit for scope reduction and additional work for plaza lighting revisions.

On December 13, 2022, Council approved Change Order No. 19 in the aggregate amount of \$31,724.89. Included were site design changes at the Rudder Lane intersection for drainage improvements. Along with the installation of a gate in the ornamental fence enclosing the restricted, employee only areas.

On February 7, 2023, Council approved Change Order No. 21 in the aggregate amount of \$40,127.15 which addressed the modifications and issues listed below.

1. An additional 6' section of solar on the West side of the new lobby area.
2. A credit by Bear Industries for the deletion of the dry sprinkler system serving the exterior entrance canopy no longer required by code.
3. The ductwork changes in Corridors 118, 134 and 159 which the Department has been tracking for several months was included.
4. Several miscellaneous site work changes were addressed including, such as additional striping, raising the lid of a County fiber-optic manhole, and additional sidewalk section to mechanical/electrical room.
5. The electrical requirements for the cooling tower and rooftop unit differed slightly from the breaker and disconnect sizes shown in the electrical drawings. Because of this, new circuit breakers and disconnects were required for the units to function.

Previously we shared items still being tracked most of them were rolled up in the pending Change Order No. 22 for Council's consideration consisting of multiple PCOs.

PCO #22:

- Additional material/labor required for the new Delaware Coastal Airport sign, and the lettering for the sign. A majority of the material for the sign had already been delivered when it was intended for a dumpster wall that was no longer needed.
- Additional landscaping work including several arborvitae to help conceal the generator and landscape boulders along Airport Road near the intersection and the new Airport sign preventing vehicles from coming onto the property after failing to navigate the turn.

As construction of this sign is expected to extend past the timeframe of the general conditions, this PCO includes provisions to extend general condition expenses for the duration of the sign construction.

PCO #23:

- Additional wood blocking was required in the EMS offices to provide greater flexibility in mounting the wall mounted displays in each room.
- An electric unit heater was added to the mechanical/electrical room to provide backup heat in the room to prevent any water piping from freezing.

- Natural gas is not yet available in the area, so the rooftop HVAC unit had to be converted from natural gas to propane by factory technicians.
- Acrylic lettering for the EMS Awards wall was included in the contract specifications however, there was additional lettering that the team needed. To simplify the process a complete credit was requested to give Team EMS the ability to source everything from one vendor.

PCO #24:

- Painting in the existing EOC corridors in an effort to tie the two buildings together. As this work is expected to be taking place after the substantial completion date of the new building, this PCO also includes provisions to extend Bancroft's general conditions proportionally for the duration of the painting in the EOC.

PCO #25:

- There is small charge to change the color of the suspension grid for the acoustic baffles and lights in the lobby area from white to black.
- Replacing the interior room signage in the existing EOC to match the layout and design of the signage in the new building.

PCO #26:

- Minor revision to the casework/cabinetry in the EMS Copy Room to allow for placement of the paper shredder in the room.

PCO #27:

- Additional fencing with privacy screening around the dumpster area in the staff parking lot, along with privacy screening help conceal the condensing units, electrical cabinets, and transformer on the East side of the EOC.

Therefore, the Department request Council's approval of Change Order No. 22 in the aggregate amount of \$104,368.86.

In addition, the Department is still tracking three items which will be brought to Council for approval at a later date.

- (i) Re-caulking of deteriorated masonry expansion joints on the existing EOC.
- (ii) At the Department's direction the electrical subcontractor added numerous wall sleeves allowing a path from the cable tray to the inside of various rooms. This allowed Advantech, Assurance Media and Visual Sound to keep their cabling out of sight for an improved finished look. The cost will be partially offset by a credit for deleting power to several wireless access points which is no longer required.
- (iii) Final ductwork modification pricing associated with corridors 118 & 134.

Bancroft and their sub-contractors will likely finish everything except for punch list items during the month of March allowing the furniture delivery to stay on track. The holdup is the IT equipment and installation by Visual Sound, their expected completion is May at the earliest. This work was accomplished under a separate purchase order by the IT Department which controlled the schedule. It is strongly preferred to test out all the AV equipment & systems while Visual Sound is on site, therefore the tentative EMS move in date is now May 15th subject to possible further change.

- 6. Factors Affecting Time of Completion
- 7. Other (explain below):

C. BRIEF DESCRIPTION OF CHANGE ORDER:

Additional work for the Delaware Coastal Airport sign, back-up heating unit, painting in the existing corridors, interior room signage, cabinetry work and additional fencing.

D. JUSTIFICATION FOR CHANGE ORDER INCLUDED?

Yes No

E. APPROVALS

- 1. Bancroft Construction Company, Contractor

Michael Kalafut 02/24/23
Signature Date

Michael Kalafut
Representative's Name in Block Letters

- 2. Sussex County Engineer

[Signature] 2/24/2023
Signature Date

- 3. Sussex County Council President

Signature Date



Bancroft Construction
 2324 West Zion Road Suite 108
 Salisbury, Maryland 21801
 Phone: (410) 844-8080

Project: CSED0001 - Public Safety Bldg. Addition
 21911 Rudder Lane
 Georgetown, Delaware 19947

DRAFT

Prime Contract Potential Change Order #022: Site Sign Wall

TO:	Sussex County Delaware 2 The Circle P.O. Box 589 Georgetown Delaware, 19947	FROM:	Bancroft Construction Company 1300 N. Grant Avenue Suite 101 Wilmington Delaware, 19806
PCO NUMBER/REVISION:	022 / 2	CONTRACT:	CSED001 - Public Safety Bldg. Addition Prime Contract
REQUEST RECEIVED FROM:		CREATED BY:	Cheryl Fearn (Bancroft Construction Company)
STATUS:	Draft	CREATED DATE:	2/23/2023
REFERENCE:		PRIME CONTRACT CHANGE ORDER:	None
FIELD CHANGE:	No		
LOCATION:		ACCOUNTING METHOD:	Amount Based
SCHEDULE IMPACT:		PAID IN FULL:	No
		TOTAL AMOUNT:	\$56,035.54

POTENTIAL CHANGE ORDER TITLE: Site Sign Wall

CHANGE REASON: No Change Reason

POTENTIAL CHANGE ORDER DESCRIPTION: *(The Contract Is Changed As Follows)*

CE #070 - Site sign wall
 Concrete Foundation for site sign wall per Thompson COR #5

CE #099 - Delaware Coastal Airport site sign
 Provide the Delaware Coastal Airport sign per County request.

ATTACHMENTS:

[Sussex PCO 099 Realty quote.pdf](#) [Sussex CE 099 New Airport Sign Pricing Summary.pdf](#) [Sussex County Revision 11+12 backup.pdf](#) [Sussex Thompson sign quote.pdf](#) [CO 11 - New Sign Changes.pdf](#) [quote-DELAWARE COASTAL AIRPORT-6140-HALO LIT LETTERS.pdf](#) [CO #4rev Updated sign per CE #099.pdf](#) [LANDSCAPING PCO 180173 SCEMS Administration Building - Rev 12 - Transformer Relocation Acc Sitework 4-28-22.pdf](#) [180173 - SCEMS Public Safety Building - SK-2 Monumental Sign - 1-23-23.pdf](#) [COR#5 SUSSEX PUBLIC SAFETY BUILDING-GEORGETOWN.pdf](#)

#	Cost Code	Description	Type	Amount
1	02-001 - Site Construction	Concrete Foundation for site sign wall Thompson COR #5	Subcontract	\$5,318.75
2	03-330 - Architectural Concrete		Subcontract	\$0.00
3	03-330 - Architectural Concrete	DW Masonry CO #4 Revised	Subcontract	\$12,513.30
4	16-001 - Electrical	Continental CO #11	Subcontract	\$1,113.00
5	02-920 - Lawns and Grasses	Realty Quote 2.7.23	Subcontract	\$5,892.71
6	02-001 - Site Construction	Thompson #18 revised	Subcontract	\$11,827.79
7	10-430 - Exterior Signage	Phillips Sign Quote 6140	Subcontract	\$10,206.06
8	1-511 - Sr. Project Manager	Project Manager	Regular Labor	\$5,766.60
9	1-512 - Superintendent	Superintendent	Regular Labor	\$4,771.80
10	1-422 - Project Coordinator	Project Coordinator	Regular Labor	\$1,243.44
11	01-141 - Bonding	Bond	Other	\$475.73



#	Cost Code	Description	Type	Amount
12	02-920 - Lawns and Grasses	Rev 11 and 12 credit	Subcontract	\$(5,762.00)
			Subtotal:	\$53,367.18
			PFO (5.00% Applies to all line item types.):	\$2,668.36
			Grand Total:	\$56,035.54

Morgan Helfrich (George, Miles & Buhr, LLC)
 400 High Street
 Seaford Delaware 19973

Sussex County Delaware
 2 The Circle P.O. Box 589
 Georgetown Delaware 19947

Bancroft Construction Company
 1300 N. Grant Avenue Suite 101
 Wilmington Delaware 19806

Michael Kalafut 02/23/23

 SIGNATURE DATE

 SIGNATURE DATE

 SIGNATURE DATE



Bancroft Construction
 2324 West Zion Road Suite 108
 Salisbury, Maryland 21801
 P: (410) 844-8080

Project: CSED0001 - Public Safety Bldg. Addition
 21911 Rudder Lane
 Georgetown, Delaware 19947

CHANGE EVENT #070 - Site sign wall

Origin:

Date Created: 8/26/2022 **Created By:** Tyler Lewis
Status: Pending **Scope:** Out of Scope
Type: Owner Change **Change Reason:** Owner Directive
Description: Concrete Foundation for site sign wall per Thompson COR #5
Attachments: [COR#5 SUSSEX PUBLIC SAFETY BUILDING-GEORGETOWN.pdf](#)

CHANGE EVENT LINE ITEMS

Budget Code	Vendor / Contract	Revenue			Cost			Over/ Under	Budget Mod.
		ROM	Prime PCO	Latest Price	ROM	RFQ	Commit.		
02-001.06 Site Construction.Subcontra ct	Thompson & Sons ContractingInc CSED0001001	\$5,318.75	\$5,318.75	\$5,318.75	\$5,318.75			\$5,318.75	\$0.00
Description: Concrete Foundation for site sign wall Thompson COR #5									
03-330.06 Architectural Concrete.Subcontract	D.W. Masonry, Inc. CSED0001-015	\$0.00		\$0.00	\$0.00			\$0.00	\$0.00
Grand Totals		\$5,318.75			\$5,318.75	\$0.00	\$0.00	\$5,318.75	

Thompson & Sons Contracting Inc.

300 Torbert RD Milford DE 19963

Fed ID# 352383221 DE Lic. #2011122869

P: (302) 335-3404 F: (302) 335-3422 C: (302) 382-8200

Email address: thompsonsonsinc@comcast.net

February 11, 2022

Public Safety Building CSED0001-Sitework
Sussex County Public Safety Building

Change Order Request: #5
Field Order-Masonry Wall

Scope:

3500 PSI Concrete Foundation for Masonry Wall
20'x20" wide x 2' deep & 9'x 20" wide x 2' deep.
Pricing includes Labor, Equipment and Material.

**Exclusions: No Testing, No Rebar (Non-Shown)
No masonry, No signage.**

**NOTE: Price Based on doing both foundations at the same time.
Concrete pricing is only good for 30 days per our supplier.**

Change Order Quote: \$5,318.75

Thompson & Sons Contracting Inc.

300 Torbert RD Milford DE 19963

Fed ID# 352383221 DE Lic. #2011122869

P: (302) 335-3404 F: (302) 335-3422 C: (302) 382-8200

Email address: thompsonsonsinc@comcast.net

February 11, 2022

Public Safety Building CSED0001-Sitework
Sussex County Public Safety Building

Change Order Request: #5
Field Order-Masonry Wall

Scope:

3500 PSI Concrete Foundation for Masonry Wall
20'x20" wide x 2' deep & 9'x 20" wide x 2' deep.
Pricing includes Labor, Equipment and Material.

**Exclusions: No Testing, No Rebar (Non-Shown)
No masonry, No signage.**

**NOTE: Price Based on doing both foundations at the same time.
Concrete pricing is only good for 30 days per our supplier.**

Change Order Quote: \$5,318.75



Bancroft Construction
 2324 West Zion Road Suite 108
 Salisbury, Maryland 21801
 P: (410) 844-8080

Project: CSED0001 - Public Safety Bldg. Addition
 21911 Rudder Lane
 Georgetown, Delaware 19947

CHANGE EVENT #099 - Delaware Coastal Airport site sign

Origin:

Date Created: 1/24/2023 **Created By:** Mike Kalafut
Status: Pending **Scope:** Out of Scope
Type: Owner Change **Change Reason:** Design Change

Description: Provide the Delaware Coastal Airport sign per County request.

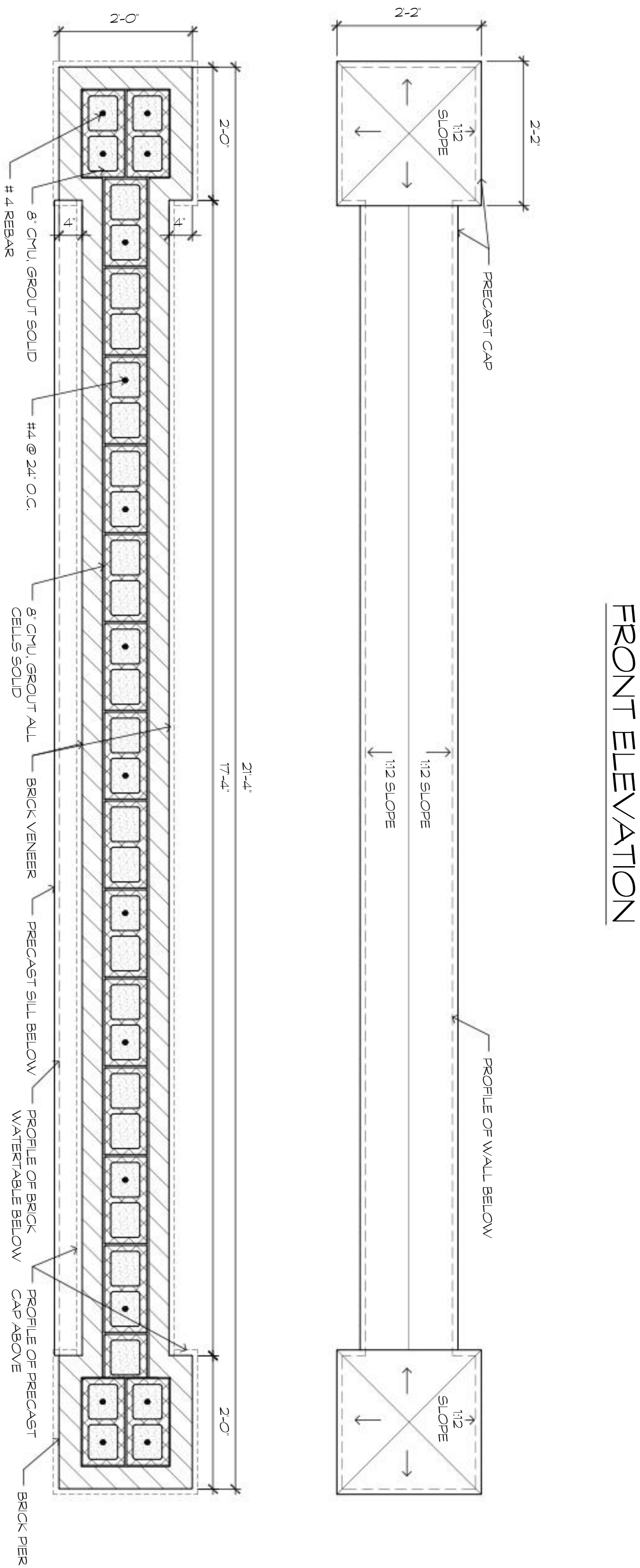
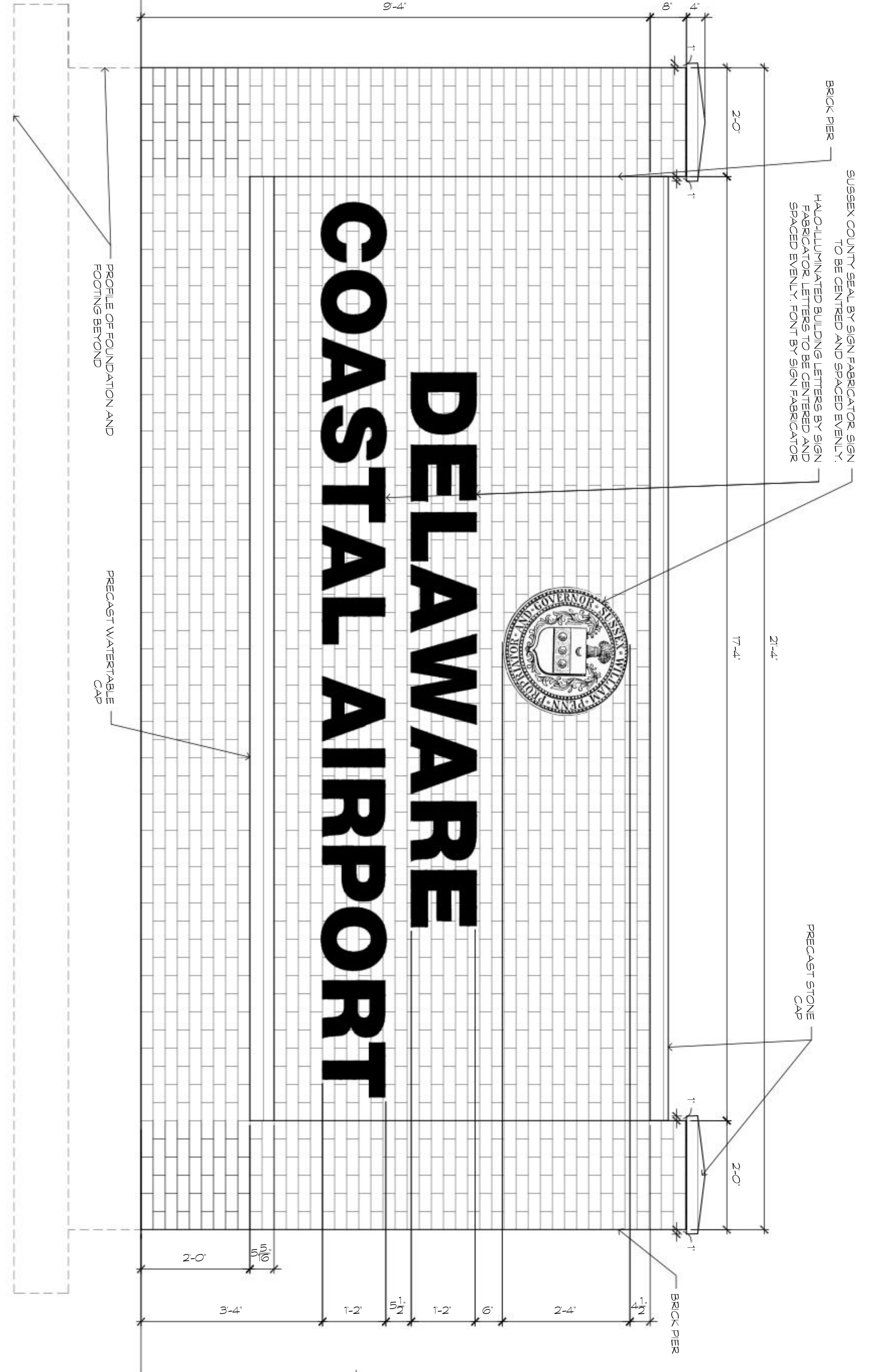
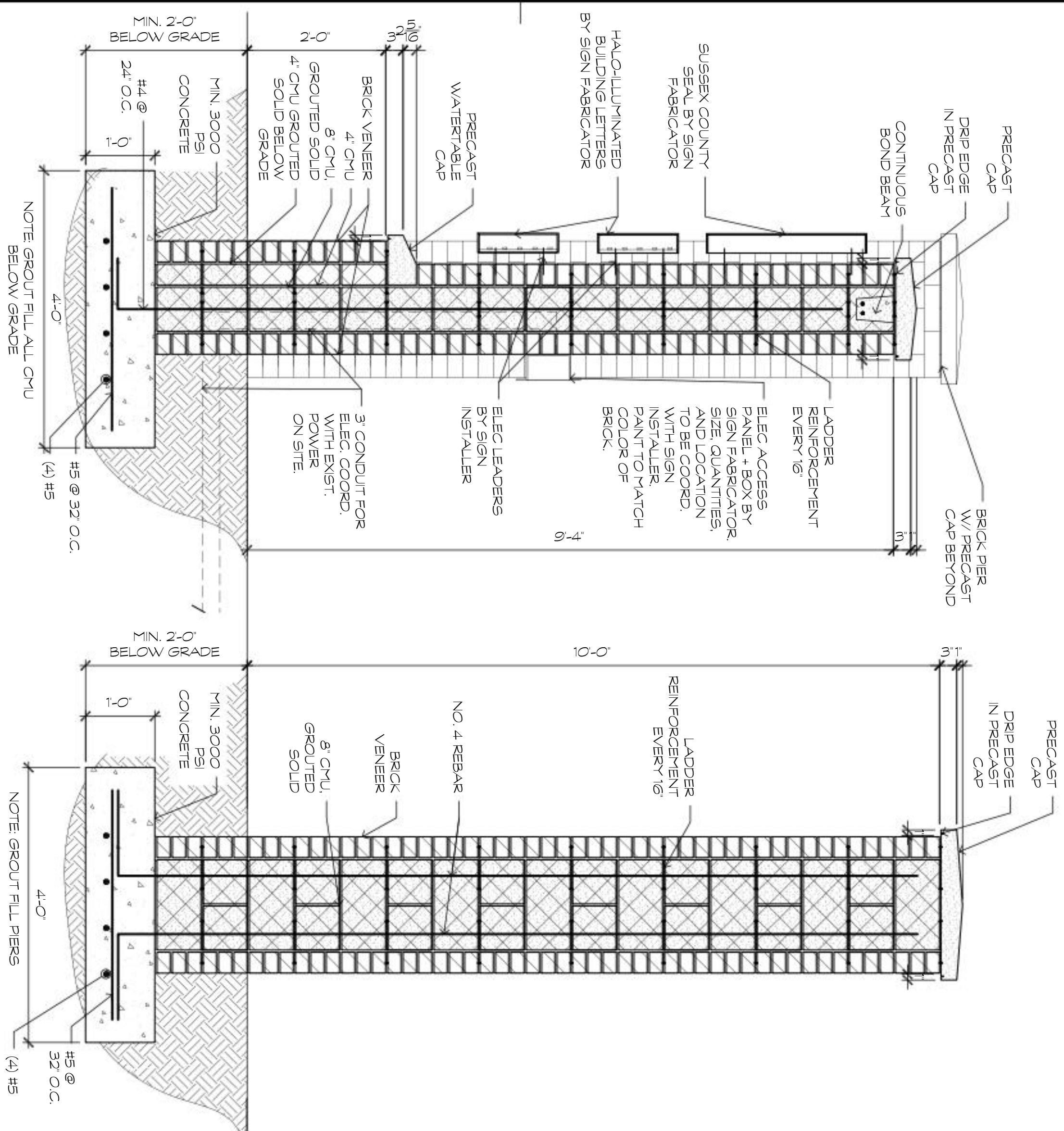
Attachments: [Sussex PCO 099 Realty quote.pdf](#), [Sussex CE 099 New Airport Sign Pricing Summary.pdf](#), [Sussex County Revision 11+12 backup.pdf](#), [Sussex Thompson sign quote.pdf](#), [CO 11 - New Sign Changes.pdf](#), [quote-DELAWARE COASTAL AIRPORT-6140-HALO LIT LETTERS.pdf](#), [CO #4rev Updated sign per CE #099.pdf](#), [LANDSCAPING PCO_180173 SCEMS Administration Building - Rev 12 - Transformer Relocation Acc Sitework 4-28-22.pdf](#), [180173 - SCEMS Public Safety Building - SK-2 Monumental Sign - 1-23-23.pdf](#)

CHANGE EVENT LINE ITEMS

Budget Code	Vendor / Contract	Revenue			Cost			Over/ Under	Budget Mod.
		ROM	Prime PCO	Latest Price	ROM	RFQ	Commit.		
03-330.06 Architectural Concrete.Subcontract	D.W. Masonry, Inc. CSED0001-015	\$12,513.30	\$12,513.30	\$12,513.30	\$12,513.30			\$12,513.30	\$0.00
Description: DW Masonry CO #4 Revised									
16-001.06 Electrical.Subcontract	Continental Electrical Service CSED0001-016	\$1,113.00	\$1,113.00	\$1,113.00	\$1,113.00			\$1,113.00	\$0.00

Budget Code	Vendor / Contract	Revenue			Cost				Over/ Under	Budget Mod.
		ROM	Prime PCO	Latest Price	ROM	RFQ	Commit.	Latest Cost		
Description: Continental CO #11										
02-920.06	Realty Landscaping Corp CSED0001-023	\$5,892.71	\$5,892.71	\$5,892.71	\$5,892.71			\$5,892.71	\$0.00	
Description: Lawns and Grasses.Subcontract										
Description: Realty Quote 2.7.23										
02-001.06	Thompson & Sons ContractingInc CSED0001001	\$11,827.79	\$11,827.79	\$11,827.79	\$11,827.79			\$11,827.79	\$0.00	
Description: Site Construction.Subcontract										
Description: Thompson #18 revised										
10-430.06	Bancroft Construction Company	\$10,206.06	\$10,206.06	\$10,206.06	\$10,206.06			\$10,206.06	\$0.00	
Description: Exterior Signage.Subcontract										
Description: Phillips Sign Quote 6140										
1-511.02	Bancroft Construction Company	\$5,766.60	\$5,766.60	\$5,766.60	\$5,766.60			\$5,766.60	\$0.00	
Description: Sr. Project Manager.Regular Labor										
Description: Project Manager										
1-512.02	Bancroft Construction Company	\$4,771.80	\$4,771.80	\$4,771.80	\$4,771.80			\$4,771.80	\$0.00	
Description: Superintendent.Regular Labor										

Budget Code	Vendor / Contract	Revenue			Cost				Over/ Under	Budget Mod.
		ROM	Prime PCO	Latest Price	ROM	RFQ	Commit.	Latest Cost		
Description: Superintendent										
1-422.02	Bancroft Construction Company	\$1,243.44	\$1,243.44	\$1,243.44	\$1,243.44			\$1,243.44	\$0.00	
Project Coordinator.Regular Labor										
Description: Project Coordinator										
01-141.07	Bancroft Construction Company	\$475.73	\$475.73	\$475.73	\$475.73			\$475.73	\$0.00	
Description: Bond										
02-920.06	Realty Landscaping Corp CSED0001-023	\$(5,762.00)	\$(5,762.00)	\$(5,762.00)	\$(5,762.00)			\$(5,762.00)	\$0.00	
Description: Lawns and Grasses.Subcontract										
Description: Rev 11 and 12 credit										
1-511.02		\$2,402.42	\$0.00	\$0.00	\$2,402.42			\$0.00	\$0.00	
Sr. Project Manager.Regular Labor										
					\$54,450.85					
Grand Totals										



NOTES:

- LOCATION AND PLACEMENT OF SIGN ON SITE TO BE DETERMINED BY SUSSEX COUNTY.
- ELECTRIC POWER EXISTS ON SITE. FIELD VERIFY LOCATION AND REDIRECT TO SIGN.
- HALO-ILLUMINATED LETTERS AND SUSSEX COUNTY SEAL TO BE FABRICATED AND INSTALLED BY SIGN CONTRACTOR. LETTERS AND SEAL TO BE CENTERED AND SPACED EVENLY IN FIELD. ATTACHMENTS TO BE PROVIDED BY SIGN FABRICATOR.
- WORK TO BE COORDINATED WITH SIGN FABRICATOR, MASON, AND ELECTRICIAN.

1 MONUMENTAL SIGN DETAILS
3/4" = 1'-0"

NO	REVISION	DATE
6	ROOF DRAIN REVISION	12/7/2021
7	WINDOW REVISION	12/14/2021
8	COUNTY SITE GRACING REVISIONS	12/26/2021
9	DRAWING REVISIONS	1/27/2022
10	ECC KITCHEN REVISIONS	2/2/2022
11	MEMORIAL PLAZA REVISIONS	4/8/2022
12	TRANSFORMER RELOCATION AND SITE WORK	4/28/2022

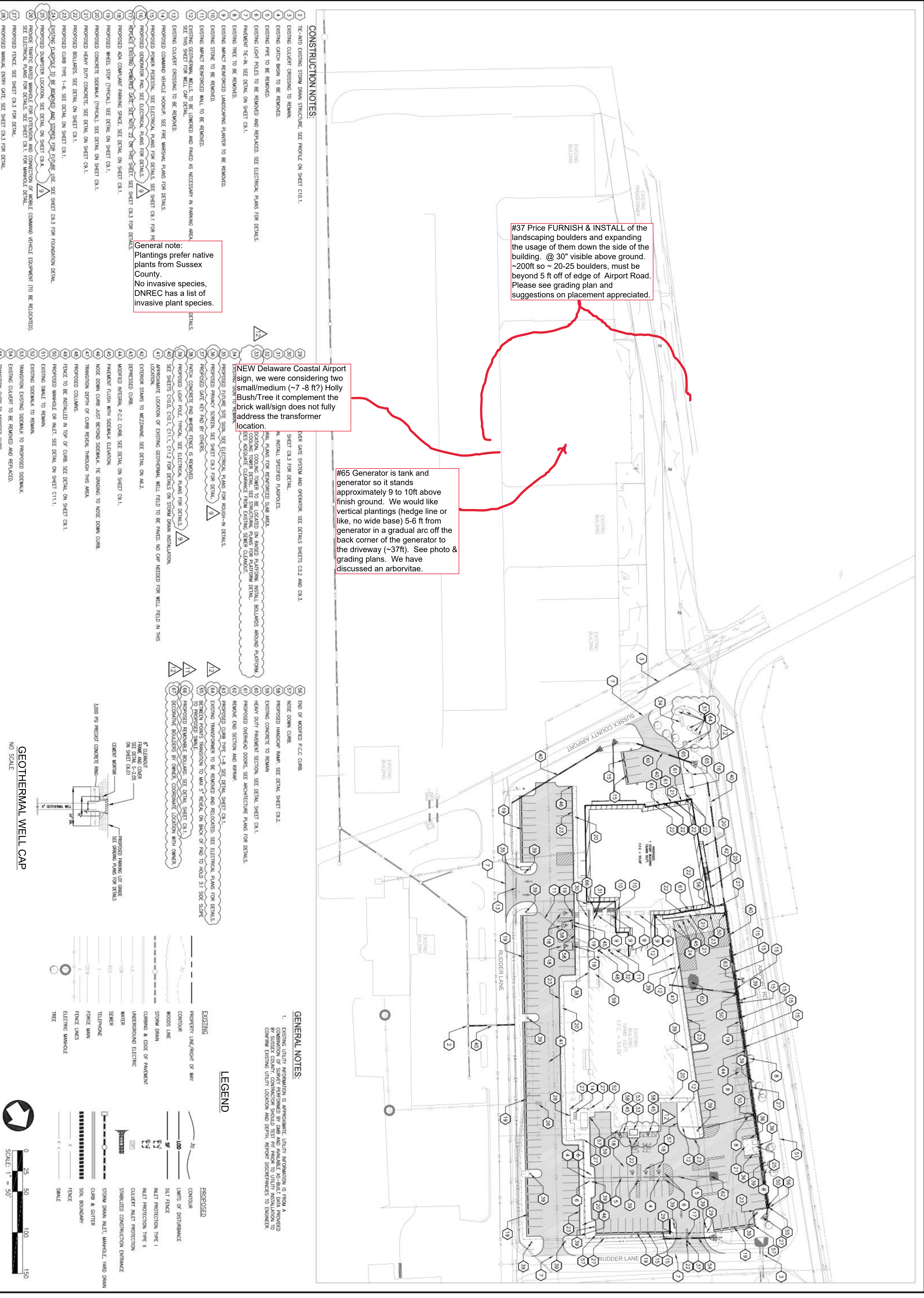
GMB
 GEORGE, MILES & BUHR, LLC
 ARCHITECTS & ENGINEERS
 SALISBURY • BALTIMORE • SEAFORD
 www.gmbnet.com

NEW ADDITION FOR:
SUSSEX COUNTY PUBLIC SAFETY BUILDING
 GEORGETOWN, DELAWARE

MONUMENTAL SIGN

SCALE	: AS NOTED
DESIGN BY	: TMB
DRAWN BY	: LEW
CHECKED BY	: TMB
CAD FILE	: 180173
DATE	: 1/23/23

SK2



CONSTRUCTION NOTES:

- 1. THE-INTO EXISTING STORM DRAIN STRUCTURE. SEE PROFILE ON SHEET C10.1.
- 2. EXISTING CURB CROSSING TO REMAIN.
- 3. EXISTING CURB BURN TO BE REMOVED.
- 4. EXISTING CURB BURN TO BE REMOVED.
- 5. EXISTING PERP. TO BE REMOVED.
- 6. EXISTING LIGHT POLES TO BE REMOVED AND REPLACED. SEE ELECTRICAL PLANS FOR DETAILS.
- 7. PAVEMENT THE-IN. SEE DETAIL ON SHEET C0.1.
- 8. EXISTING TREE TO BE REMOVED.
- 9. EXISTING IMPACT REINFORCED LANDSCAPING PLANTER TO BE REMOVED.
- 10. EXISTING STONE TO BE REMOVED.
- 11. EXISTING IMPACT REINFORCED WALL TO BE REMOVED.
- 12. EXISTING GEOTHERMAL WELLS TO BE LOWERED AND PAVED AS NECESSARY IN PARKING AREA. SEE THIS SHEET FOR WELL CAP DETAIL.
- 13. EXISTING CURB CROSSING TO BE REMOVED.
- 14. PROPOSED COMMAND VEHICLE HOODUP. SEE FIRE MARSHAL PLANS FOR DETAILS.
- 15. PROPOSED POWER PEDestal. SEE ELECTRICAL PLANS FOR DETAILS. SEE SHEET C0.1 FOR THE REFERENCE ELEVATION. SEE NOTE 22 ON THIS SHEET. SEE SHEET C0.3 FOR THE PROPOSED GENERATOR PAD. SEE ELECTRICAL PLANS FOR DETAILS.
- 16. PROPOSED POWER PEDestal. SEE ELECTRICAL PLANS FOR DETAILS. SEE SHEET C0.1 FOR THE REFERENCE ELEVATION. SEE NOTE 22 ON THIS SHEET. SEE SHEET C0.3 FOR THE PROPOSED GENERATOR PAD. SEE ELECTRICAL PLANS FOR DETAILS.
- 17. PROPOSED ADA COMPLIANT PARKING SPACE. SEE DETAIL ON SHEET C0.1.
- 18. PROPOSED WHEEL STOP (TYPICAL). SEE DETAIL ON SHEET C0.1.
- 19. PROPOSED CONCRETE SIDEWALK (TYPICAL). SEE DETAIL ON SHEET C0.1.
- 20. PROPOSED HEAVY DUTY CONCRETE. SEE DETAIL ON SHEET C0.1.
- 21. PROPOSED BOLLARDS. SEE DETAIL ON SHEET C0.1.
- 22. PROPOSED CURB TYPE 1-6. SEE DETAIL ON SHEET C0.1.
- 23. EXISTING PLANTING TO BE REMOVED AND STORED FOR FUTURE USE. SEE SHEET C0.3 FOR FOUNDATION DETAIL.
- 24. PROPOSED DOWNPIPER LOCATION. SEE DETAIL ON SHEET C0.4.
- 25. PROPOSED TRAFFIC RATED MANHOLE FOR EXTENSION AND CONNECTION OF MOBILE COMMAND VEHICLE EQUIPMENT TO BE RELOCATED. SEE ELECTRICAL PLANS FOR DETAILS. SEE SHEET C0.1 FOR MANHOLE DETAIL.
- 26. PROPOSED FENCE. SEE SHEET C0.3 FOR DETAIL.
- 27. PROPOSED MANUAL ENTRY GATE. SEE SHEET C0.3 FOR DETAIL.
- 28. PROPOSED MANUAL ENTRY GATE. SEE SHEET C0.3 FOR DETAIL.

General note:
Plantings prefer native plants from Sussex County.
No invasive species, DNREC has a list of invasive plant species.

#37 Price FURNISH & INSTALL of the landscaping boulders and expanding the usage of them down the side of the building. @ 30" visible above ground. ~200ft so ~ 20-25 boulders, must be beyond 5 ft off of edge of Airport Road. Please see grading plan and suggestions on placement appreciated.

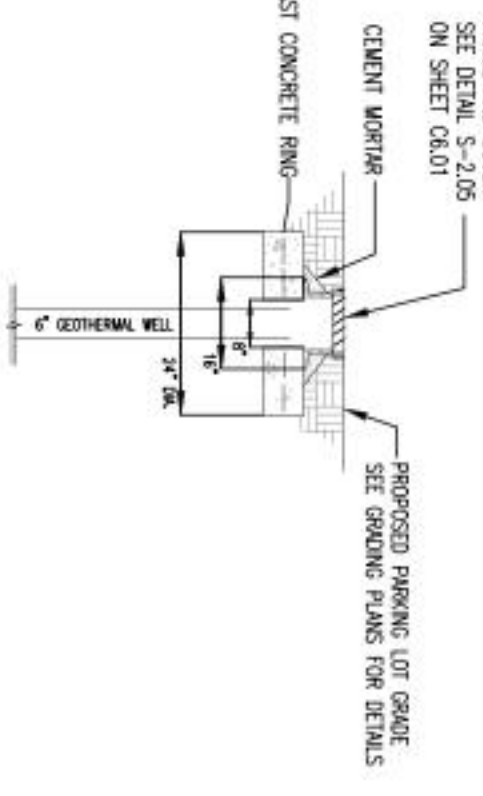
NEW Delaware Coastal Airport sign, we were considering two small/medium (~7 - 8 ft?) Holly Bush/Tree it complement the brick wall/sign does not fully address the transformer location.

#65 Generator is tank and generator so it stands approximately 9 to 10ft above finish ground. We would like vertical plantings (hedge line or like, no wide base) 5-6 ft from generator in a gradual arc off the back corner of the generator to the driveway (~37ft). See photo & grading plans. We have discussed an arborvitae.

EVER DATE SYSTEM AND OPERATOR. SEE DETAILS SHEETS C1.2 AND C0.3. SHEET C0.3 FOR DETAIL.

- 29. PROPOSED FUTURE SITE SIGN. SEE ELECTRICAL PLANS FOR ROUND-IN DETAILS.
- 30. PROPOSED FUTURE SIGN. SEE ELECTRICAL PLANS FOR ROUND-IN DETAILS.
- 31. PROPOSED FUTURE SIGN. SEE ELECTRICAL PLANS FOR ROUND-IN DETAILS.
- 32. PROPOSED FUTURE SIGN. SEE ELECTRICAL PLANS FOR ROUND-IN DETAILS.
- 33. PROPOSED FUTURE SIGN. SEE ELECTRICAL PLANS FOR ROUND-IN DETAILS.
- 34. PROPOSED FUTURE SIGN. SEE ELECTRICAL PLANS FOR ROUND-IN DETAILS.
- 35. PROPOSED FUTURE SIGN. SEE ELECTRICAL PLANS FOR ROUND-IN DETAILS.
- 36. PROPOSED FUTURE SIGN. SEE ELECTRICAL PLANS FOR ROUND-IN DETAILS.
- 37. PROPOSED FUTURE SIGN. SEE ELECTRICAL PLANS FOR ROUND-IN DETAILS.
- 38. PROPOSED FUTURE SIGN. SEE ELECTRICAL PLANS FOR ROUND-IN DETAILS.
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- 50. PROPOSED FUTURE SIGN. SEE ELECTRICAL PLANS FOR ROUND-IN DETAILS.
- 51. PROPOSED FUTURE SIGN. SEE ELECTRICAL PLANS FOR ROUND-IN DETAILS.
- 52. PROPOSED FUTURE SIGN. SEE ELECTRICAL PLANS FOR ROUND-IN DETAILS.
- 53. PROPOSED FUTURE SIGN. SEE ELECTRICAL PLANS FOR ROUND-IN DETAILS.
- 54. PROPOSED FUTURE SIGN. SEE ELECTRICAL PLANS FOR ROUND-IN DETAILS.
- 55. PROPOSED FUTURE SIGN. SEE ELECTRICAL PLANS FOR ROUND-IN DETAILS.

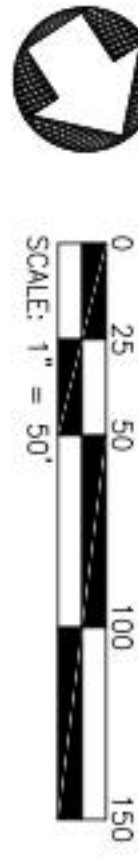
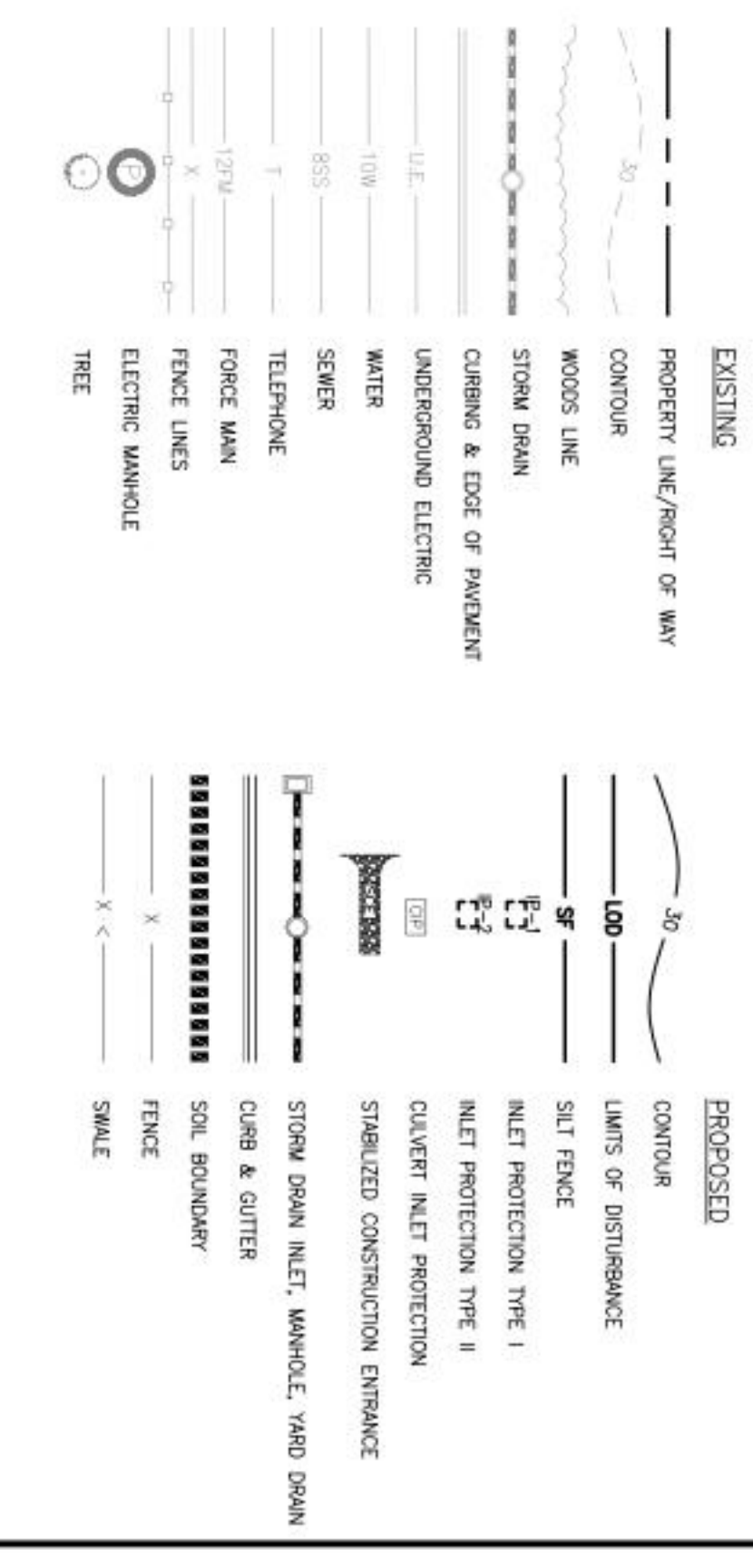
GEOTHERMAL WELL CAP
NO SCALE



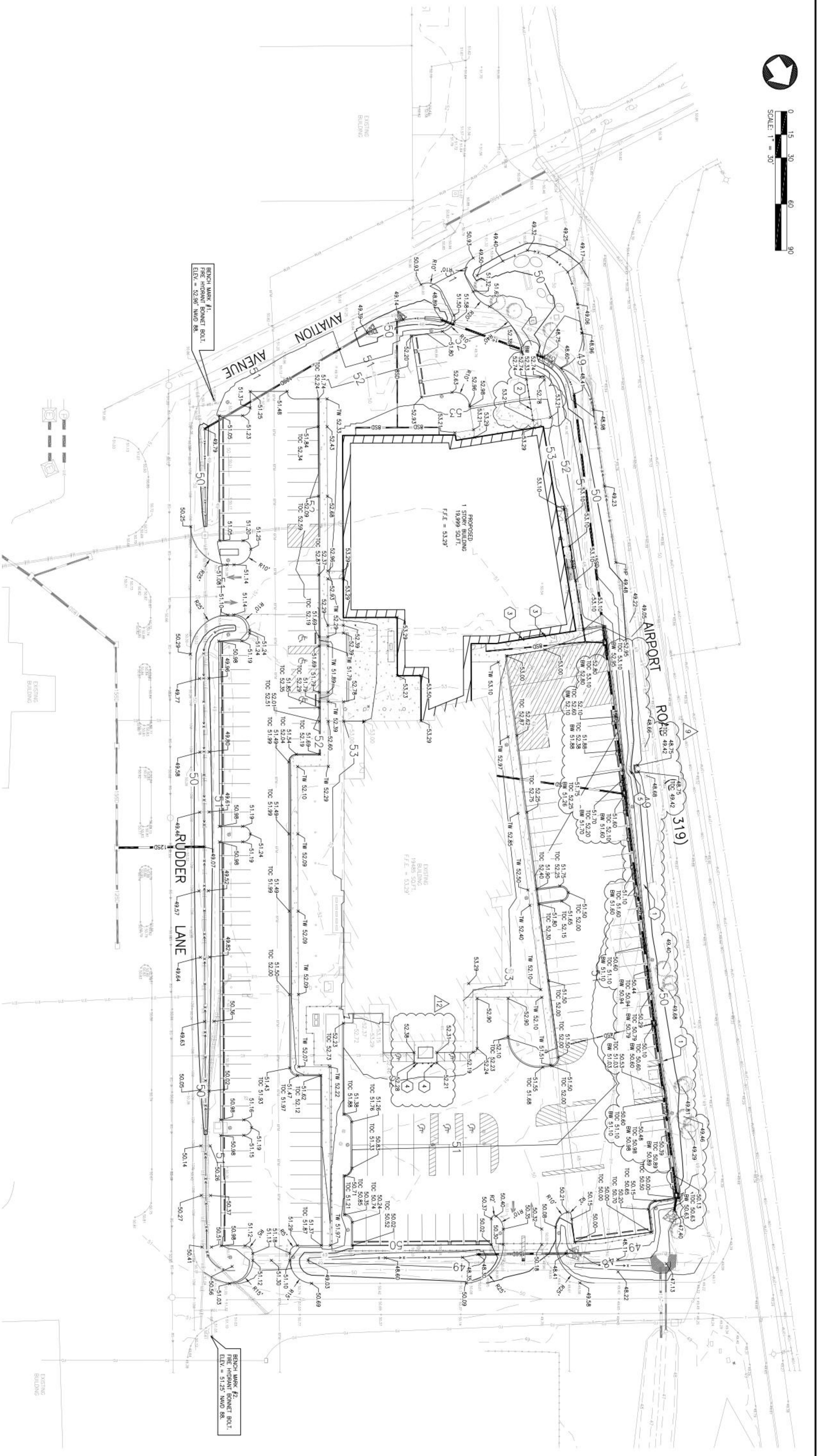
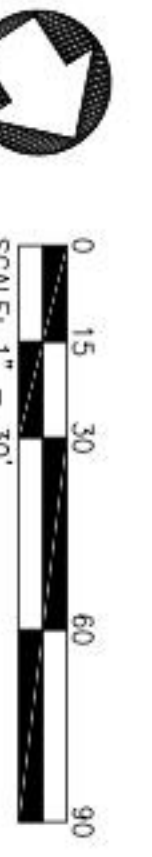
GENERAL NOTES:

- 1. EXISTING UTILITY INFORMATION IS APPROXIMATE. UTILITY INFORMATION IS FROM A COMBINATION OF SURVEY PERFORMED BY GMB AND AVAILABLE AS-BUILT DATA PROVIDED BY THE OWNER. THE INFORMATION IS NOT GUARANTEED TO BE ACCURATE. REPORT DISCREPANCIES TO ENGINEER. GENERAL DESIGN UTILITY LOCATION AND DETAIL. REPORT DISCREPANCIES TO ENGINEER.

LEGEND



<p>SITE PLAN</p> <p>C3.0</p> <p>SCALE: 1" = 50'</p> <p>DESIGN BY: CJP</p> <p>DRAWN BY: BFT</p> <p>CHECKED BY: SJM</p> <p>DATE: MAY 2022</p>		<p>NEW ADDITION FOR: SUSSEX COUNTY PUBLIC SAFETY BUILDING GEORGETOWN, DELAWARE</p>	<p>GMB GEORGE, MILES & BUHR, LLC ARCHITECTS & ENGINEERS SALISBURY • BALTIMORE • SEAFORD www.gmbnet.com</p>	NO.	REVISION	DATE	6	ROOF DRAIN REVISION	12/7/2021	7	WINDOW REVISION	12/14/2021	8	COUNTY SITE GRADING REVISIONS	12/26/2021	9	DRAWING REVISIONS	1/27/2022	10	EOC KITCHEN REVISIONS	2/21/2022	11	MEMORIAL PLAZA REVISIONS	4/8/2022	12	TRANSFORMER RELOCATION AND SITE WORK	4/28/2022
NO.	REVISION	DATE																									
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12	TRANSFORMER RELOCATION AND SITE WORK	4/28/2022																									



GENERAL NOTES:

1. ALL DEMOLITION ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE DEMOLITION EROSION & SEDIMENT CONTROL HANDBOOK.
2. EXISTING UTILITY INFORMATION IS APPROXIMATE. UTILITY INFORMATION IS FROM A COMBINATION OF SURVEY PERFORMED BY O&B AND AVAILABLE AS-BUILT DATA PROVIDED BY SUSSEX COUNTY. CONTRACTOR SHOULD TEST PRIOR TO UTILITY INSTALLATION TO CONFIRM EXISTING UTILITY LOCATION AND DEPTH. REPORT DISCREPANCIES TO ENGINEER.

CONSTRUCTION NOTES:

- 1 4:1 MAX SIDE SLOPE BEHIND CURB TO EXISTING.
- 2 FINISH AND INSTALL (6) SIX BOLLARDS (TYPICAL). SEE DETAIL ON SHEET C3.1.
- 3 FINISH AND INSTALL (2) TWO BOLLARDS (TYPICAL). SEE DETAIL ON SHEET C3.1.
- 4 FINISH AND INSTALL (4) FOUR BOLLARDS (TYPICAL). SEE DETAIL ON SHEET C3.1.
- 5 3:1 MAX SIDE SLOPE BETWEEN TYPE 1-8 CURB AND MODIFIED TYPE 1-6 CURB.
- 9

NEW ADDITION FOR:
**SUSSEX COUNTY PUBLIC
 SAFETY BUILDING**
 GEORGETOWN, DELAWARE



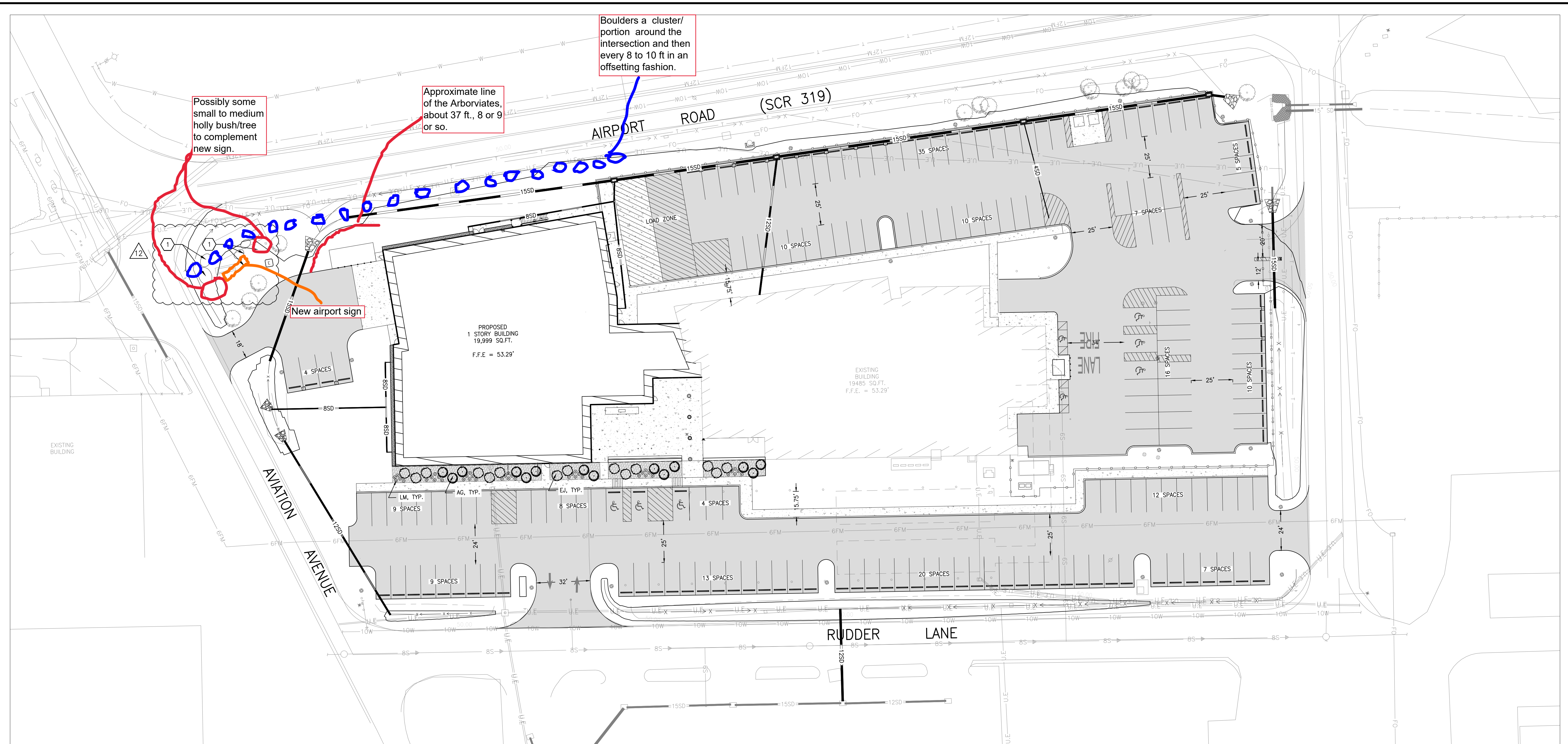
NO.	REVISION	DATE
6	ROOF DRAIN REVISION	12/7/2021
7	WINDOW REVISION	12/14/2021
8	COUNTY SITE GRADING REVISIONS	12/26/2021
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11	MEMORIAL PLAZA REVISIONS	4/8/2022
12	TRANSFORMER RELOCATION AND SITE WORK	4/28/2022

GRADING PLAN

C3.1

SCALE: 1" = 30'
 DESIGN BY: D.L.B./J.M.K.
 DRAWN BY: D.L.B./J.M.K.
 CHECKED BY: S.L.M.
 DATE: MAY 2022

G:\Projects\2018\180173 Sussex County EMS Admin Building\Drawings\Current Drawings\1.0 LANDSCAPING PLAN.dwg, 5/4/2022 5:52 PM, Christopher Pfeifer

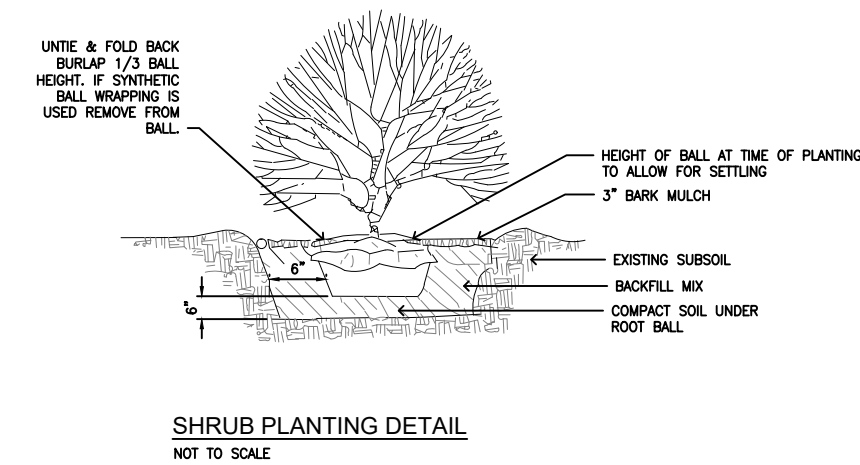


LANDSCAPING GENERAL NOTES:

- PLANTS SHALL CONFORM TO CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK" BY AMERICAN ASSOCIATION OF NURSERYMEN (AAN), PARTICULARLY WITH REGARDS TO SITE, GROWTH AND SIZE OF BALL AND DENSITY OF BRANCH STRUCTURE.
- CONTRACTOR IS TO ENSURE CONFORMANCE TO NATIONAL AND LOCAL BUILDING CODES AND ORDINANCES.
- ALL PLANTS (B&B OR CONTAINER) SHALL BE PROPERLY IDENTIFIED BY WEATHERPROOF LABELS SECURELY ATTACHED HERETO BEFORE DELIVERY TO THE PROJECT SITE. LABELS SHALL IDENTIFY PLANTS BY NAME, SPECIES, AND SIZE. LABELS SHALL NOT BE REMOVED UNTIL THE FINAL INSPECTION BY THE OWNER'S REPRESENTATIVE.
- ANY MATERIAL AND/OR WORK MAY BE REJECTED BY THE OWNER'S REPRESENTATIVE IF IT DOES NOT MEET THE REQUIREMENTS OF THE SPECIFICATIONS. THE CONTRACTOR SHALL REMOVE ALL REJECTED MATERIAL FROM THE SITE.
- THE CONTRACTOR SHALL FURNISH ALL PLANTS IN QUANTITIES AND SIZES TO COMPLETE THE WORK AS SPECIFIED IN THE PLANT SCHEDULE. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL PLANT QUANTITIES ON THE PLANS PRIOR TO THE COMMENCEMENT OF WORK. QUANTITIES IN THE PLANT SCHEDULE ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY AND DO NOT CONSTITUTE THE FINAL COUNT.
- SUBSTITUTION IN PLANT SPECIES OR SIZE SHALL NOT BE PERMITTED EXCEPT WITH THE WRITTEN APPROVAL OF THE OWNER OR THE OWNER'S REPRESENTATIVE.
- PLANTS SHALL BE LOCATED AS SHOWN ON THE DRAWINGS AND BY SCALING OR AS DESIGNED IN THE FIELD BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL LOCATE AND MARK ALL UNDERGROUND UTILITY LINES AND IRRIGATION SYSTEMS PRIOR TO EXCAVATING PLANT BEDS OR PITS. ALL UTILITY EASEMENT AREAS WHERE NO PLANTING SHALL TAKE PLACE SHALL ALSO BE MARKED ON THE SITE PRIOR TO LOCATING AND DIGGING THE TREE PITS. IF UTILITY LINES ARE ENCOUNTERED IN EXCAVATION OF TREE PITS OTHER LOCATIONS FOR THE TREES SHALL BE SELECTED BY THE OWNER OR THE OWNER'S REPRESENTATIVE. SUCH CHANGE SHALL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COMPENSATION. NO CHANGES OF LOCATION SHALL BE MADE WITHOUT THE APPROVAL OF THE OWNER OR THE OWNER'S REPRESENTATIVE.
- ALL EQUIPMENT AND TOOLS SHALL BE PLACED SO AS NOT TO INTERFERE OR HINDER THE PEDESTRIAN AND VEHICULAR TRAFFIC FLOW.
- DURING PLANTING OPERATIONS, EXCESS AND WASTE MATERIALS SHALL BE PROMPTLY AND FREQUENTLY REMOVED FROM THIS SITE.
- ALL TREE PITS ARE TO BE EXCAVATED TO A MINIMUM DEPTH TO ALLOW THE TREE ROOT BALL TO BE A MINIMUM OF 3" HIGHER THAN FINISHED GRADE. THE TREE ROOT BALL IS TO REST ON UNDISTURBED SOIL, OR A COMPACTED BED MUST BE PREPARED FOR THE TREE ROOT BALL TO REST ON AND WHICH WILL NOT SUBSIDE CAUSING THE TREE TO SINK BELOW FINISHED GRADE. ALL TREE PITS ARE TO BE A MINIMUM OF 12" LARGER ON EVERY SIDE OF THE TREE ROOT BALL.
- THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL TREE PITS, SHRUB BEDS AND PLANTERS ARE WELL DRAINED. THE LANDSCAPE CONTRACTOR WILL REPLACE ALL PLANT MATERIAL WHICH IS AFFECTED BY POOR DRAINAGE, AT NO CHARGE TO THE OWNER.
- THE TREES AND SHRUBS ARE TO BE HANDLED WITH THE BEST CARE AND ATTENTION TO ENSURE THAT THE PLANTS ARE NOT BRUISED, BROKEN, TORN, DAMAGED IN ANY WAY WHICH WILL AFFECT THE PLANTS GENERAL APPEARANCE AND WELL BEING.
- THE TREES MUST BE STAKED IN ACCORDANCE WITH ACCEPTABLE NURSERY PRACTICES TO ENSURE THAT THEY ARE SECURE IN THE GROUND AND WILL GROW STRAIGHT AND UNIFORM. THE TREES ARE TO BE WRAPPED IF THE CONTRACTOR DEEMS IT NECESSARY TO PROTECT THE TREES FROM SUN SCALD OR INSECT ATTACK.
- THE LANDSCAPE CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY FOR ALL PLANT MATERIAL AND OTHER WORK DONE ON SITE. THIS WARRANTY WILL BEGIN AT EITHER SUBSTANTIAL COMPLETION OR AT FINAL ACCEPTANCE AS DETERMINED BY THE OWNER.
- THE CONTRACTOR IS TO SLIGHTLY ADJUST PLANT LOCATIONS IN THE FIELD AS NECESSARY TO BE CLEAR OF DRAINAGE SWALES AND UTILITIES. FINISHED PLANTING BEDS SHALL BE GRADED SO AS NOT TO IMPEDE DRAINAGE AWAY FROM BUILDINGS.

PLANTING LEGEND:

SYM.	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	SPACING
AG	14	ABELIA KALEIDOSCOPE	ABELIA x GRANDIFLORA 'KALEIDOSCOPE'	3 GAL.	AS SHOWN
EJ	14	SILVER KING EUONYMUS	EUONYMUS JAPONICUS 'SILVER KING'	3 GAL.	AS SHOWN
LM	41	LILY TURF	LIRIOPE MUSCARY 'BIG BLUE'	1 GAL.	AS SHOWN
	2,015 SF	MULCH	DOUBLE SHREDDED HARDWOOD MULCH		
	300 SF	RIVER ROCK			

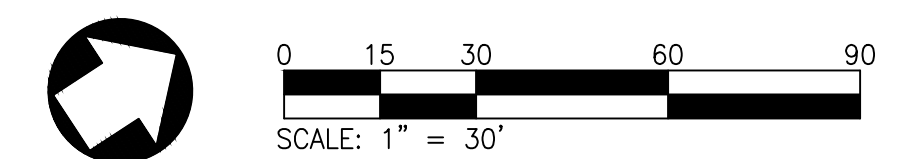


CONSTRUCTION NOTES:

- DECORATIVE BOULDERS BY OWNER. COORDINATE LOCATION WITH OWNER.

LANDSCAPE ARCHITECT'S CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LANDSCAPE ARCHITECT _____ DATE _____



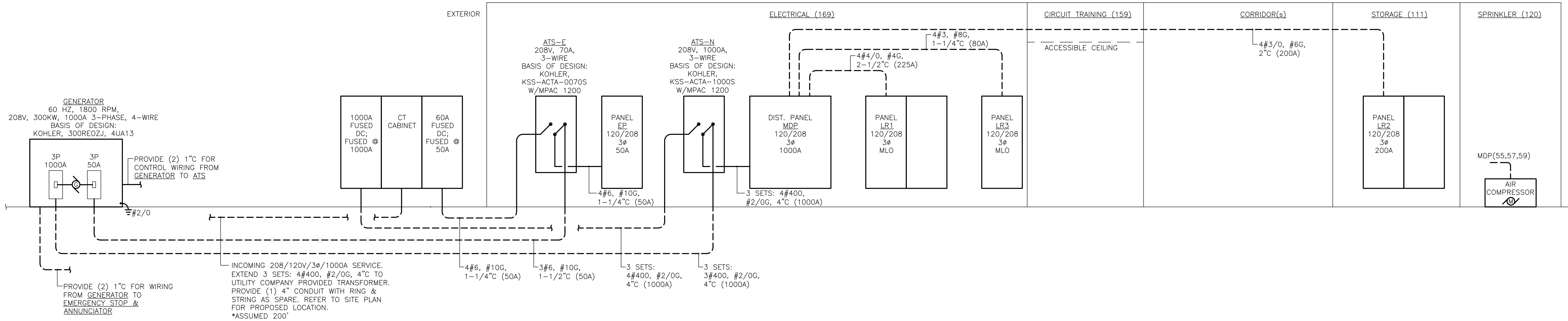
NO.	REVISION	DATE
6	ROOF DRAIN REVISION	12/7/2021
7	WINDOW REVISION	12/14/2021
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12	TRANSFORMER RELOCATION AND SITE WORK	4/28/2022

GMB
GEORGE, MILES & BUHR, LLC
ARCHITECTS & ENGINEERS
SALISBURY, BALTIMORE, SEAFORD
www.gmbnet.com

NEW ADDITION FOR:
SUSSEX COUNTY PUBLIC SAFETY BUILDING
GEORGETOWN, DELAWARE

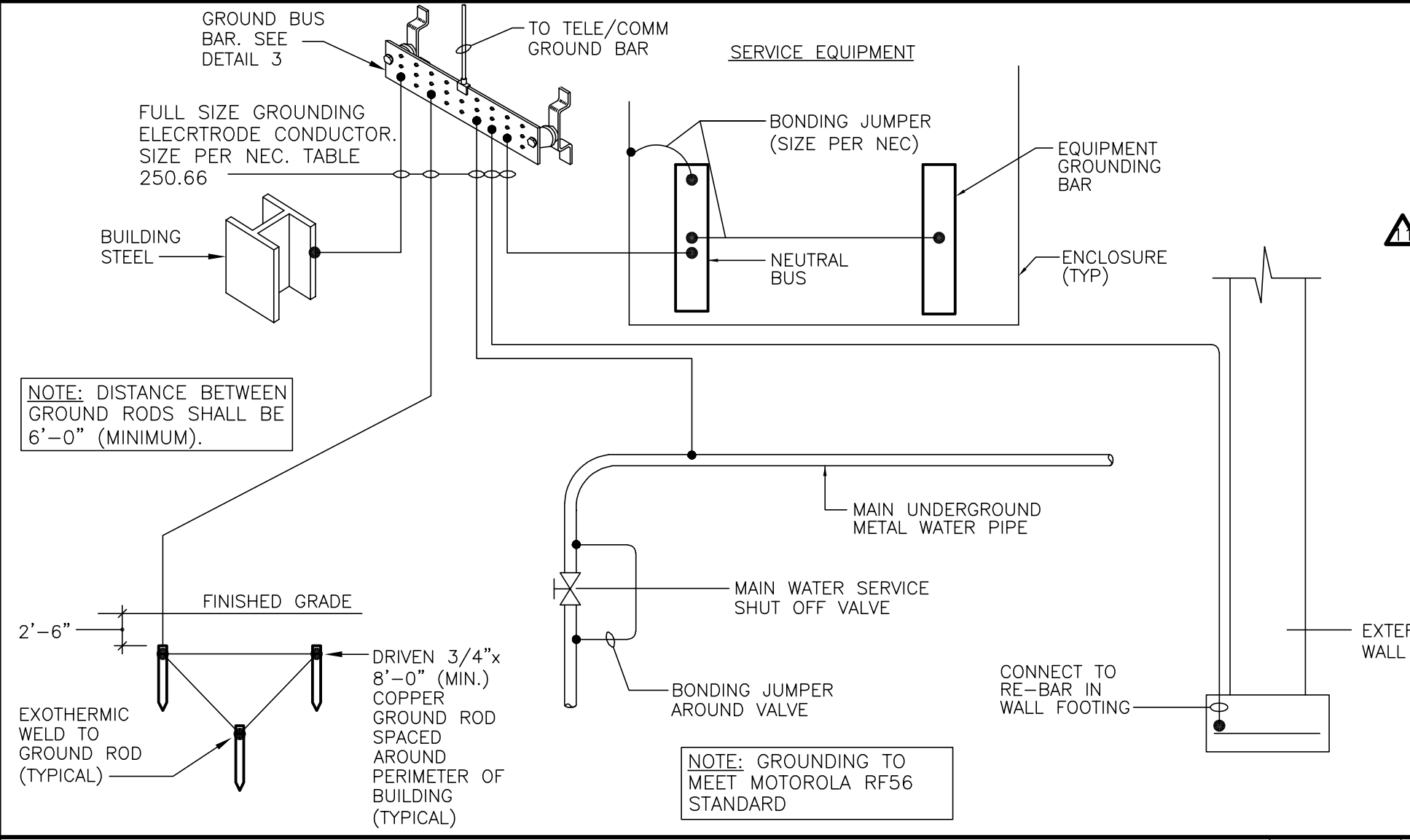
LANDSCAPING PLAN

SCALE	: 1" = 30'
DESIGN BY	: CJP
DRAWN BY	: RFT
CHECKED BY	: SLM
GMB FILE	: 180173
DATE	: MAY 2022
L1.0	



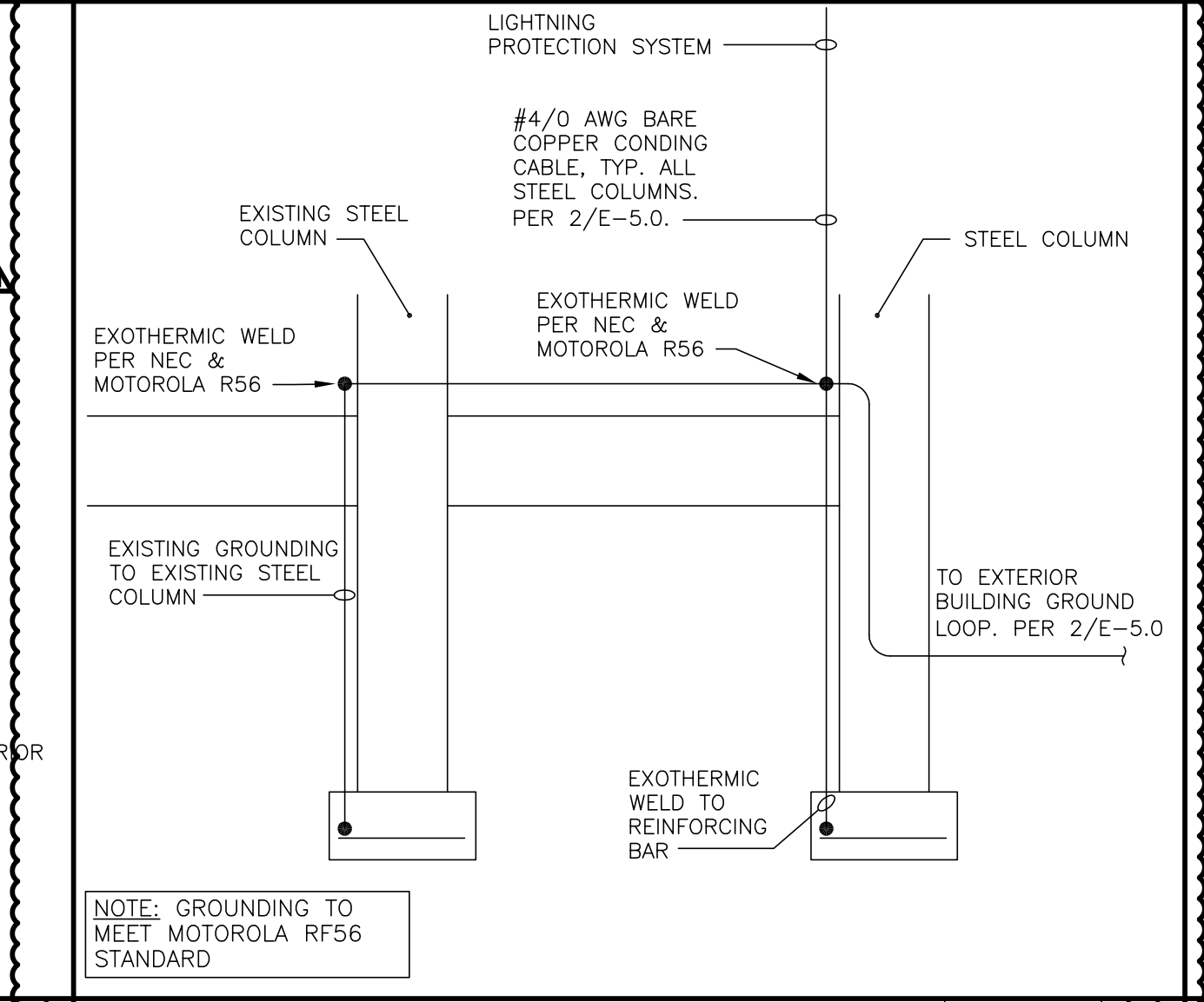
POWER DISTRIBUTION RISER DIAGRAM

SCALE: NONE 1



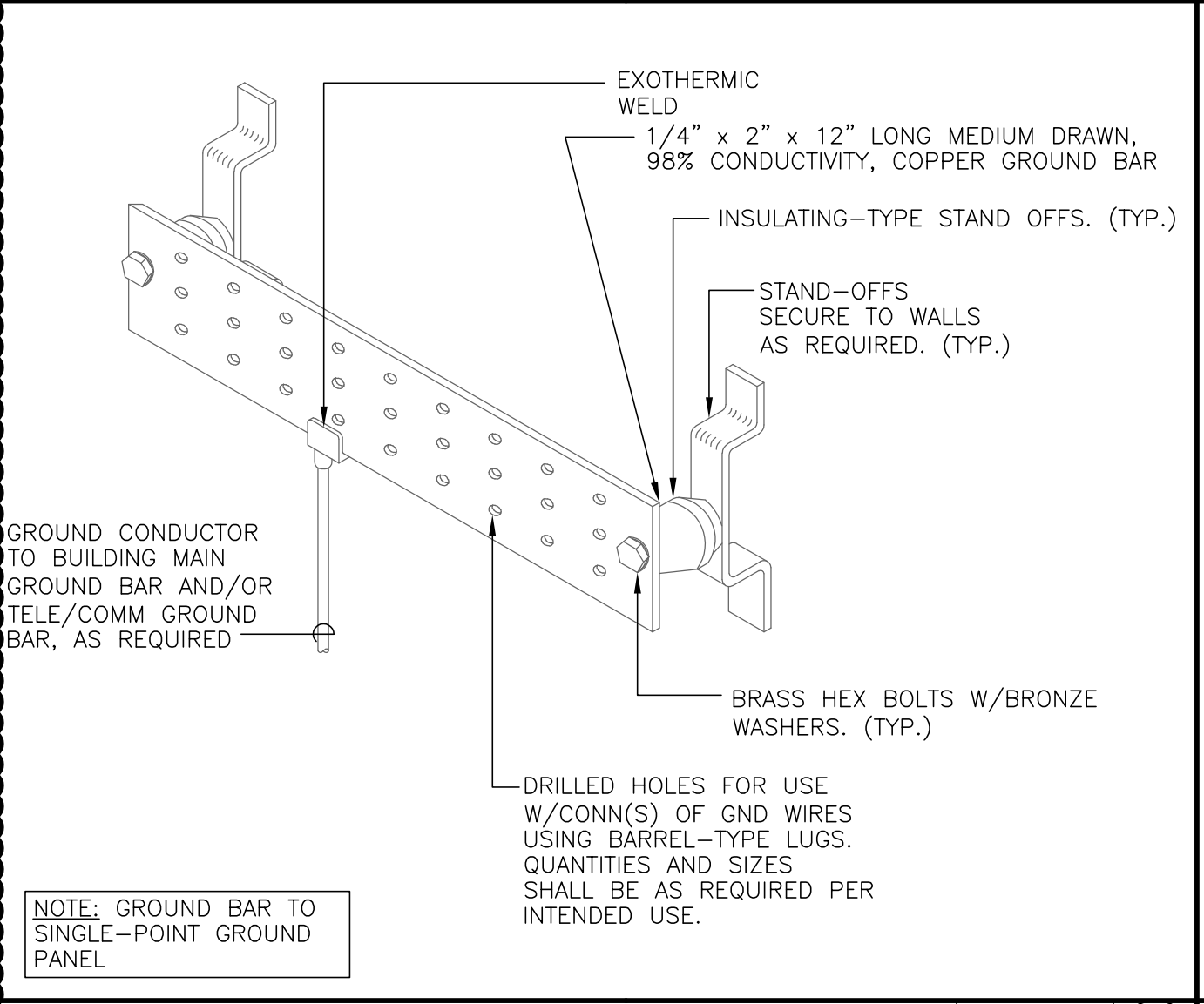
GROUNDING DETAIL

SCALE: NONE 2



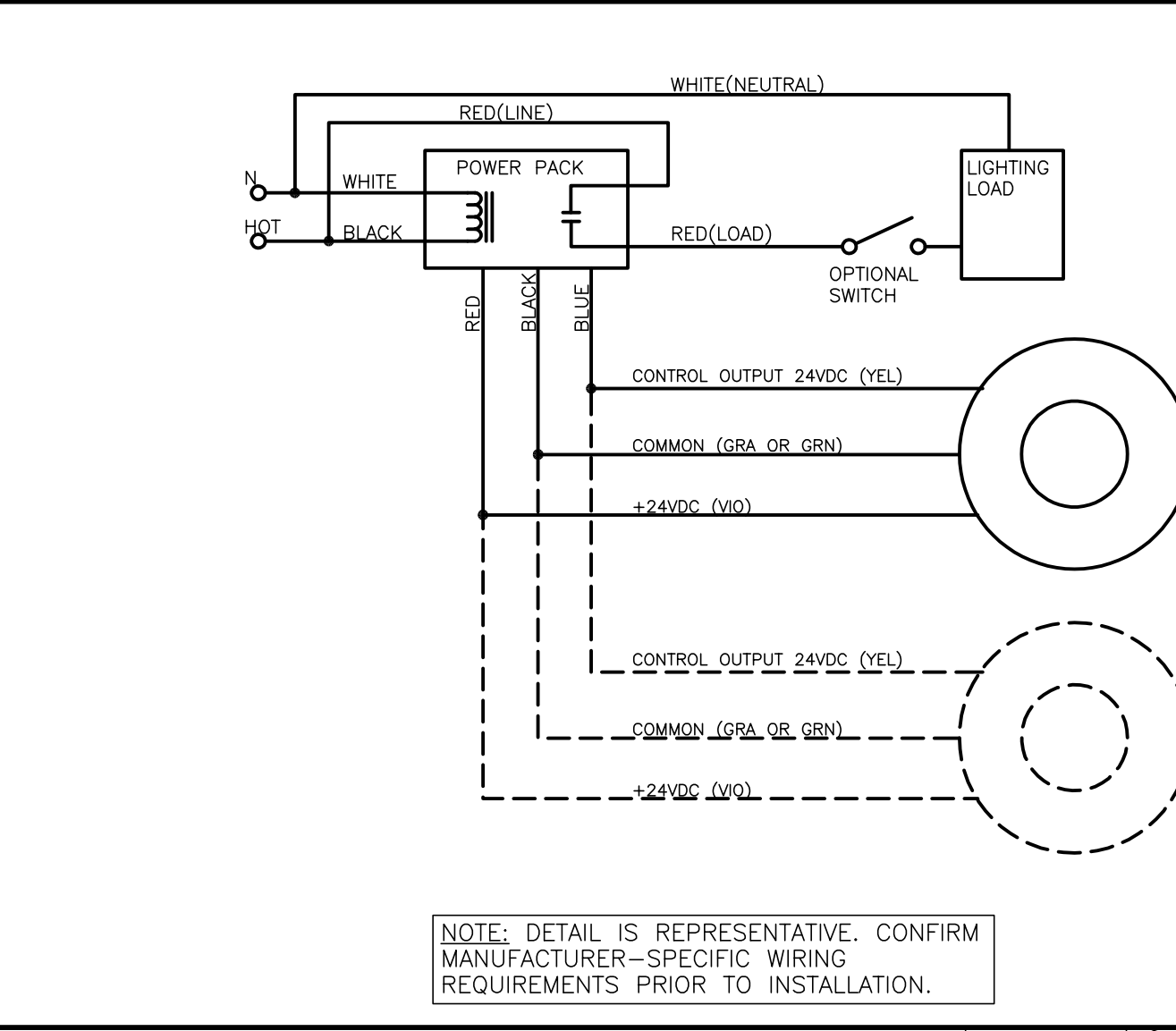
EXISTING/NEW COLUMN GROUNDING

SCALE: NONE 2a



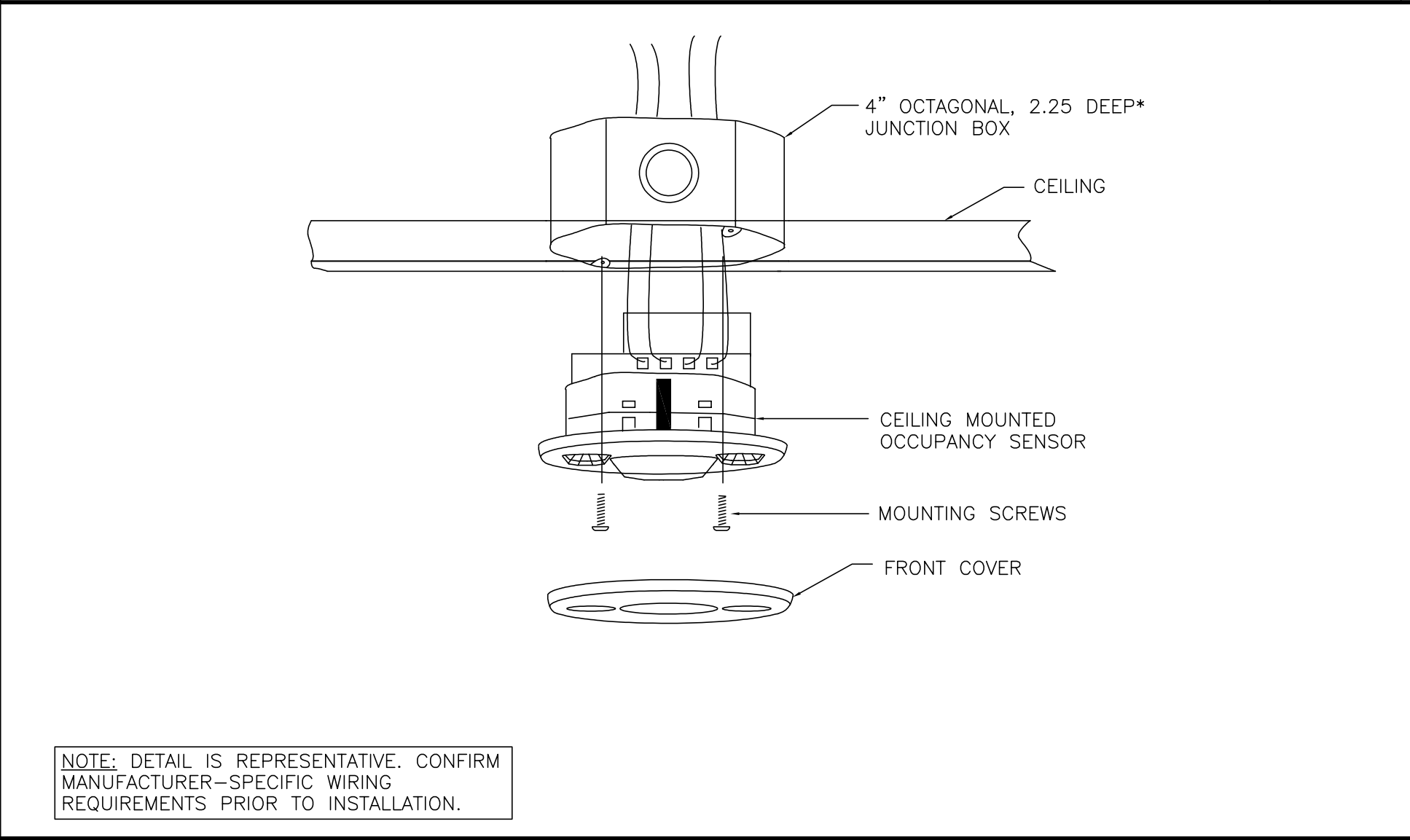
SERVICE & TELE/COMM GROUND BAR

SCALE: NONE 3



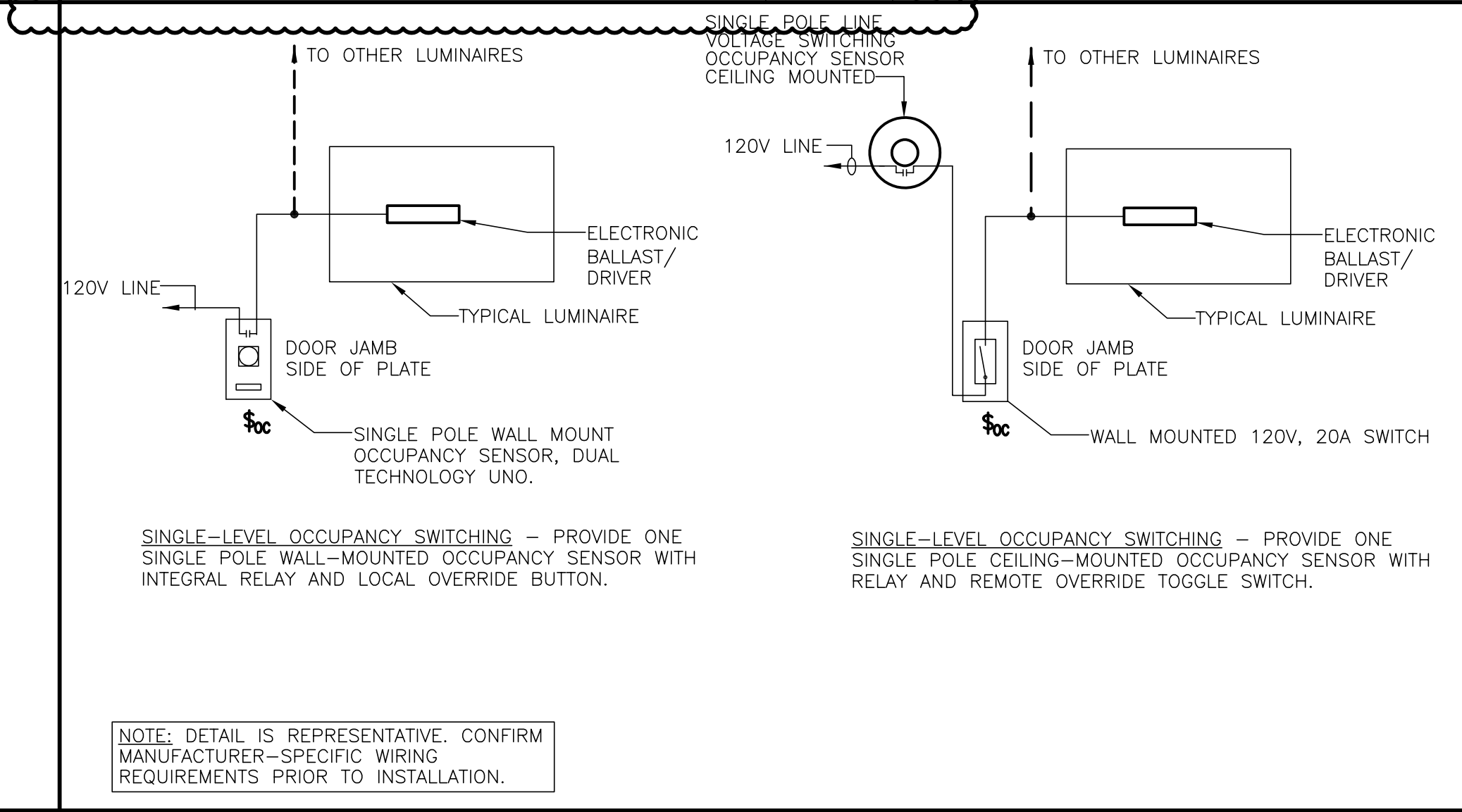
OCCUPANCY SENSOR CONTROL DETAIL

SCALE: NONE 4



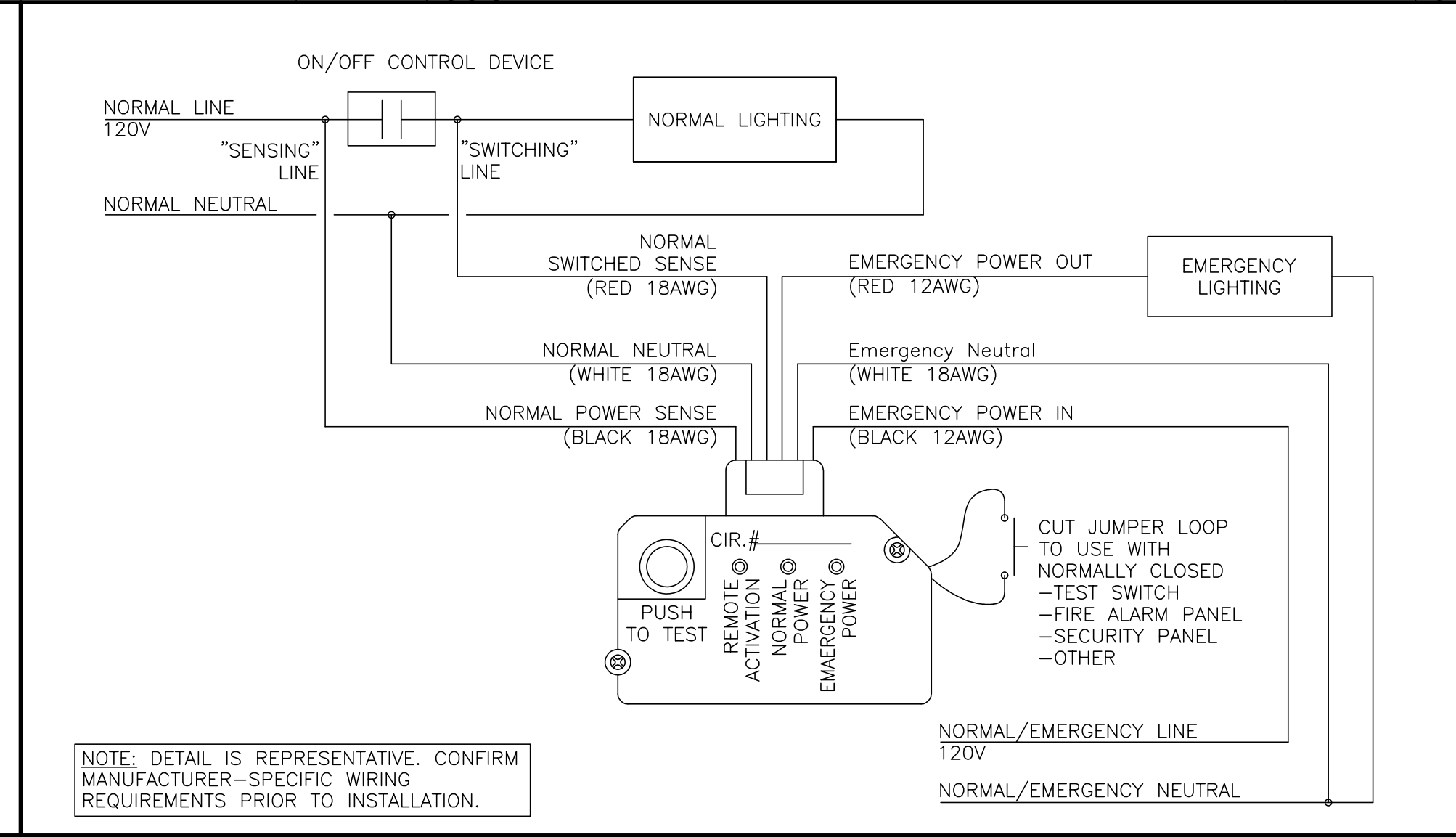
TYP. CEILING MOUNTED OCCUPANCY SENSOR DETAIL

SCALE: NONE 5



LIGHTING CONTROL DIAGRAMS

SCALE: NONE 6



NORMAL/EMERGENCY LIGHTING CONTROL BY-PASS DETAIL

SCALE: NONE 7

NO.	REVISION	DATE
5	PERMIT COMMENT REVISIONS	10/13/2021
6	ROOF DRAIN REVISIONS	12/7/2021
7	WINDOW REVISIONS	12/14/2021
8	COUNTY SITE GRADING REVISIONS	12/26/2021
9	DRAWING REVISIONS	01/26/2022
10	EOC KITCHEN REVISIONS	02/21/2022
11	MEMORIAL PLAZA REVISIONS	04/08/2022

NEW ADDITION FOR:
SUSSEX COUNTY EMS ADMINISTRATION BUILDING
GEORGETOWN, DELAWARE

ELECTRICAL DETAILS

SCALE: AS NOTED
DESIGN BY: CMU
DRAWN BY: TRC
CHECKED BY: TRC
GMB FILE: 180173
DATE: 05-04-20

E5.0

rmf RMF ENGINEERING INC.
100 EAST MAIN STREET, STE. 301
SALISBURY, MARYLAND 21801
TEL: 443.736.1638 TF: 800.938.5760

SUSSEX PSB - CE 099 New Airport Sign

Thompson & Sons

Demo existing sign	\$2,150.50
Grade/seed/rip rap	\$9,677.29

Continental Electric

Power to sign	\$1,113.00
---------------	------------

Phillips Sign

Sign, lettering, logos	\$10,206.06
------------------------	-------------

DW Masonry

CMU, brick, precast	\$12,513.30
---------------------	-------------

Realty Landscaping

New plantings	\$5,892.71
Rev 11/12 credit	-\$5,762.00

Trade subtotal	\$35,790.86
-----------------------	--------------------

Bancroft mark ups

MH's

Rate

PM	60	96.11	\$5,766.60
Super	60	79.53	\$4,771.80
Proj Coordinator	24	51.81	\$1,243.44

Subtotal	\$47,572.70
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Bond @ 1%	\$475.73
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Subtotal	\$48,048.43
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<u>Profit @ 5%</u>	\$2,402.42
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Total	\$50,450.85
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Notes

**This work will be executed beyond the original contract period.
 BCC staff costs based on 6 week duration to construct the sign
 PM and Super calculated at 25% of the duration
 Project Coordinator calculated at 10% of the duration**

D.W. MASONRY, INC.

THE MASONRY EXPERTS

Sussex Public Safety

CO #4rev Added Work for Sign per CE #099

Qty	Item	Cost / Hour	Total
	20 hours Mason	\$78.00	\$1,560.00
	20 hours Labor	\$68.00	\$1,360.00
	35 8" Block	\$2.20	\$77.00
	40 4" Block	\$1.10	\$44.00
	710 Brick	\$0.75	\$532.50
	10 Grout	\$210.00	\$2,100.00
	20 Bags of Mortar	\$25.00	\$500.00
	0.50 ton of sand	\$85.00	\$42.50
	1 Precast w/ Delivery	\$5,046.00	\$5,046.00
		O/H & Profit	\$1,251.30
		Total	\$12,513.30

CONTINENTAL Electrical Services LLC.

CHANGE ORDER REQUEST

Submitted To: Bancroft Construction
 Job Name: Sussex County Public Safety Bldg
 Job #: 21-257

Original Contract: _____
 Date: 2/3/2023
 Change Order #: 11

This Change Order Request (C.O.R.) contains an itemized quotation for changes in the Contract Sum or Contract Time in response to proposed modifications to the Original Contract: _____.

Description of Proposed Changes:

- Furnish labor and material for sign changes

Extension of conduit and wiring not included if the sign moves to new location

Attached supporting information from: Subcontractor Supplier

<u>Labor:</u>				<u>Total</u>
<u>Class</u>	<u>Rate</u>	<u>Hours</u>		
Foreman	\$ -			\$ -
Journeyman	\$ 95.00	6		\$ 570.00
Apprentice	\$ -			\$ -
PM/Office	\$ 175.00	1		\$ 175.00
Labor Total =				\$ 745.00
<u>Material:</u>				
Misc. Material				\$ 275.00
Quoted Material				\$ -
Quoted Material				\$ -
Quoted Material				\$ -
Quoted Material				\$ -
Material Total =				\$ 275.00
Safety				\$ 18.63
Shipping / Receiving				\$ 3.85
Consumables				\$ 4.13
Warranty				\$ 14.90
Gross / Receipts Tax				\$ 10.20
Bond				\$ -
Misc. Total =				\$ 51.70
Sub Total =				\$ 1,071.70
Overhead & Profit				\$ -
				\$ 41.25
Grand Total =				\$ 1,113

We propose hereby to furnish material and labor in accordance with above specifications for the sum of:

One Thousand One Hundred Thirteen Dollars and 00/100..... **\$ 1,113**

Above additional work to be performed under same conditions as specified in original contract unless otherwise stipulated. The Revision becomes part of and in conformance with, the existing contract and can be voided.

Authorized Signature: John McKee Signature: _____
 Date: _____



REALTY LANDSCAPING

Landscape Design
Landscape Construction
Site Maintenance
Irrigation & Lighting

Phone 215-598-7334
Fax 215-598-7345
www.realtylandscaping.com

PROPOSAL

Realty Landscaping Corporation

Date: Tuesday, February 07, 2023

2585 Second Street Pike
Newtown, PA 18940
www.realtylandscaping.com

P: (215) 598-7334
F: (215) 598-7345

Proposal Submitted To: Bancroft Construction

Work To Be Performed At: SUSSEX COUNTY PUBLIC
SAFETY

WORK ORDER SUMMARY

SERVICES	Quantity	Unit	SALES TAX	TOTAL PRICE
Misc. Construction			\$0.00	\$18,764.67
PA Fieldstone Boulder 1 Ton - Installed	25.00	ton		<i>BY OTHERS</i>
Planting			\$0.00	\$5,892.71
Mulch - Triple Ground @ 2"	3.00	cu. yd.		
Thuja plicata 'Green Giant' - installed	9.00	8-10'		
Ilex crenata 'Steeds' - installed	2.00	4-5'		
			\$0.00	
			\$0.00	\$24,657.38

Sale	\$24,657.38
Sales Tax	\$0.00
Total	\$24,657.38

+ 5,892.71

We assume no responsibility for the occurrence of or development of artillery fungus and we will not be held liable for its development or clean up. All material is guaranteed to be as specified, and the above work to be performed in accordance with the drawings and specifications submitted for above work and completed in a substantial workmanlike manner for the sum of \$24,657.38.

This price does not include any applicable state or local sales tax. Not responsible for any Cable TV, low voltage lighting, irrigation lines, etc.

Any alteration or deviation from above specifications involving extra costs, will be executed only upon orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry flood, tornado and other necessary insurance upon above work. Workers' Compensation and Public Liability Insurance on above work to be taken out by:

Respectfully submitted: **Realty Landscaping Corporation**
PA 001724 ♦ NJ 13VH04478500

Submitted By: Kane O'Connor

Note -- This proposal may be withdrawn by us if not accepted within 30 days

Realty Landscaping Corporation



We accept the following major credit cards:

Payment by Credit Card: If Customer shall pay its obligation to Contractor by credit card, Customer shall not be permitted to cancel same after payment has been made by the credit card, except with the written consent of the Contractor's management and the granting or withholding of such consent shall be within the sole discretion of the Contractor. FEE NOTICE: All credit card sales shall be subject to a fee of +/- 4% on the transaction amount

ACCEPTANCE OF PROPOSAL

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payments will be made as outlined above. Attached items and conditions of this contract are binding and a part of this contract. Failure to make any payment due hereunder within 10 days of its due date constitutes a default, and if Realty Landscaping Corporation must retain an attorney for collection, then the undersigned agree to pay all reasonable attorney fees and the cost of collections. Payments not made within five days of due date shall be subject to a late charge of 5% of said payment. All payments hereunder shall be made to the above address of Realty Landscaping Corporation.

Print Name: _____ Print Name: _____

Signature: _____ Date: _____ Signature: _____ Date: _____

Email Address: _____ Email Address: _____

Phone Number: _____ Phone Number: _____

CONDITION

It is the customer's responsibility to locate, clearly identify, and notify Realty Landscaping of all underground conduits, wiring, pipes, septic systems, etc. Any damage to such underground conduits, wiring, pipes, septic systems, etc. shall not be the responsibility of Realty Landscaping. We have the right to substitute any plant under warranty.

The landscape contractor shall not be held responsible for concealed conditions such as, but not limited to, rock, water, clay pan, asphalt or any other obstacles encountered which are not apparent at the time of estimating.

Once material is delivered and installed, the responsibility for disappearance, theft, or vandalism shall be the customer's.

It will be the customer's responsibility to clear the area to be landscaped of all debris, building materials and any other obstructions, unless Realty Landscaping is contracted to do so.

Substitutions of plant material may be necessary due to the availability of certain materials, with the client approval.

All materials installed by Realty Landscaping will be true to name, and up to or beyond industry standards. Plants will be free from disease, insects, and in healthy condition when planted. Proper watering, fertilizing, and pest control are necessary to maintain healthy plant growth. Once installed, we are not responsible for damage from acts of God or extreme weather conditions, theft, vandalism, or disappearance.

Before, during, or after installation excessive storm damage may cause erosion of mulching and planting areas, dry stream beds and groundcover areas. Realty Landscaping will not be held responsible for storm damage. We will restore the areas to their original condition after signing a work order to approve such restoration.

Contractor will perform for Customer, in a professional and workmanlike manner, grounds management and maintenance services as specified herein. Contractor will regularly inspect the landscape as part of our customer care program.

Contractor will furnish all supervision, labor, materials, equipment, supplies and services to maintain, in an attractive, healthy and safe condition those areas specified.

Damages must be reported to the Contractor within thirty (30) days. Failure to report damages within such time constitutes a waiver and the Contractor is released from liability.

Contractor is required to secure all permits necessary to perform the specified services and will comply with all applicable workers' compensation, employer's liability, and other federal, state, county and municipal laws, ordinances, rules and regulations applicable to Customer's location. Contractor shall not be responsible for delays caused by strikes, accidents or other contingencies beyond our control. Contractor assumes no responsibility for the development or occurrence of any fungus or mold and will not be held liable for related damage, injury, or cleanup. Customer to carry fire, tornado and other necessary insurance.

Customer will be responsible for payment to Contractor of all local, city and state taxes when applicable on landscape maintenance services.

Realty Landscaping reserves the right to impose a fuel surcharge to customers.

This contract may be terminated for any reason, by either party, provided thirty (30) days written notice is given via certified mail. Upon termination, Customer will be invoiced for work completed under this contract on a prorated basis.

This document defines pricing and specifications for labor, equipment, material, subcontractors or services to be provided by Realty Landscaping Corporation.

You may cancel this contract, without any penalty or obligation, within three days after the date the contract/transaction is signed. Please refer to the attached, Notice of Cancellation, for details.

INDEMNIFICATION

To the fullest extent permitted by law, Contractor, for itself and all parties acting under or through Contractor, shall indemnify and hold harmless Customer from and against all claims, damages, suits, losses and expenses of property, or bodily injury resulting from a negligent act on Contractor's part. Similarly, Customer shall indemnify and hold Contractor harmless from and against all claims, damages, suits, losses and expenses of property damage or bodily injury resulting from a negligent act or omission not caused by Contractor or Contractor's agents and/or employees.

WARRANTY

We will replace or credit all nursery stock supplied and installed by us that fail to survive for a period of one year from the date of invoice. Plants will only be replaced one time at no charge for materials and labor. Replacement plants are not warranted. Liability not to exceed plant value.

The following are expressly excluded from coverage by this warranty: Perennials, groundcover, other non-hardy plants, bare root plants, plants in containers above ground, client supplied plants, transplants, grass seed and sod. Transplanting, in most circumstances, is successful. However, to insure success we must prune each plant moderately to severely, as we see fit, before its relocation is started. Bare root groundcovers under 4" pot size are not warranted.

All construction shall, unless otherwise specified herein, carry a one-year warranty from the date on the invoice on materials and workmanship excluding neglected maintenance, misuse, vandalism, or damage from acts of God. Where applicable manufacturers' warranties shall apply. Warranties will be voided in cases of physical and or chemical damage, neglect in watering or pest control, or in accounts over 60 days past due from date of invoice.

A service charge of 1.5% per month (18% per annum) will be added to all accounts 30 days or more past due.

All plant material and construction warranties will be voided after 60 days from date of invoice on past due accounts.

All material is warranted to be as specified. All work is to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements are contingent upon strikes, accidents or delays beyond our control. All our personnel are fully covered by Workers' Compensation Insurance.

Thompson & Sons Contracting Inc.
300 Torbert RD
Millford, DE 19963

CHANGE ORDER DETAIL FORM
 (Provided by contractor, subcontractor or sub tier contractor)

DATE SUBMITTED: 1/31/2023
 CONTRACT: Public Safety Building CSED0001-Sitework
 CONTRACTOR: Thompson & Sons Contracting Inc.
 PROJECT NAME: Sussex County Public Safety Building
 CHANGE ORDER REQUEST:#18 Demo Existing Sign

LABOR SECTION			
TRADESMAN(s):	LABOR HOURS	RATE (per schedule)	SUBTOTAL
Labor	24 hrs	\$40.00	\$960.00
Subtotal			\$960.00

MATERIAL SECTION			
MATERIAL:	QUANTITY	UNIT COST	SUBTOTAL
Subtotal			

EQUIPMENT SECTION			
EQUIPMENT:	QUANTITY	UNIT COST	SUBTOTAL
Equipment			\$530.00
Truck & Driver	4hrs	\$95.00	\$380.00
Subtotal			\$910.00

SUBTOTAL	\$1,870.00
SUBCONTRACTOR/SUB TIER*	
OH & PROFIT (15% GC only)	\$280.00
10 % OH & PROFIT	
OII & PROFIT (7.5% sub)	
GRAND TOTAL	\$2,150.50

THOMPSON SUMMARY
 SIGN DEMO 2,150.50
 R-7 RIP PAD 9,677.29
 AND SEEDING
 TOTAL \$11,827.79

Thompson & Sons Contracting Inc.
300 Torbert RD
Milford, DE 19963

CHANGE ORDER DETAIL FORM
 (Provided by contractor, subcontractor or sub tier contractor)

DATE SUBMITTED: 2/17/2023
 CONTRACT: Public Safety Building CSED0001-Sitework
 CONTRACTOR: Thompson & Sons Contracting Inc.
 PROJECT NAME: Sussex County Public Safety Building
 CHANGE ORDER REQUEST:#22 Land Landscape Boulders-Allan Myers

LABOR SECTION			
TRADESMAN(s):	LABOR HOURS	RATE (per schedule)	SUBTOTAL
Supervision			\$1,360.00
Labor	64 hrs.	\$40.00	\$2,560.00
Deliver & Pick up Equipment			\$460.00
Regrade Disturb Area	32 hrs.	\$40.00	\$1,280.00
Subtotal			\$5,660.00

MATERIAL SECTION			
MATERIAL:	QUANTITY	UNIT COST	SUBTOTAL
Seed			\$150.00
Matting			\$400.00
Allan Myers R-7	21 tons	\$59.30	\$1,245.00
Subtotal			\$1,795.00

EQUIPMENT SECTION			
EQUIPMENT:	QUANTITY	UNIT COST	SUBTOTAL
Excavator	16 hrs.	\$60.00	\$960.00
Subtotal			\$960.00

VERY IMPORTANT Thompson & Sons Contracting Inc has based price on Quote from Allan Myers for R-7 material. Thompson & Sons Contracting Inc. can NOT guarantee that boulders will be the range in th 3' range or that the 21 tons will be enough material.If more than one load isrequired for material there will be an extra delivery charge.

If Allan Myers Invoicing exceeds this estimated COR. We will send a follow up COR for the balance.

SUBTOTAL	\$8,415.30
SUBCONTRACTOR/ SUB TIER*	
OH & PROFIT (15% GC only)	\$1,262.29
10 % OH & PROFIT	
OH & PROFIT (7.5% sub)	
GRAND TOTAL	\$9,677.29



**610-560-7900
MALVERN OFFICE**

QUOTE Date: 2/16/2023

**Quote No: 113508-SUSSEX
PLEASE REFER TO THE QUOTE #
WHEN PLACING AN ORDER**

**Allan Myers Materials is pleased to quote
THOMPSON & SONS CONTRACTING INC**

SUSSEX COUNTY PUBLIC SAFETY BUILDING

Located at: 21911 RUDDER LANE GEORGETOWN
(nearest intersection) (city/township)

CONTACT: Bonnie Thompson FAX #/EMAIL: Office@ThompsonSonsInc.Net

Product	Plant / Quarry	Est Qty (Tons)	Item Price	Haul Rate	Delivered Price
R-7 RIP RAP / CLASS III	Elk Mills Aggregate	1500	\$34.00	\$21.30	\$55.30
Additional Charges:					
RIP-RAP HAUL SURCHARGE (R4-R5 / CLASS 0 / CLASS I) *Will be added to above quoted haul rate					\$1.25
RIP-RAP HAUL SURCHARGE (R6 / CLASS II) *Will be added to above quoted haul rate					\$2.50
RIP-RAP HAUL SURCHARGE (R7-R8 / CLASS III) *Will be added to above quoted haul rate					\$4.00
TRUCK RENTAL (HOURLY HAUL)					\$95.00/HR
WAIT TIME					\$1.58/MIN

SPECIAL CONDITIONS: FUEL SURCHARGE NOT INCLUDED (see last page.) MATERIAL & TRANSPORTATION SUBJECT TO AVAILABILITY AT TIME OF ORDER.

TERMS & CONDITIONS:

- Quote expires 30 days from above quote date. Upon acceptance, quoted prices will be based on FOB or delivery on or before **JUNE 30, 2023**. * Unless otherwise stated in the Special Conditions, the following increases will be applied to all above pricing at the expiration of this quote and will be added annually for the duration of the job: Asphalt pricing will increase \$2.00/tn for all locations except Chesapeake which will increase \$2.50/tn; Aggregate pricing will increase 7%/tn; Transportation charges will increase 6%.
- Pricing may increase to reflect fuel escalations.
- Quoted prices are based on delivery during normal business hours, unless special conditions have been agreed to in advance by Seller and Purchaser.
- Material and price subject to availability at time of order. Purchaser is **RESPONSIBLE** for correct mix type at time of placing order.
- The Purchaser agrees to give the Seller reasonable notice of the time and rate of deliveries under Contract. All deliveries will be made to the best of the Seller's ability and dispatch, no claims will be allowed because of delays in deliveries.
- Purchaser must provide roadways or approaches permitting access of trucks to the point of delivery under their own power. Seller reserves the right to stop deliveries in the event such roadways are not provided.
- Payment terms: C.O.D. or Net 30 days if Purchaser is approved for a credit account, which account shall be subject to all terms and conditions of Allan Myers' Application for Credit.
- The Terms and Conditions herein set forth shall be binding upon the Purchaser and shall take the place of and preclude and exclude any terms and conditions set forth by the Purchaser on any of the Purchaser's orders, invoices, instructions or any other communications written or verbal.
- The Purchaser's exceptions and claims shall be deemed waived unless received within 48 hours from time of delivery. The Seller shall be given full opportunity to investigate them. The Seller's liability shall in no event exceed the purchase price of the materials against which the claim is made. **Mechanical breakdowns will not warrant back-charges to the Seller.**
- Sales tax will be added unless Seller receives the necessary certificate for exemption.
- Purchaser may cancel an order in whole or in part and will reimburse the Seller for reasonable cost and expense.
- Purchaser hereby agrees to indemnify and hold Seller harmless against all liability, loss, expense or damage, including counsel fees and court costs incurred as a result of or relating to product supplied by Seller.
- Allan Myers Materials is the trade name used by certain subsidiaries of Allan Myers, Inc. in connection with the subsidiary's supply of material or hauling services to customers. Your agreement to purchase material from an asphalt plant identified in this quotation is with the subsidiary that operates that identified plant. Your agreement to purchase material from a quarry identified in this quotation is with the subsidiary that operates that identified quarry. To the extent you are also purchasing hauling services with respect to any material, your agreement to purchase these hauling services is with the subsidiary that performs such hauling services.
- Delivery Haul Rates based on 20 ton minimum load.

15. Wait time charges will be assessed after 15 min (AGGREGATE) / 30 min (ASPHALT) on the jobsite. Additional delays in excess of 15 minutes at the plant will be assessed if caused by the job.
16. Delivered material will be subject to a Haul Fuel Surcharge which will be calculated using the above quoted haul rate and the attached matrix unless otherwise stated in the "Special Conditions".
17. Truck Rental: There will be an additional charge for RATED WORK (on-site projects) and ROCK-BODY TRUCKS.
18. Trucks working hourly at your site will be subject to 30 minutes travel time.
19. This quote does not provide a guarantee of transportation capacity at the quoted rates. Transportation services subject to availability at the time the service is requested.
20. Asphalt Winter Charge: \$3.50/ton will be charged for material supplied December 15th through March 15th.

Quoted By: _____
Eric Church
PHONE #:610-216-7202

Accepted: _____
Date: _____
Signature: _____

Phillips Signs Inc.
20874 Sussex Hwy, Seaford, DE, 19973

www.phillipssigns.biz



Quote 6140

HALO LIT LETTERS

SALES REP INFO
Matt Phillips
matt@phillipssigns.biz

QUOTE DATE
01/13/2023
QUOTE EXPIRY DATE
02/12/2023
TERMS
Due on receipt

ORDERED BY
DELAWARE COASTAL AIRPORT

CONTACT INFO

About this Quote: HALO LIT CHANNEL LETTERS

#	ITEM	QTY	UOM	U.PRICE	TOTAL (EXCL. TAX)	TOTAL (INCL. TAX)	TAXABLE
1	Channel Letters - Halo Lit COASTAL AIRPORT LETTERS ONLY Height: 14 Inches Width: 204 Inches 150w Power Supplies: 1 # of Paint Colors: 2 White LED Bag Count: 1.5 Misc. Parts: 150 Channel Letter Coil .063 - 3" <u>Spacer Depth:: 1.5"</u>	1	Each	\$3,933.12	\$3,933.12	\$3,933.12	Y
2	Channel Letters - Halo Lit DELAWARE AND CHANNEL CASE ONLY Height: 14 Inches Width: 144 Inches 150w Power Supplies: 1 # of Paint Colors: 2 White LED Bag Count: 1 Misc. Parts: 75 Channel Letter Coil .063 - 3" <u>Spacer Depth:: 1.5"</u>	1	Each	\$3,276.76	\$3,276.76	\$3,276.76	Y
3	Installation Labor Installation Labor	18	Hr	\$125.00	\$2,250.00	\$2,250.00	N
4	Digital Print SIGNS 365	1	Each	\$100.00	\$100.00	\$100.00	Y
5	Fuel Surcharge	25	Mile	\$0.46	\$11.50	\$11.50	N
6	Channel Letters - Halo Lit 2 PANS FOR BACK OF BRICKS Misc. Parts: 250 <u>Spacer Depth:: 2"</u>	1	Each	\$634.68	\$634.68	\$634.68	Y

A 50% deposit is required upon acceptance of the quote and the balance is due upon completion. As a courtesy, you may pay with a credit card. If the amount is over \$2,000.00, please add 3% to the total balance due.

Subtotal:	\$10,206.06
Sales Tax (0%):	\$0
Total:	\$10,206.06

We cannot accept responsibility for damages or loss of any kind resulting from the sale, installation, or delivery of our products. Phillips Signs, Inc. does not accept returns. All products are manufactured to the customer's specifications and cannot be returned for a refund. For installations that require, a dedicated sign circuit will be provided by customer within a reasonable distance to the location of signage installation. Phillips Signs, Inc. is not responsible for any power issues pertaining to the sign circuit. All sales are final and no return will be accepted.

Downpayment (50.0 %)

\$5,103.03

SIGNATURE:

DATE:

PROPOSAL

Realty Landscaping Corporation

Date: 2/ 17 /2022

4489 Rt 130 South
Burlington NJ 08016
www.RealtyLandscaping.com

P: (215) 598 7334
F: 609- 386- 5964

Proposal Submitted To: **BANCROFT**

Work To Be Performed At:

**SUSSEX COUNTY PUBLIC SAFETY
GEORGETOWN , Delaware
REVISED 11+12**

Scope of Work:

DEDUCT PLANTING

Amelanchier canadensis - installed	10.00	6-7'
Thuja occidentalis 'Emerald' - installed	6.00	4-5'
Nandina domestica 'Lemon Lime' - installed (Kit)	6.00	1 gal
Berberis thunbergii 'Admiration' - installed (Kit)	10.00	1 gal

DEDUCT MULCHING

10 TRIPLE GROUND MULCH

Material Deduction: \$2,017.00

Labor Deduction: \$3,745.00

TOTAL DEDUCTION \$ 5,762.00

Kane O'Connor
Senior Sales
Realty Landscaping Corp.
4489 Route 130 South
Burlington, NJ 08016



Bancroft Construction
2324 West Zion Road Suite 108
Salisbury, Maryland 21801
Phone: (410) 844-8080

Project: CSED0001 - Public Safety Bldg. Addition
21911 Rudder Lane
Georgetown, Delaware 19947

DRAFT

Prime Contract Potential Change Order #023: CEs 074, 091, 096 &100

Table with 4 columns: Field Name, Value 1, Value 2, Value 3. Includes fields like TO, FROM, PCO NUMBER/REVISION, CONTRACT, REQUEST RECEIVED FROM, CREATED BY, STATUS, CREATED DATE, REFERENCE, PRIME CONTRACT CHANGE ORDER, FIELD CHANGE, LOCATION, ACCOUNTING METHOD, SCHEDULE IMPACT, PAID IN FULL, and TOTAL AMOUNT.

POTENTIAL CHANGE ORDER TITLE: CEs 074, 091, 096 &100

CHANGE REASON: No Change Reason

POTENTIAL CHANGE ORDER DESCRIPTION: (The Contract Is Changed As Follows)

CE #074 - Office Monitor Blocking
tv monitor blocking

CE #091 - Provide unit heater in mechanical and electrical room per County request
Furnish and install one unit heater in the mechanical/electrical room per the County's request. No heat source was provided in the design.

CE #096 - Change DOAS unit supply from gas to propane
Change DOAS unit fuel supply from natural gas to propane. Natural gas unit was specified but site natural gas is not available.

CE #100 - Credit to delete acrylic signs
Delete the interior acrylic signage per County request. Signage will be provided by the County.

ATTACHMENTS:

Change Order 12.doc Sussex County Public Bldg.msg PCO #12 Add Unit Heater.pdf PCO #11 Change from Natural Gas to Propane.pdf CO - 7 Added Unit Heater.pdf Unit Heater for Mechanical_Electrical Room.msg

Table with 5 columns: #, Cost Code, Description, Type, Amount. Lists items like Gypsum Board, Mechanical, and Electrical with their respective amounts and a Grand Total of \$1,922.46.



Morgan Helfrich (George, Miles & Buhr, LLC)

400 High Street
Seaford Delaware 19973

Sussex County Delaware

2 The Circle P.O. Box 589
Georgetown Delaware 19947

Bancroft Construction Company

1300 N. Grant Avenue Suite 101
Wilmington Delaware 19806

Michael Kalafut 02/08/23

SIGNATURE DATE

SIGNATURE DATE

SIGNATURE DATE



Bancroft Construction
 2324 West Zion Road Suite 108
 Salisbury, Maryland 21801
 P: (410) 844-8080

Project: CSED0001 - Public Safety Bldg. Addition
 21911 Rudder Lane
 Georgetown, Delaware 19947

CHANGE EVENT #074 - Office Monitor Blocking

Origin:

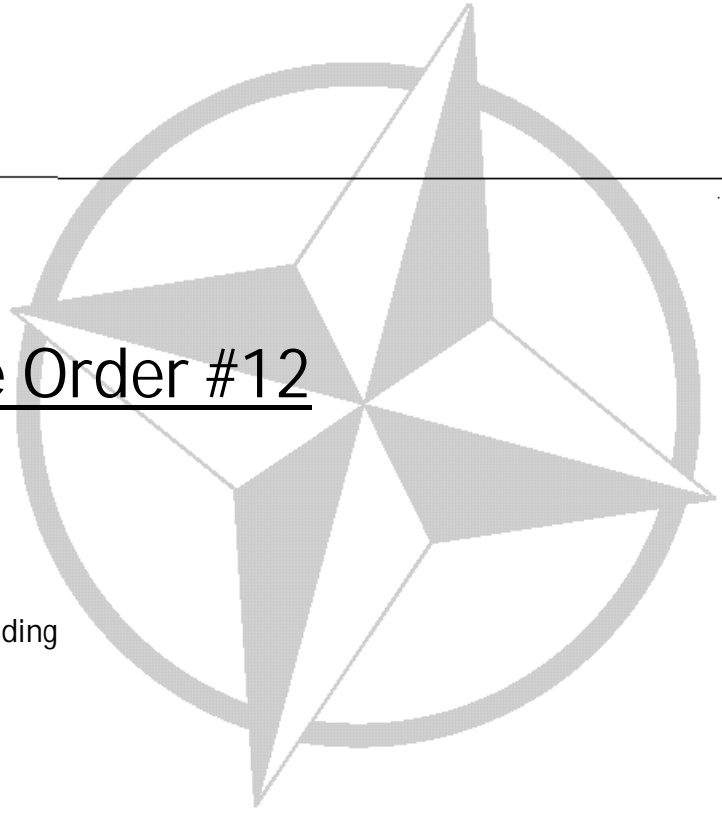
Date Created: 9/23/2022 **Created By:** Tyler Lewis
Status: Pending **Scope:** Out of Scope
Type: Owner Change **Change Reason:** Owner Directive
Description: tv monitor blocking
Attachments: [Change Order 12.doc](#)

CHANGE EVENT LINE ITEMS

Budget Code	Vendor / Contract	Revenue			Cost			Over/ Under	Budget Mod.
		ROM	Prime PCO	Latest Price	ROM	RFQ	Commit.		
09-250.06 Gypsum Board.Subcontract	North East Contractors, Inc. CSED0001-017	\$1,409.46	\$1,409.46	\$1,409.46	\$1,409.46			\$1,409.46	\$0.00
Description: additional blocking for monitors change order #12									
1-511.02 Sr. Project Manager.Regular Labor		\$0.00	\$70.47	\$70.47				\$0.00	\$70.47
90-999.10 Fee.Fee & Field Cost		\$0.00	\$89.54	\$89.54				\$0.00	\$89.54
Grand Totals		\$1,409.46	\$1,569.47	\$1,569.47	\$1,409.46	\$0.00	\$0.00	\$1,409.46	\$160.01

NEC

NORTH EAST CONTRACTORS, INC.
Commercial • Residential • General Contracting



Change Order #12

Bancroft
Attn: Michael Kalafut
Date: October 26, 2022

Project: Sussex County Public Safety Building
Drawings by: George, Miles & Buhr
Dated: 5/28/21

Reference:
Tv monitor blocking

Scope of Work	length	height	sq/ft	\$/unit	material \$	hours	rate	labor \$	subtotal
6" 18g flatstock	0	0	120	3	\$ 360.00	11	78.21	\$ 860.31	\$ 1,220.31
subtotal									\$ 1,220.31
								10%	subtotal \$ 1,220.31
								5%	overhead \$ 122.03
									profit \$ 67.12
									TOTAL \$ 1,409.46



Bancroft Construction
 2324 West Zion Road Suite 108
 Salisbury, Maryland 21801
 P: (410) 844-8080

Project: CSED0001 - Public Safety Bldg. Addition
 21911 Rudder Lane
 Georgetown, Delaware 19947

CHANGE EVENT #091 - Provide unit heater in mechanical and electrical room per County request

Origin:

Date Created: 12/28/2022 **Created By:** Mike Kalafut

Status: Pending **Scope:** Out of Scope

Type: Owner Change **Change Reason:** Owner Directive

Description: Furnish and install one unit heater in the mechanical/electrical room per the County's request. No heat source was provided in the design.

Attachments: [PCO #12 Add Unit Heater.pdf](#), [CO - 7 Added Unit Heater.pdf](#), [Unit Heater for Mechanical_Electrical Room.msg](#)

CHANGE EVENT LINE ITEMS

Budget Code	Vendor / Contract	Revenue			Cost			Over/ Under	Budget Mod.
		ROM	Prime PCO	Latest Price	ROM	RFQ	Commit.		
15-001.06 Mechanical.Subcontract	Joseph T Richardson CSED0001-007	\$4,180.00		\$4,180.00	\$4,180.00			\$4,180.00	\$0.00
16-001.06 Electrical.Subcontract	Continental Electrical Service CSED0001-016	\$1,246.00		\$1,246.00	\$1,246.00			\$1,246.00	\$0.00
1-511.02 Sr. Project Manager.Regular Labor		\$271.30	\$0.00	\$271.30				\$0.00	\$271.30
90-999.10 Fee.Fee & Field Cost		\$344.69	\$0.00	\$344.69				\$0.00	\$344.69

		Revenue			Cost					
Budget Code	Vendor / Contract	ROM	Prime PCO	Latest Price	ROM	RFQ	Commit.	Latest Cost	Over/ Under	Budget Mod.
Grand Totals		\$6,041.99	\$0.00	\$6,041.99	\$5,426.00	\$0.00	\$0.00	\$5,426.00	\$615.99	\$0.00

Fearn, Cheryl

From: Thomas Van Dyke <thomas.vandyke@sussexcountyde.gov>
Sent: Tuesday, December 27, 2022 3:30 PM
To: Reed, Wesley
Cc: Kalafut, Michael
Subject: Unit Heater for Mechanical/Electrical Room

Hi Wes,

I believe I mentioned that there was no heat source in the Mechanical room and that we would like to add something similar to what is in the Fire Sprinkler room. It turns out that the heater in the sprinkler room is a little oversized in my opinion so that model will suit the mechanical room just fine as well.

The parameters for the unit heater are as follows:

- Markell 5100 series, model number "F1F5105N" or approved equal.
- Not less than 5kW
- 208v/1ph
- Horizontal discharge.
- Provide integral disconnect switch.
- Provide thermal safety cutout with manual reset.
- Provide with A5100 wall bracket.

The final location will likely have to be determined once JTR has more of their piping installed.

Thomas Van Dyke

Project Engineer I

Sussex County Government

2 The Circle – PO Box 589

Georgetown, DE 19947

Direct: 302-855-7733 | Mobile: 302-493-1532



Joseph T. Richardson, Inc.

ELECTRIC
PLUMBING
HEATING AND
AIR CONDITIONING

MECHANICAL CONTRACTOR

FAX: 302-398-9504

P.O. BOX 269 • HARRINGTON, DELAWARE 19952 • PHONE: 302-398-8101

January 20, 2023

Mike Kalafut
Bancroft Construction

Re: Sussex Co. Public Safety Bldg. – Emergency Operations Center
PCO #12
Add Unit Heater

We are pleased to quote on installing 1 5kw unit heater per your request.

Labor – 4 hrs. @ \$72.00.....	\$ 288.00
Materials.....	2,025.00
ATC.....	1,322.00
OH – 15 %	545.00
Total	\$4,180.00

Four Thousand One Hundred Eighty Dollars

All prices are for acceptance within 30 days and subject to change without notice. All work to be performed under OPEN SHOP conditions. All quotations are accepted subject to our ability to secure sufficient, satisfactory materials and labor to perform the job. Terms: monthly payment on account of work performed and/or materials delivered to the job will be required and balance in thirty (30) days net cash after completion of our work: thereafter, a 1 ½% monthly charge will be added. Any State or Federal tax not included in this quote will be charged for extra.

Yours truly,
JOSEPH T. RICHARDSON, INC.



John Dunbar, President



Proposal

(Valid for 30 days from Proposal date)

PROPRIETARY AND CONFIDENTIAL PROPERTY OF Trane U.S. Inc.
DISTRIBUTION TO OTHER THAN THE NAMED RECIPIENT IS PROHIBITED
© 2023 Trane Technologies All rights reserved

Prepared For:
JTR Mechanical

Date: January 6, 2023

Proposal Number: D6-38241-4

Job Name:
Sussex County Public Safety Bldg

Delivery Terms:
Freight Allowed and Prepaid - F.O.B. Factory

Payment Terms:
Net 30 Days

Trane U.S. Inc. is pleased to provide the following proposal for your review and approval.

Equipment

Tag Data - EH (Qty: 1)

Item	Tag(s)	Qty
A1	EH-1	1

Product Data - EH

Item: I1 Qty: 5 Tag(s): EH-6
F1F5105N
5kw heater
208/1 phase
Filed installed
Thermostat
Disconnect
Bracket

Base Bid

Total Net Price (Excluding Sales Tax)\$ 2,025



CHANGE PROPOSAL / AUTHORIZATION

Company Name / Address: Joseph T. Richardson, Inc. 105 East Center Street Harrington, Delaware 19952 Requested By: John Dunbar (Joseph T. Richardson, Inc.)	Date: Jan. 18, 2023	Job No.: H-22-192
	Job Name: Sussex Emergency Operations Bldg.	
	Job Location: Georgetown, Delaware	
	Change Order # 1 (CE #091)	

To perform the following work associated with CE #091 Description of this change: Included: 1. Provide and install wall mounted Thermostat, EMT Conduit & Wire for added Unit Heater located at Mechanical Room. Not Included: 1. Power wiring to Unit Heater. 2. Overtime Labor (Work to be performed during normal daytime hours)	
Labor Cost:	Electrical/Tech Labor - \$920.00
Materials:	Wall mounted thermostat \$82.00 Electrical Materials - conduit, boxes, fittings and wire - \$320.00
Labor and Materials	Total = \$1,322.00

Prepared by: Steven R. Selander	Date: 1-18-23
------------------------------------	------------------

Original Contract Amount	Net of Previous Changes	Amount of this Change	Revised Contract Amount
\$98,200.00	\$00.00	\$1,322.00	\$99,522.00

This authorization constitutes approval to invoice and receive payment for the material and labor listed above as a change order. The approval authority acknowledges that additional labor including, but not limited to, engineering, drafting, software development, etc., and materials or equipment may be required from Control Technologies. If such is required, it will be in addition to this authorization, and will be invoiced at standard prevailing rates at that time. This authorization does not preclude subsequent claims for impact upon the project schedule, productivity, delays, etc.

Change Accepted / Authorized By: _____ [Written or Typed]

CTI Approved By: _____ [Written or Typed]

Company / Title: _____ [Written or Typed]

Title: _____ [Written or Typed]

Change Accepted / Authorized By Signature: _____

CTI Approved By Signature: _____

CONTINENTAL Electrical Services LLC.

CHANGE ORDER REQUEST

Submitted To: Bancroft Construction
 Job Name: Sussex County Public Safety Bldg
 Job #: 21-257

Original Contract: _____
 Date: 1/17/2023
 Change Order #: 7

This Change Order Request (C.O.R.) contains an itemized quotation for changes in the Contract Sum or Contract Time in response to proposed modifications to the Original Contract: _____.

Description of Proposed Changes:

- Added Unit Heater.

Disconnect to be provided internal to the unit form the Mechanical contractor according to the email.

Attached supporting information from: Subcontractor Supplier

<u>Labor:</u>				<u>Total</u>
<u>Class</u>	<u>Rate</u>	<u>Hours</u>		
Foreman	\$ -			\$ -
Journeyman	\$ 95.00	7		\$ 693.50
Apprentice	\$ -			\$ -
PM/Office	\$ 175.00	1		\$ 175.00
Labor Total =				\$ 868.50
<u>Material:</u>				
Misc. Material				\$ 277.70
Quoted Material				\$ -
Quoted Material				\$ -
Quoted Material				\$ -
Quoted Material				\$ -
Material Total =				\$ 277.70
Safety				\$ 21.71
Shipping / Receiving				\$ 3.89
Consumables				\$ 4.17
Warranty				\$ 17.37
Gross / Receipts Tax				\$ 11.46
Bond				\$ -
Misc. Total =				\$ 58.60
Sub Total =				\$ 1,204.80
				\$ -
Overhead & Profit				\$ 41.66
Grand Total =				\$ 1,246

We propose hereby to furnish material and labor in accordance with above specifications for the sum of:

One Thousand Two Hundred Forty Six Dollars and 00/100..... **\$ 1,246**

Above additional work to be performed under same conditions as specified in original contract unless otherwise stipulated. The Revision becomes part of and in conformance with, the existing contract and can be voided.

Authorized Signature: John McKee

Signature: _____

Date: _____



Bancroft Construction
 2324 West Zion Road Suite 108
 Salisbury, Maryland 21801
 P: (410) 844-8080

Project: CSED0001 - Public Safety Bldg. Addition
 21911 Rudder Lane
 Georgetown, Delaware 19947

CHANGE EVENT #096 - Change DOAS unit supply from gas to propane

Origin:

Date Created: 1/18/2023 **Created By:** Mike Kalafut
Status: Pending **Scope:** Out of Scope
Type: Contract Change **Change Reason:** Design Change
Description: Change DOAS unit fuel supply from natural gas to propane. Natural gas unit was specified but site natural gas is not available.
Attachments: [PCO #11 Change from Natural Gas to Propane.pdf](#)

CHANGE EVENT LINE ITEMS

Budget Code	Vendor / Contract	Revenue			Cost				Over/ Under	Budget Mod.
		ROM	Prime PCO	Latest Price	ROM	RFQ	Commit.	Latest Cost		
15-001.06	Joseph T Richardson	\$1,139.00	\$1,139.00	\$1,139.00	\$1,139.00			\$1,139.00	\$0.00	
Mechanical.Subcontract	CSED0001-007									
1-511.02		\$56.95	\$56.95	\$56.95				\$0.00	\$56.95	
Sr. Project										
Manager.Regular Labor										
90-999.10		\$72.36	\$72.35	\$72.35				\$0.00	\$72.35	
Fee.Fee & Field Cost										
Grand Totals		\$1,268.31	\$1,268.30	\$1,268.30	\$1,139.00	\$0.00	\$0.00	\$1,139.00	\$129.30	\$0.00

Joseph T. Richardson, Inc.

MECHANICAL CONTRACTOR

ELECTRIC
PLUMBING
HEATING AND
AIR CONDITIONING

FAX: 302-398-9504

P.O. BOX 269 • HARRINGTON, DELAWARE 19952 • PHONE: 302-398-8101

January 17, 2023

Mike Kalafut
Bancroft Construction

Re: Sussex Co. Public Safety Bldg. – Emergency Operations Center
PCO #11
Change From Natural Gas to Propane

We are pleased to quote on changing the DOAS unit to propane.

The boiler and water heaters will be no charge.

Trane.....	\$990.00
OH – 15 %	<u>149.00</u>
Total	\$1,139.00

One Thousand One Hundred Thirty Nine Dollars

All prices are for acceptance within 30 days and subject to change without notice. All work to be performed under OPEN SHOP conditions. All quotations are accepted subject to our ability to secure sufficient, satisfactory materials and labor to perform the job. Terms: monthly payment on account of work performed and/or materials delivered to the job will be required and balance in thirty (30) days net cash after completion of our work; thereafter, a 1 ½% monthly charge will be added. Any State or Federal tax not included in this quote will be charged for extra.

Yours truly,
JOSEPH T. RICHARDSON, INC.



John Dunbar, President

SEIBERLICH TRANE ENERGY SERVICES SERVICE PROPOSAL

PROPOSAL SUBMITTED TO Joseph T Richardson Inc.		PHONE FAX	DATE January 16, 2023
STREET 105 E CENTER ST.		JOB NAME TRANE OADG020C1 S/N TBD	
CITY, STATE AND ZIP CODE HARRINGTON, DE 19952		JOB LOCATION SUSSEX COUNTY EMS - DOAS-1	
OWNER ATTN:	TERMS NET 30 DAYS	PROPOSAL NO. ST22-00854	JOB PHONE

We propose to provide labor to perform the following service:

1. Shut down and secure unit.
2. Furnish and install a new Low Pressure Propane Kit for DOAS-1.
3. Start up and check operation upon completion.

Note: Work to be performed during normal working hours – no overtime is included.
Lead time for parts is about two (2) weeks.

ALL QUOTATIONS ARE SUBJECT TO APPLICABLE STATE AND LOCAL TAXES AT TIME WORK IS COMPLETED. SUCH TAXES ARE NOT PART OF THIS QUOTATION.

WE PROPOSE hereby to furnish labor and materials - in accordance with above specifications, for the sum of:

NINE HUNDRED NINETY DOLLARS AND NO CENTS.....\$990.00

Prices quoted above are...**FIRM AS QUOTED**.....If estimates,
ST reserves the right to revise this quote as the work progresses and we
acquire knowledge not available at the time of quote. Customer will be
advised at that time of any change before work progresses.

Authorized Signature.....
JIMMY STRUSOWSKI

NOTE: This proposal may be withdrawn
by us if not accepted within ...**THIRTY (30)**.....days.

ACCEPTANCE OF PROPOSAL - The above prices, specifications and
conditions are satisfactory and are hereby accepted. You are authorized
to do the work as specified. Payment will be made as outlined above.

Signature.....

Date of Acceptance.....

Signature.....

READ REVERSE SIDE FOR TERMS AND CONDITIONS



Bancroft Construction
 2324 West Zion Road Suite 108
 Salisbury, Maryland 21801
 P: (410) 844-8080

Project: CSED0001 - Public Safety Bldg. Addition
 21911 Rudder Lane
 Georgetown, Delaware 19947

CHANGE EVENT #100 - Credit to delete acrylic signs

Origin:

Date Created: 1/25/2023 **Created By:** Mike Kalafut
Status: Pending **Scope:** Out of Scope
Type: Owner Change **Change Reason:** Owner Directive
Description: Delete the interior acrylic signage per County request. Signage will be provided by the County.
Attachments: [Sussex County Public Bldg.msg](#)

CHANGE EVENT LINE ITEMS

Budget Code	Vendor / Contract	Revenue			Cost				Over/ Under	Budget Mod.
		ROM	Prime PCO	Latest Price	ROM	RFQ	Commit.	Latest Cost		
10-250.06 Service Walls.Subcontract	Union Wholesale Company CSED0001-024	\$(6,248.00)	\$(6,248.00)	\$(6,248.00)	\$(6,248.00)			\$(6,248.00)	\$0.00	
1-511.02 Sr. Project Manager.Regular Labor		\$(312.40)	\$(312.40)	\$(312.40)				\$0.00	\$(312.40)	
90-999.10 Fee.Fee & Field Cost		\$(396.90)	\$(396.90)	\$(396.90)				\$0.00	\$(396.90)	
Grand Totals		\$(6,957.30)	\$(6,957.30)	\$(6,957.30)	\$(6,248.00)	\$0.00	\$0.00	\$(6,248.00)	\$(709.30)	\$0.00

Fearn, Cheryl

From: Jim McLaughlin <jimmcl@uwco.com>
Sent: Friday, January 20, 2023 10:49 AM
To: Kalafut, Michael
Cc: Jim McLaughlin
Subject: Sussex County Public Bldg

Mike, please deduct \$400 from our contract for deleting section 101419 "Dimensional Signage Letters".

Change order was for \$6,648. Thank You, and call with any questions.



Union Wholesale Company
James L. McLaughlin
500 East Front Street Wilmington DE 19801 (Main Office)
Office: (302) 656 4462 X105
jimmcl@uwco.com / uwco.com

679 Horsepond Road Dover DE 19901
28537 Sussex Highway (Rt. 13) Laurel DE 19556

Click here for our [LINE OF PRODUCTS](#)



Bancroft Construction
2324 West Zion Road Suite 108
Salisbury, Maryland 21801
Phone: (410) 844-8080

Project: CSED0001 - Public Safety Bldg. Addition
21911 Rudder Lane
Georgetown, Delaware 19947

DRAFT

Prime Contract Potential Change Order #024: CE #097 - paint walls in exist

Table with 4 columns: Field Name, Value 1, Field Name, Value 2. Includes fields like TO, FROM, PCO NUMBER/REVISION, CONTRACT, REQUEST RECEIVED FROM, CREATED BY, STATUS, CREATED DATE, REFERENCE, PRIME CONTRACT CHANGE ORDER, FIELD CHANGE, LOCATION, ACCOUNTING METHOD, SCHEDULE IMPACT, PAID IN FULL, TOTAL AMOUNT.

POTENTIAL CHANGE ORDER TITLE: CE #097 - paint walls in exist

CHANGE REASON: Owner Directive

POTENTIAL CHANGE ORDER DESCRIPTION: (The Contract Is Changed As Follows)

CE #097 - paint walls in existing EOC building
Paint the corridor walls in the existing EOC per Owner's request.

ATTACHMENTS:

2.24 Paint EOC Summary.pdf COR-3.pdf COR-2.pdf PAINT_FLOORING AREA PRICING REQ.docx

Table with 5 columns: #, Cost Code, Description, Type, Amount. Lists items like Fluid-Applied Flooring, Project Manager, Superintendent, Project Coordinator, Bonding, and Subtotal/Grand Total.

Morgan Helfrich (George, Miles & Buhr, LLC)

400 High Street
Seaford Delaware 19973

Sussex County Delaware

2 The Circle P.O. Box 589
Georgetown Delaware 19947

Bancroft Construction Company

1300 N. Grant Avenue Suite 101
Wilmington Delaware 19806

Michael Kalafut 02/24/23

SIGNATURE DATE

SIGNATURE DATE

SIGNATURE DATE



Bancroft Construction
 2324 West Zion Road Suite 108
 Salisbury, Maryland 21801
 P: (410) 844-8080

Project: CSED0001 - Public Safety Bldg. Addition
 21911 Rudder Lane
 Georgetown, Delaware 19947

CHANGE EVENT #097 - paint walls in existing EOC building

Origin:

Date Created: 1/19/2023 **Created By:** Mike Kalafut
Status: Pending **Scope:** Out of Scope
Type: Owner Change **Change Reason:** Owner Directive
Description: Paint the corridor walls in the existing EOC per Owner's request.
Attachments: [2.24 Paint EOC Summary.pdf](#), [COR-3.pdf](#), [COR-2.pdf](#), [PAINT_FLOORING AREA PRICING REQ.docx](#)

CHANGE EVENT LINE ITEMS

Budget Code	Vendor / Contract	Revenue			Cost			Over/ Under	Budget Mod.
		ROM	Prime PCO	Latest Price	ROM	RFQ	Commit.		
09-670.06	Jamestown, Inc.	\$14,300.00		\$14,300.00	\$14,300.00			\$14,300.00	\$0.00
Fluid-Applied Flooring.Subcontract	CSED0001-006								
Description: paint corridor COR 2 #3									
1-511.02	Bancroft Construction	\$1,153.32		\$1,153.32	\$1,153.32			\$1,153.32	\$0.00
Sr. Project Manager.Regular Labor	Company								
Description: Sr. Project Manager									

Budget Code	Vendor / Contract	Revenue			Cost				Over/ Under	Budget Mod.
		ROM	Prime PCO	Latest Price	ROM	RFQ	Commit.	Latest Cost		
1-512.02	Bancroft Construction Superintendent.Regula r Labor Company	\$1,908.72		\$1,908.72	\$1,908.72			\$1,908.72	\$0.00	
Description: Superintendent										
1-422.02	Bancroft Construction Project Coordinator.Regular Labor Company	\$621.72		\$621.72	\$621.72			\$621.72	\$0.00	
Description: Project Coordinator										
01-141.07	Bancroft Construction Bonding.Other Company	\$179.84		\$179.84	\$179.84			\$179.84	\$0.00	
Description: Bond										
Grand Totals					\$18,163.60	\$0.00	\$0.00	\$18,163.60		

SUSSEX PSB - CE 097 Paint Existing EOC Walls

Jamestown Painting

Paint EOC corridors	\$11,425.00
Paint Conference room	\$2,875.00

Trade subtotal \$14,300.00

Bancroft mark ups	MH's	Rate	
PM	12	96.11	\$1,153.32
Super	24	79.53	\$1,908.72
Proj Coordinator	12	51.81	\$621.72
		Subtotal	\$17,983.76
		Bond @ 1%	\$179.84
		Subtotal	\$18,163.60
		<u>Profit @ 5%</u>	<u>\$908.18</u>
		Total	\$19,071.78

Notes

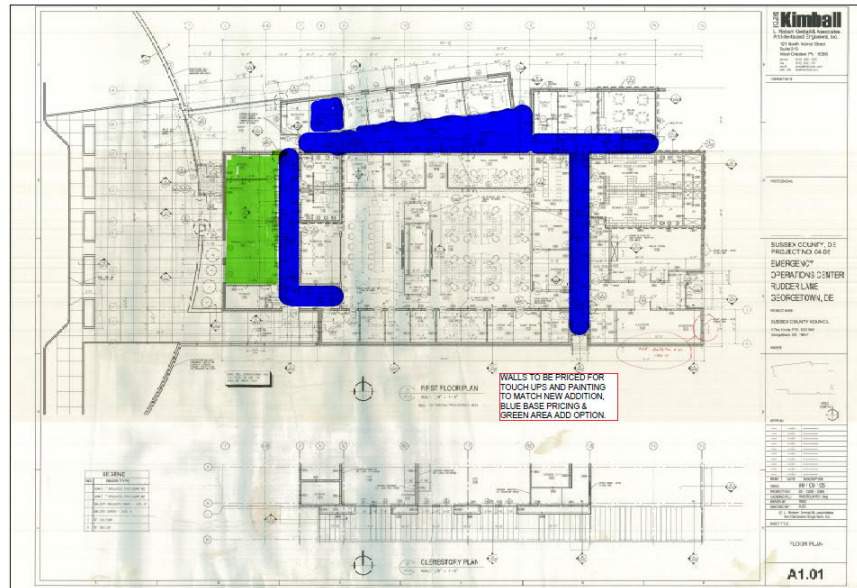
This work will be executed beyond the original contract period. BCC staff costs based on a 3 week duration to complete the painting. Super calculated at 20% of the duration. PM and Project Coordinator calculated at 10% of the duration.



Comment



Close



WALLS TO BE PRICED FOR TOUCH UPS AND PAINTING TO MATCH NEW ADDITION HALLWAYS

BLUE BASE PRICING AND GREEN ADD OPTION PRICING



REQUEST FOR CHANGE ORDER

Ref.# COR-2

External/RCO#

GC Ref#

Date Feb 13, 2023

Job # D211123

To: Bancroft Construction Co.

1300 N Grant Ave, Ste 110
Wilmington, DE 19806
Phone: 655-3434 Fax: 655-4599

Project: Sussex Co Public Safety

21911 Rudder Ln
Georgetown, DE 19947

Description: Prepare and paint walls in existing space. (Blue Area)

Labor

Total Labor \$9,240.00

Material

Total Material \$2,185.00

Total:	\$11,425.00
---------------	--------------------

AUTHORIZED BY:

ON BEHALF OF: Bancroft Construction Co.

PROJECT MANAGER: Joey Cain

ESTIMATOR: Ray Russell



REQUEST FOR CHANGE ORDER

Ref.# COR-3

External/RCO#

GC Ref#

Date Feb 13, 2023

Job # D211123

To: Bancroft Construction Co.

1300 N Grant Ave, Ste 110

Wilmington, DE 19806

Phone: 655-3434 Fax: 655-4599

Project: Sussex Co Public Safety

21911 Rudder Ln

Georgetown, DE 19947

Description: Prepare and paint walls in existing space. (Green Area)

Labor

Total Labor \$2,310.00

Material

Total Material \$565.00

Total:	\$2,875.00
---------------	-------------------

AUTHORIZED BY:

ON BEHALF OF: Bancroft Construction Co.

PROJECT MANAGER: Joey Cain

ESTIMATOR: Ray Russell



Bancroft Construction
2324 West Zion Road Suite 108
Salisbury, Maryland 21801
Phone: (410) 844-8080

Project: CSED0001 - Public Safety Bldg. Addition
21911 Rudder Lane
Georgetown, Delaware 19947

DRAFT

Prime Contract Potential Change Order #025: CE #102 & 103

Table with 4 columns: Field Name, Value 1, Field Name, Value 2. Includes fields like TO, FROM, PCO NUMBER/REVISION, CONTRACT, REQUEST RECEIVED FROM, CREATED BY, STATUS, CREATED DATE, REFERENCE, PRIME CONTRACT CHANGE ORDER, FIELD CHANGE, LOCATION, ACCOUNTING METHOD, SCHEDULE IMPACT, PAID IN FULL, and TOTAL AMOUNT.

POTENTIAL CHANGE ORDER TITLE: CE #102 & 103

CHANGE REASON: No Change Reason

POTENTIAL CHANGE ORDER DESCRIPTION: (The Contract Is Changed As Follows)

CE #102 - Change baffle ceiling grid from white to black

The baffle ceiling grid was approved as white. The County requested that it be changed to black.

CE #103 - Furnish and install new signage in the existing EOC building

Furnish and install new room signage in the existing EOC building per Owner request.

ATTACHMENTS:

CO-00004-Sussex County Public Safety Building CSED0001-025 - Contract.PDF EOC Room Names.xlsx Change Order 14.doc

Table with 5 columns: #, Cost Code, Description, Type, Amount. Lists items like Gypsum Board and Interior Signage, along with subtotal and various fees.

Morgan Helfrich (George, Miles & Buhr, LLC)

400 High Street
Seaford Delaware 19973

Sussex County Delaware

2 The Circle P.O. Box 589
Georgetown Delaware 19947

Bancroft Construction Company

1300 N. Grant Avenue Suite 101
Wilmington Delaware 19806

Michael Kalafut 02/14/23

SIGNATURE DATE

SIGNATURE DATE

SIGNATURE DATE



Bancroft Construction
 2324 West Zion Road Suite 108
 Salisbury, Maryland 21801
 P: (410) 844-8080

Project: CSED0001 - Public Safety Bldg. Addition
 21911 Rudder Lane
 Georgetown, Delaware 19947

CHANGE EVENT #102 - Change baffle ceiling grid from white to black

Origin:

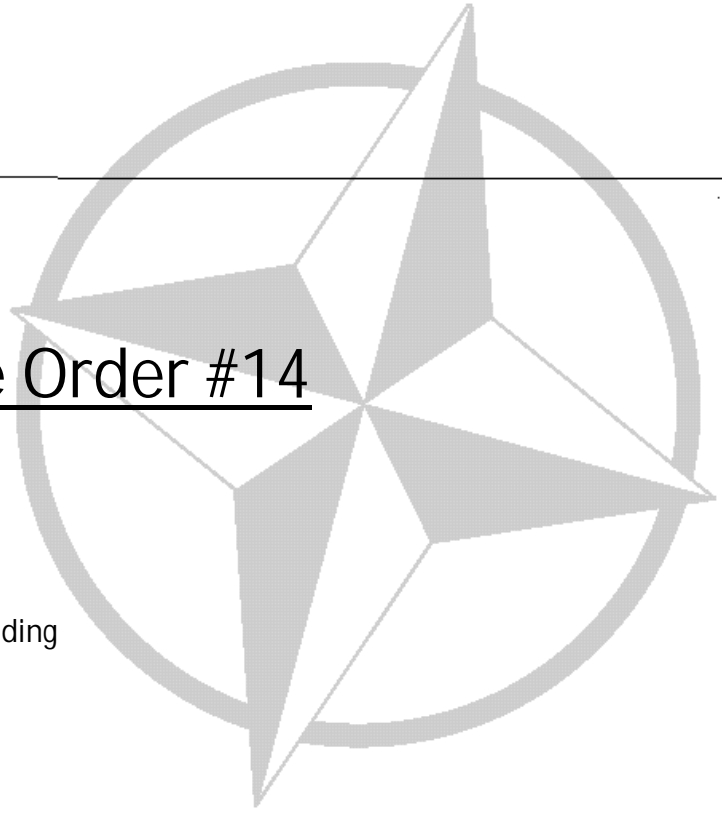
Date Created: 2/13/2023 **Created By:** Mike Kalafut
Status: Open **Scope:** Out of Scope
Type: Owner Change **Change Reason:** Owner Directive
Description: The baffle ceiling grid was approved as white. The County requested that it be changed to black.
Attachments: [Change Order 14.doc](#)

CHANGE EVENT LINE ITEMS

Budget Code	Vendor / Contract	Revenue			Cost				Over/ Under	Budget Mod.
		ROM	Prime PCO	Latest Price	ROM	RFQ	Commit.	Latest Cost		
09-250.06 Gypsum Board.Subcontract	North East Contractors, Inc. CSED0001-017	\$376.99	\$376.99	\$376.99	\$376.99			\$376.99	\$0.00	
Description: baffle ceiling NEC CO #14										
1-511.02 Sr. Project Manager.Regular Labor		\$18.85	\$18.85	\$18.85				\$0.00	\$18.85	
90-999.10 Fee.Fee & Field Cost		\$23.95	\$23.95	\$23.95				\$0.00	\$23.95	
Grand Totals		\$419.79	\$419.79	\$419.79	\$376.99	\$0.00	\$0.00	\$376.99	\$42.80	\$0.00

NEC

NORTH EAST CONTRACTORS, INC.
 Commercial • Residential • General Contracting



Change Order #14

Bancroft
 Attn: Michael Kalafut
 Date: February 13, 2023

Project: Sussex County Public Safety Building
 Drawings by: George, Miles & Buhr
 Dated: 5/28/21

Reference:
 Changing grid from white to black

Scope of Work	length	height	sq/ft	\$/unit	material \$	hours	rate	labor \$	subtotal
15/16" main	480	1	480	0.34	\$ 163.20	0	0	\$ -	\$ 163.20
4" tee	240	1	240	0.34	\$ 81.60	0	0	\$ -	\$ 81.60
2" tee	240	1	240	0.34	\$ 81.60	0	0	\$ -	\$ 81.60
subtotal									\$ 326.40
								subtotal	\$ 326.40
								10% overhead	\$ 32.64
								5% profit	\$ 17.95
								TOTAL	\$ 376.99



Bancroft Construction
 2324 West Zion Road Suite 108
 Salisbury, Maryland 21801
 P: (410) 844-8080

Project: CSED0001 - Public Safety Bldg. Addition
 21911 Rudder Lane
 Georgetown, Delaware 19947

CHANGE EVENT #103 - Furnish and install new signage in the existing EOC building

Origin:

Date Created: 2/14/2023 **Created By:** Mike Kalafut
Status: Open **Scope:** Out of Scope
Type: Owner Change **Change Reason:** Construction Change
Description: Furnish and install new room signage in the existing EOC building per Owner request.
Attachments: [CO-00004-Sussex County Public Safety Building CSED0001-025 - Contract.PDF](#), [EOC Room Names.xlsx](#)

CHANGE EVENT LINE ITEMS

Budget Code	Vendor / Contract	Revenue			Cost			Over/ Under	Budget Mod.
		ROM	Prime PCO	Latest Price	ROM	RFQ	Commit.		
10-440.06 Interior Signage.Subcontract	Erco Interior Systems CSED0001-025	\$7,149.00	\$7,149.00	\$7,149.00	\$7,149.00			\$7,149.00	\$0.00
Description: New EOC interior signage									
1-511.02 Sr. Project Manager.Regular Labor		\$357.45	\$357.45	\$357.45				\$0.00	\$357.45
90-999.10 Fee.Fee & Field Cost		\$454.14	\$454.14	\$454.14				\$0.00	\$454.14
Grand Totals		\$7,960.59	\$7,960.59	\$7,960.59	\$7,149.00	\$0.00	\$0.00	\$7,149.00	\$811.59



REQUEST FOR CHANGE ORDER

Ref.# CO-00004

GC #

Date Feb 14, 2023

Job # D21-1470

To: Bancroft Construction Co DE

1300 North Grant Ave
Suite 110
Wilmington, DE 19806
Phone: 302-254-3327

Project: Sussex County Public Safety Building CSED

219111 Rudder Lane
Georgetown, DE 19947

	Total
Furnish 48 Additional Signs	\$5,613.00
Labor for signs	\$1,536.00
Total	\$7,149.00
Subtotal for Detail	\$7,149.00

AUTHORIZED BY:
ON BEHALF OF: Bancroft Construction Co DE
PROJECT MANAGER: Christopher Otto
ESTIMATOR: Joseph Barreca

Labor Total:	\$0.00
Material Total:	\$0.00
Sub Trade Total:	\$0.00
Cleanup Total:	\$0.00
Equipment Total:	\$0.00
Misc. Total:	\$7,149.00
Sub Total:	\$7,149.00
Mark Up:	\$0.00 .00%
Total:	\$7,149.00 <small>+Applicable Taxes</small>

Authorized by:

Signature:

Date:

Proposed #	Proposed title	COMMENTS
0103	Storage	
0104	Copy/Work	
0105	Technical Specialist	Sign with slot for namecard
0106	Office Clerk	Sign with slot for namecard
0107	LEPC	Sign with slot for namecard
0108	SUSCOM Manager	Sign with slot for namecard
0109	Director	Sign with slot for namecard
0110	Dispatch/EOC	
0111A	Supply	
0111	Supply	
0112	Storage	
0113	Kitchen	
0116	Men's Locker	Locker Room Sign
0117	Women's Locker	Locker Room Sign
0118	Custodial	
0119	Supply	
0120	Mechanical	
0121	Electrical/Generator	
0124	UPS	
0125	UPS	
0126	Facility Office	
0127	County Server	
0128	Supervisor	
0129	Manager of Operations	Sign with slot for namecard
0130	Quality Assurance Coordinator	Sign with slot for namecard
0131	Office	
0132	Operations Support Officer	Sign with slot for namecard
0133	AUXCOMM	2 signs
0134	Custodial	
0135	Supply	
0136A	Training	
0136B	Training	
0137	Supply	
0138	Men's	Bathroom Sign
0139	Women's	Bathroom Sign
0140	Media	
0141	Call Taking	
0142	Call Taking	
0143	Radio Communications	
0144	Demarkation	
0145	911 Communications	
0146	Audio Visual	
0147	SUSCOM CAD	
0148	Conference	2 signs
0149	EOC	
0150	Dispatch	



Bancroft Construction
2324 West Zion Road Suite 108
Salisbury, Maryland 21801
Phone: (410) 844-8080

Project: CSED0001 - Public Safety Bldg. Addition
21911 Rudder Lane
Georgetown, Delaware 19947

DRAFT

Prime Contract Potential Change Order #026: Revise Casework Rm 130

Table with 4 columns: Field Name, Value, Field Name, Value. Includes TO, FROM, PCO NUMBER/REVISION, CONTRACT, REQUEST RECEIVED FROM, CREATED BY, STATUS, CREATED DATE, REFERENCE, PRIME CONTRACT CHANGE ORDER, FIELD CHANGE, LOCATION, ACCOUNTING METHOD, SCHEDULE IMPACT, PAID IN FULL, TOTAL AMOUNT.

POTENTIAL CHANGE ORDER TITLE: Revise Casework Rm 130

CHANGE REASON: Owner Directive

POTENTIAL CHANGE ORDER DESCRIPTION: (The Contract Is Changed As Follows)
CE #104 - Revise casework in copy room 130
Eliminate casework sections in copy room 130 to allow for paper shredder per Owner directive.

ATTACHMENTS:
20230210095708242.pdf 20230210100401863.pdf

Table with 5 columns: #, Cost Code, Description, Type, Amount. Includes line item 1 for Architectural Woodwork and summary rows for Subtotal, BCC GCs, Bond, Profit, and Grand Total.

Morgan Helfrich (George, Miles & Buhr, LLC)
400 High Street
Seaford Delaware 19973

Sussex County Delaware
2 The Circle P.O. Box 589
Georgetown Delaware 19947

Bancroft Construction Company
1300 N. Grant Avenue Suite 101
Wilmington Delaware 19806

Handwritten signature of James Chedler

Michael Kalafut 02/15/23

SIGNATURE DATE SIGNATURE DATE SIGNATURE DATE



Bancroft Construction
 2324 West Zion Road Suite 108
 Salisbury, Maryland 21801
 P: (410) 844-8080

Project: CSED0001 - Public Safety Bldg. Addition
 21911 Rudder Lane
 Georgetown, Delaware 19947

CHANGE EVENT #104 - Revise casework in copy room 130

Origin:

Date Created: 2/15/2023 **Created By:** Mike Kalafut
Status: Open **Scope:** Out of Scope
Type: Owner Change **Change Reason:** Owner Directive
Description: Eliminate casework sections in copy room 130 to allow for paper shredder per Owner directive.
Attachments: [20230210095708242.pdf](#), [20230210100401863.pdf](#)

CHANGE EVENT LINE ITEMS

Budget Code	Vendor / Contract	Revenue			Cost			Over/ Under	Budget Mod.
		ROM	Prime PCO	Latest Price	ROM	RFQ	Commit.		
06-400.06 Architectural Woodwork.Subcontract	Cabinetry Unlimited CSED0001-022	\$710.75	\$710.75	\$710.75	\$710.75			\$710.75	\$0.00
Description: Revise casework in room 130									
1-511.02 Sr. Project Manager.Regular Labor		\$35.54	\$35.54	\$35.54				\$0.00	\$35.54
90-999.10 Fee.Fee & Field Cost		\$45.15	\$45.15	\$45.15				\$0.00	\$45.15
Grand Totals		\$791.44	\$791.44	\$791.44	\$710.75	\$0.00	\$0.00	\$710.75	\$80.69

REVISION DATE	REVISION NO.
---	---
---	---
---	---

HARDWARE SCHEDULE

ITEM #	DESCRIPTION
1	WIRE PULL, 4" LONG, SATIN CHROME
2	BLUM 125 DEGREE
3	BLUM, 230, 20" DRAWER SLIDES, 100 LB CLASS
4	SHELF SUPPORT, 5MM FINIS WITH CLEAR LOCKING CLIPS, 32MM O.C.
5	1 1/2" x 1 1/2" ALUMINUM ANGLE
6	RAKKS, BH1818 OR EH1824 BRACKET
7	ADJUSTABLE FURNITURE LEVEL
8	KV 750 HANGROD, KV 734 END FLANGES, & INTERMEDIATE BRACKET
9	HAFELE, KEKU CLIPS
10	COUNTER SUPPORT POST (TBD)
11	PANEL CLIPS
12	TOP & BOTTOM SLIDING GLASS DOOR HARDWARE
13	CENTERLINE BRACKET - CSA SERIES SUPPORT

FINISH SCHEDULE

FINISH	MATERIAL
PL1	PLAM, (TBD)
WM	WHITE MELAMINE
SS1	SOLID SURFACE, (TBD)
QTZ	QUARTZ, (TBD)
GL1	1/4" THICK CLEAR TEMPERED GLASS

Architect/Designer:

GMB Architects & Engineers
206 W Main Street
Salisbury, MD 21801

Contractor:

Bancroft Construction Company
1300 N. Grant Avenue | Suite 101
Wilmington, DE 19806

Project Title:

"Sussex County Public"
Safety Building
Georgetown, Delaware

Drawing Title:

Copy Room 130

Job No.:

21-111

Date:

10-27-21

Scale:

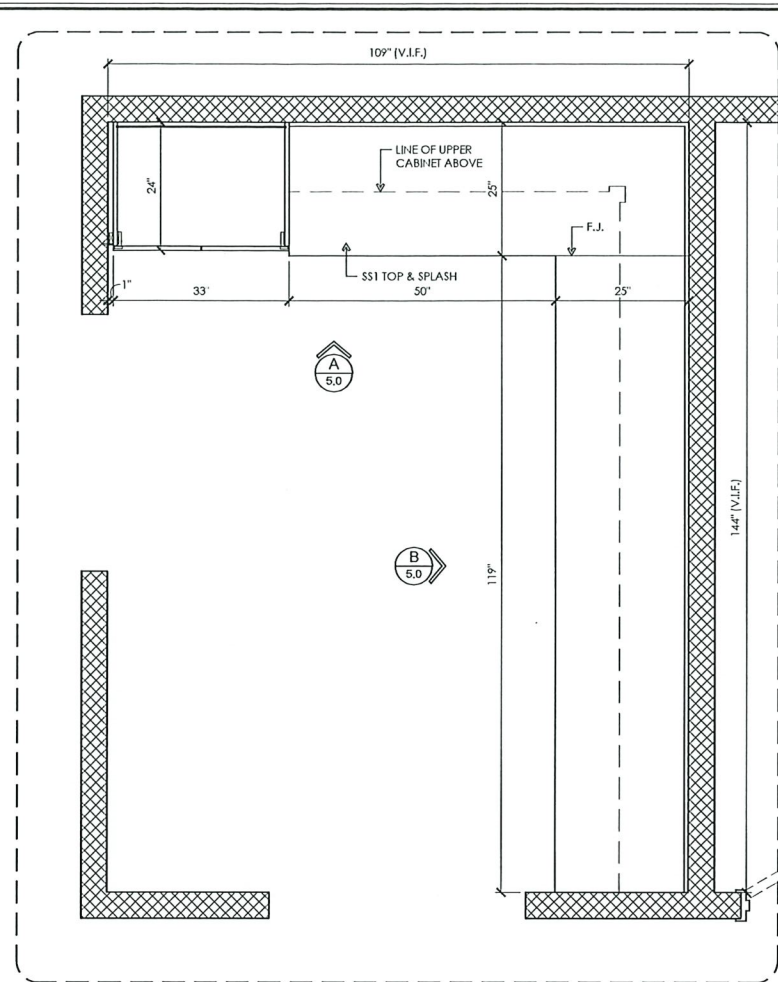
AS NOTED

Drawn By:

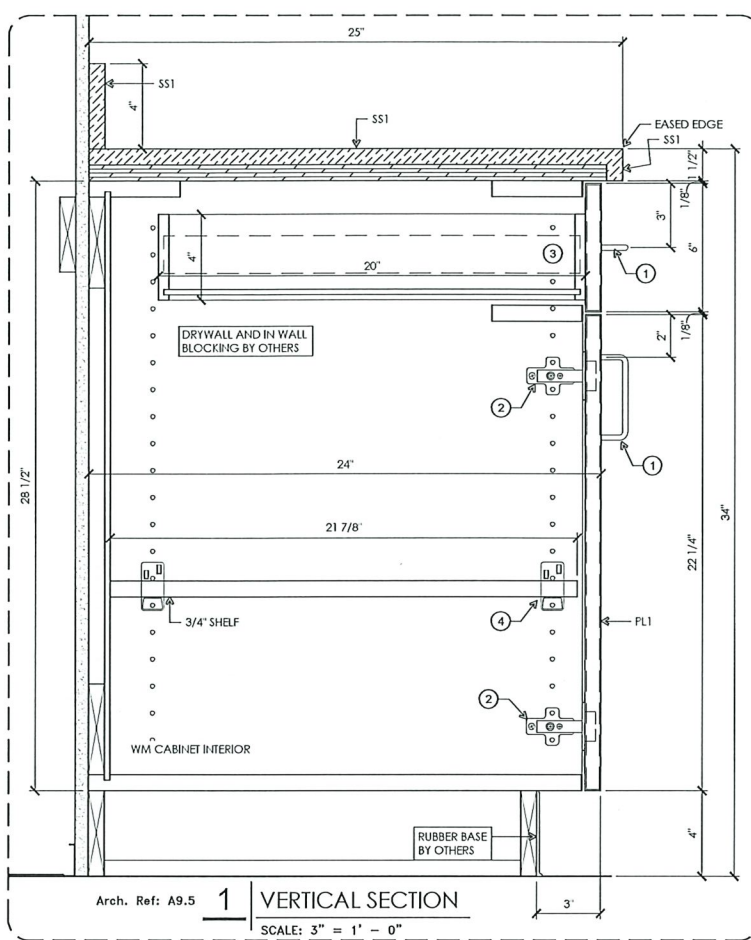
M. EVERETT

Drawing Number:

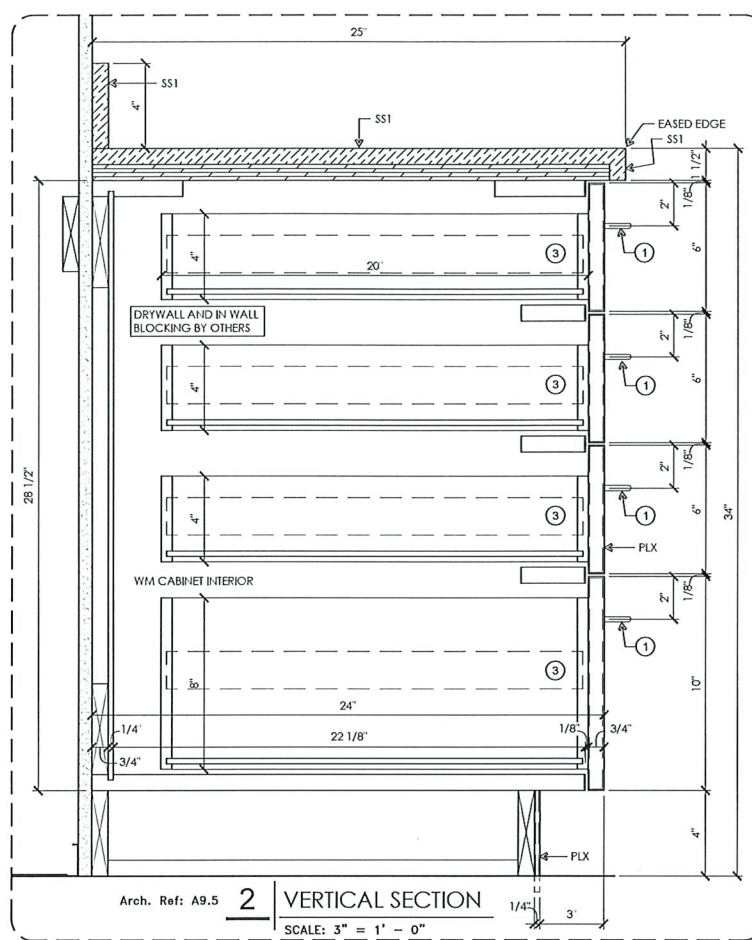
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A1 ENLARGED PLAN OF COPY ROOM 130
SCALE: 3/4" = 1' - 0"
Arch. Ref: A1.3

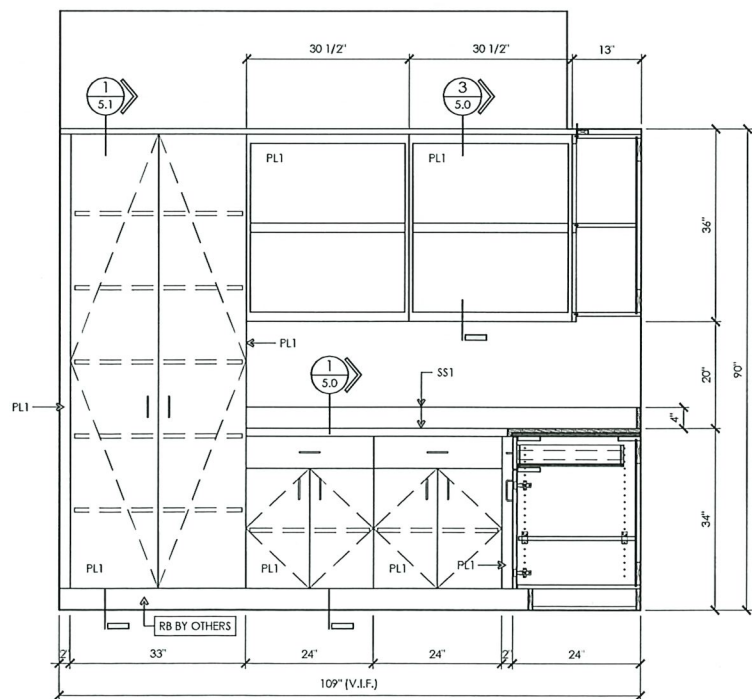


Arch. Ref: A9.5 **1** VERTICAL SECTION
SCALE: 3" = 1' - 0"

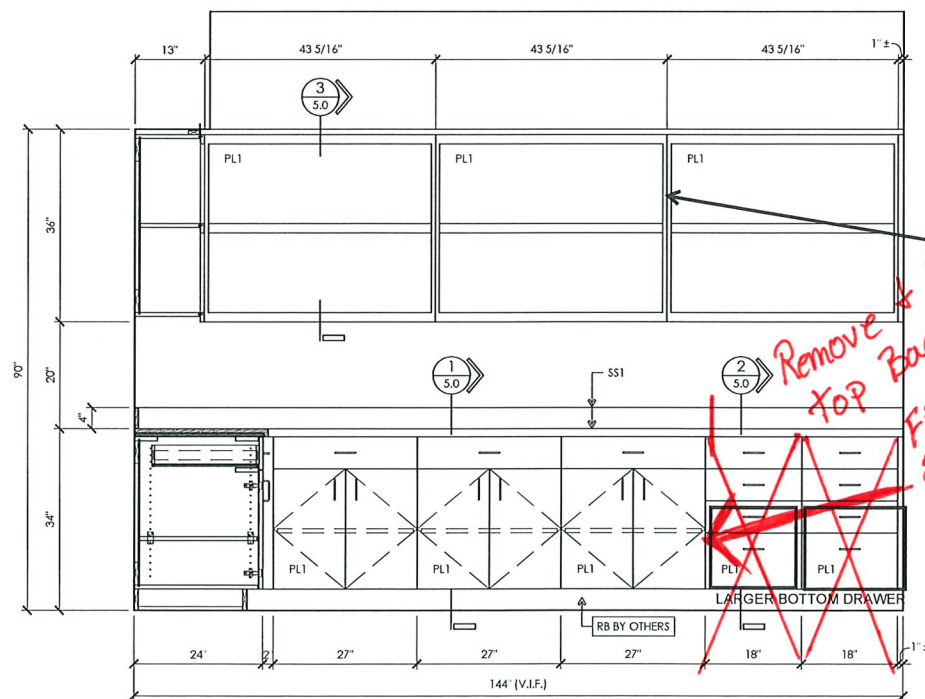


Arch. Ref: A9.5 **2** VERTICAL SECTION
SCALE: 3" = 1' - 0"

CONFIRM LAMINATE FACE ON VERTICAL EDGES SIMILAR TO HORIZONTAL

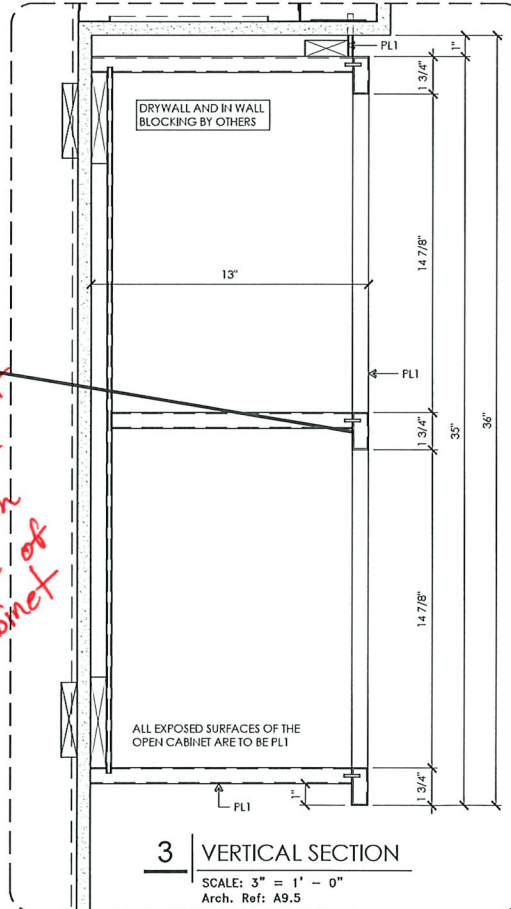


A ELEVATION OF COPY ROOM 130 (WEST)
SCALE: 3/4" = 1' - 0"
Arch. Ref: A7.2



B ELEVATION OF COPY ROOM 130 (NORTH)
SCALE: 3/4" = 1' - 0"
Arch. Ref: A7.2

Remove & Cut Top Back Finish side of Cabinet



3 VERTICAL SECTION
SCALE: 3" = 1' - 0"
Arch. Ref: A9.5



PO BOX 687, SELBYVILLE, DE 19975

**** CHANGE ORDER ****

Name: _____ Date: 2/10/2023
 Company: BANCROFT Job: SUSSEX COUNTY PS
 Address: _____ Loc: GEORGETOWN, DE

Subject: MODIFY CASEWORK Sales Order #: _____
 Contract Date: _____
 Contact: _____
 Phone: _____

The following items have been changed, amended, deleted, added or selected:

Description MODIFY CASEWORK IN COPY ROOM 130
 of work: _____

	Qty	Price/Unit	Total
Materials:			
DEMO BASE CABINETS		\$	155.75
CUT BACK AND RE FINISH TOP		\$	142.00
LAMINATE SIDE OF CABINET		\$	122.50
MODIFY TOEKICK		\$	122.50
INSTALL CABINETS		\$	168.00

Tax:
 Labor:

The above changes have affected the previously executed contract by:

_____ \$ 710.75

DUSTY CROW
 FOR CABINETRY UNLIMITED

ACCEPTANCE OF CHANGE ORDER: The prices and changes set forth above are satisfactory and are hereby accepted. Cabinetry Unlimited LLC is authorized to perform the work as specified. Payment will be made according to contract term. Prices are valid for 30 days.

CUSTOMER SIGNATURE

DATE OF ACCEPTANCE



Bancroft Construction
2324 West Zion Road Suite 108
Salisbury, Maryland 21801
Phone: (410) 844-8080

Project: CSED0001 - Public Safety Bldg. Addition
21911 Rudder Lane
Georgetown, Delaware 19947

DRAFT

Prime Contract Potential Change Order #027: CE #106 - Site fencing changes

Table with 4 columns: Field Name, Value, Field Name, Value. Includes fields like TO, FROM, PCO NUMBER/REVISION, CONTRACT, REQUEST RECEIVED FROM, CREATED BY, STATUS, CREATED DATE, REFERENCE, PRIME CONTRACT CHANGE ORDER, FIELD CHANGE, LOCATION, ACCOUNTING METHOD, SCHEDULE IMPACT, PAID IN FULL, and TOTAL AMOUNT.

POTENTIAL CHANGE ORDER TITLE: CE #106 - Site fencing changes

CHANGE REASON: Owner Directive

POTENTIAL CHANGE ORDER DESCRIPTION: (The Contract Is Changed As Follows)

CE #106 - Site fencing changes per County request

Add fencing and screening at the dumpster area and fence screening at existing building condensing units.

ATTACHMENTS:

2.24 CE 106 Fencing Changes Summary.pdf COM Quote.pdf

Table with 5 columns: #, Cost Code, Description, Type, Amount. Lists items like Fences and Gates, Sr. Project Manager, Superintendent, Estimators, and Bonding, along with a subtotal and grand total.

Morgan Helfrich (George, Miles & Buhr, LLC)

400 High Street
Seaford Delaware 19973

Sussex County Delaware

2 The Circle P.O. Box 589
Georgetown Delaware 19947

Bancroft Construction Company

1300 N. Grant Avenue Suite 101
Wilmington Delaware 19806

Michael Kalafut 02/24/23

SIGNATURE

DATE

SIGNATURE

DATE

SIGNATURE

DATE



Bancroft Construction
 2324 West Zion Road Suite 108
 Salisbury, Maryland 21801
 P: (410) 844-8080

Project: CSED0001 - Public Safety Bldg. Addition
 21911 Rudder Lane
 Georgetown, Delaware 19947

CHANGE EVENT #106 - Site fencing changes per County request

Origin:

Date Created: 2/21/2023 **Created By:** Mike Kalafut
Status: Pending **Scope:** Out of Scope
Type: Owner Change **Change Reason:** Owner Directive
Description: Add fencing and screening at the dumpster area and fence screening at existing building condensing units.
Attachments: [2.24 CE 106 Fencing Changes Summary.pdf](#), [COM Quote.pdf](#)

CHANGE EVENT LINE ITEMS

Budget Code	Vendor / Contract	Revenue			Cost			Over/ Under	Budget Mod.
		ROM	Prime PCO	Latest Price	ROM	RFQ	Commit.		
02-820.06 Fences and Gates.Subcontract	Seagull Fence & Concrete CSED0001-010	\$14,675.00		\$14,675.00	\$14,675.00			\$14,675.00	\$0.00
Description: Add fencing and screening per County request									
1-511.02 Sr. Project Manager.Regular Labor	Bancroft Construction Company	\$768.88		\$768.88	\$768.88			\$768.88	\$0.00
Description: Sr. PM									

Budget Code	Vendor / Contract	Revenue			Cost				Over/ Under	Budget Mod.
		ROM	Prime PCO	Latest Price	ROM	RFQ	Commit.	Latest Cost		
1-512.02	Bancroft Construction Superintendent.Regula r Labor	\$1,272.48		\$1,272.48	\$1,272.48			\$1,272.48	\$0.00	
Description: Superintendent										
1-412.02	Bancroft Construction Estimators.Regular Labor	\$414.48		\$414.48	\$414.48			\$414.48	\$0.00	
Description: Project Coordinantor										
01-141.07	Bancroft Construction Bonding.Other Company	\$171.31		\$171.31	\$171.31			\$171.31	\$0.00	
Description: Bond										
Grand Totals					\$17,302.15	\$0.00	\$0.00	\$17,302.15)

SUSSEX PSB - CE 106 Site fencing revisions

Seagull Fence quote **\$14,675.00**

Bancroft mark ups	MH's	Rate	
PM	8	96.11	\$768.88
Super	16	79.53	\$1,272.48
Proj Coordinator	8	51.81	\$414.48
		Subtotal	\$17,130.84
		Bond @ 1%	\$171.31
		Subtotal	\$17,302.15
		<u>Profit @ 5%</u>	<u>\$865.11</u>
		Total	\$18,167.26

Notes

This work will be executed beyond the original contract period. BCC staff costs based on a 2 week duration to complete the fencing. Super calculated at 20% of the duration. PM and Project Coordinator calculated at 10% of the duration.

Tuesday February 21, 2023

Prepared by: Clayton H.



Owner: Bancroft Construction

Project Name: Sussex County Admin Building Chiller, Dumpster, and Screening

Address: Gerogetown, DE

Job Description: REVISED

Dumpster: Supply and install 32'LF of 7"t Ameristar to match existing fence. Fence posts will be saw cut and set in concrete footings.

Cost: \$6,975.00

Dumpster Screen Cost: \$880.00

(26) Screens on to AC unit existing fence: Windowed Screen: \$5,720.00

(5) Replacement Screening Per Panel: \$220.00 (Prices may vary depending on order time and quantities.)

Seagull Fence provides 1 year workmanship warranty and Fence Screen offers a 5 year warranty on their 600 series screen.

NOTE: QUOTE IS VALID FOR 7 DAYS DUE TO PRICE INCREASE IN FENCE MATERIALS, TOOLS & SUPPLIES.

EXCLUDED UNLESS IS MENTIONED IN ABOVE JOB DESCRIPTION: Private Utilities, Irrigation lines, Permits, Engineering, PE Stamps, Surveys, Stakeout, Clearing, Grounding, Spoil remove, Restoring finish grade, All Seeding, Setting of Anchor Bolts, Concrete other than Fence Posts, Prevailing Wages, Core Drilling, Hydro Excavating, As built Drawings.

***** SCHEDULING WILL BEGIN AFTER SEAGULL FENCE & CONCRETE RECEIVES APPROVED AND SIGNED DOCUMENTS BY CUSTOMER (IF APPROVED & SIGNED, PLEASE INFORM A APPROXIMATE DATE OF INSTALLATION. SEAGULL FENCE WILL NEED 1-2 MONTHS TO GATHER ALL MATERIALS NEEDED) . ALL CREDIT CARD PAYMENTS ARE SUBJECT TO A 3.75% PROCESSING FEE. ANY BALANCE DUE PAST 30 DAYS ARE SUBJECT TO A 2% MONTHLY FINANCE CHARGE**

Signature: _____ Date: _____

ENGINEERING DEPARTMENT

ADMINISTRATION	(302) 855-7718
AIRPORT & INDUSTRIAL PARK	(302) 855-7774
ENVIRONMENTAL SERVICES	(302) 855-7730
PUBLIC WORKS	(302) 855-7703
RECORDS MANAGEMENT	(302) 854-5033
UTILITY ENGINEERING	(302) 855-7717
UTILITY PERMITS	(302) 855-7719
UTILITY PLANNING	(302) 855-1299
FAX	(302) 855-7799



Sussex County

DELAWARE
sussexcountyde.gov

HANS M. MEDLARZ, P.E.
COUNTY ENGINEER

Memorandum

TO: Sussex County Council
The Honorable Michael H. Vincent, President
The Honorable John L. Rieley, Vice President
The Honorable Cynthia Green
The Honorable Douglas B. Hudson
The Honorable Mark Schaeffer

FROM: Hans Medlarz, P.E., County Engineer

RE: **Long Neck Communities, Project S21-10**
A. Recommendation to Award

DATE: February 28, 2023

The Long Neck Communities Sewer Expansion combines several remediation areas in proximity. County Council originally brought the Autumn Road and Branch Road areas (58EDUs) into the uniform sewer district after a public hearing via a private expansion known as Seabrooke. The Tucks Road area (19 EDUs) was added later based on owner requests and another public hearing. The associated Resolutions R 017 17 and R 027 17 were authorized by Council for these area at their July 25, 2017, and October 3, 2017 meetings, respectively. The County elected to combine the expansion areas into a single project for economy of scale.

Subsequently the owners from the adjacent Sherwood Forest North area expressed interest and the the Engineering Department polled the area via two mailings in the Spring of 2018. Based on positive responses a public hearing was held on April 25, 2019. Hearing results were presented to Council with a recommendation for expanding the sewer district. On June 11, 2019, County Council authorized Resolution R 014 19 to extend the district boundary to include nearly 170 EDUs. Since the areas are close to each other, flanking the north and south sides of SR 24, John J Williams Highway, it was determined best to group the work into a single project of nearly 250 EDUs.

In April of 2020 the Engineering Department finalized the Preliminary Engineering Report and the Environmental Information Documents required for submittal of the funding application to Delaware State Revolving Fund (SRF). On April 9, 2020, these Documents were combined with the overall funding application prepared by the Finance Department and filed for an overall project cost of \$7,788,761.00. On August 24, 2020, the County received the Binding Commitment Letter from DNREC Environmental Finance. August 25, 2020, the County accepted the Binding Commitment Offer and the obligating documents associated in the loan amount of \$7,788,761.00 with the expectation of up to \$3,860,000.00 of principal forgiveness, reducing the principal amount of the bonds outstanding to \$3,928,761.00 upon project completion.



With the SRF binding commitment in hand County Council awarded a professional services agreement to George, Milles & Buhr, Inc. for design and bidding services associated with the Long Neck Communities Sewer Expansion, Project S21-10, at a not to exceed cost of \$310,868.00 on March 23, 2021. On March 1, 2022, County Council introduced and ultimately approved the associated debt ordinance authorizing after the required public hearing the issuance of up to \$7,788,761.00.

All permits were in place by late 2022 and Invitations to Bid were advertised on January 10th and 17th, in the local newspaper, as well as available to view on the County website. In addition, the information was directly forwarded to several contractors. Eight (8) contractors attended the pre-bid meeting on January 18, 2023, and on February 1, 2023, four (4) bids were received. The bids were competitive but are reflecting a significantly increased price environment. The successful bidder was A-Del Construction Co., Inc. at \$7,658,870.00. The project scope has built in unit cost contingency items which should limit the overall construction cost to the total amount bid.

The existing SRF Funding commitment was \$7,788,762.00 and to date \$516,731.00 has been spent. The project includes the System Connection Charges reducing the available balance further by \$1,650,000.00. In order to make the project viable, the Engineering & Finance Departments are committed to provide administration and inspection services at no cost to the project and request Council's concurrence to file for the reduced supplemental Clean Water State Revolving Fund (CWSRF) funding in the amount of \$2,036,840.00.

Furthermore, the Engineering Department recommends award to A-Del Construction, Inc. for the total bid amount of \$7,658,870.00, contingent upon CWSRF concurrence and receipt of supplemental funding.



Tabulation of Bids

PROJECT NAME: Long Neck Comm Sewer Expansion
 GMB JOB NO.: 210077
 BIDS OPENED: February 1, 2023 @ 2:00 pm

Item No.	Bid Item Description	Size	Units	Est. Qty.	A-Del Construction Co., Inc.		Chesapeake Turf LLC		George & Lynch, Inc.		Pact One LLC	
					Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price
SCHEDULE A: LUMP SUM												
A1	Mobilization	--	LS	1	\$ 377,500.00	\$ 377,500.00	\$ 410,000.00	\$ 410,000.00	\$ 315,926.00	\$ 315,926.00	\$ 50,000.00	\$ 50,000.00
A2	Furnish and Install Erosion Sediment Control Measures	--	LS	1	\$ 15,000.00	\$ 15,000.00	\$ 175,100.00	\$ 175,100.00	\$ 26,472.00	\$ 26,472.00	\$ 50,000.00	\$ 50,000.00
SUBTOTAL SCHEDULE A - A1 THRU A2					\$ 392,500.00		\$ 585,100.00		\$ 342,398.00		\$ 100,000.00	
SCHEDULE B: PUMP STATION												
B1	Furnish and Install Sewer Pump Station No. LN-328	--	LS	1	\$ 630,000.00	\$ 630,000.00	\$ 587,100.00	\$ 587,100.00	\$ 669,683.00	\$ 669,683.00	\$ 1,000,000.00	\$ 1,000,000.00
B2	Electric Utility Service Extension Allowance	--	LS	1	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00
B3	Landscaping Allowance	--	LS	1	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00
B4	Furnish and Install New Water Service to Parcel 248 and abandon existing Water Service Extension to Pump Station	--	LS	1	\$ 6,000.00	\$ 6,000.00	\$ 9,020.00	\$ 9,020.00	\$ 5,665.00	\$ 5,665.00	\$ 21,000.00	\$ 21,000.00
SUBTOTAL SCHEDULE B - B1 THRU B4					\$ 646,000.00		\$ 606,120.00		\$ 685,348.00		\$ 1,031,000.00	
SCHEDULE C: GRAVITY COLLECTION & FORCE MAIN TRANSMISSION SYSTEMS:												
C1	Furnish and Install PVC Gravity Sewer SDR 35 (In pavement)	8"	LF	9,640	\$ 140.00	\$ 1,349,600.00	\$ 168.00	\$ 1,619,520.00	\$ 158.00	\$ 1,523,120.00	\$ 245.00	\$ 2,361,800.00
C2	Furnish and Install PVC Gravity Sewer SDR 26 (In pavement)	8"	LF	2,640	\$ 154.00	\$ 406,560.00	\$ 277.00	\$ 731,280.00	\$ 275.00	\$ 726,000.00	\$ 255.00	\$ 673,200.00
C3	Furnish and Install PVC Gravity Sewer SDR 35 (Outside pavement)	8"	LF	420	\$ 122.00	\$ 51,240.00	\$ 193.00	\$ 81,060.00	\$ 123.10	\$ 51,702.00	\$ 215.00	\$ 90,300.00
C4	Furnish and Install PVC Gravity Sewer SDR 26 (Outside pavement)	8"	LF	700	\$ 139.00	\$ 97,300.00	\$ 287.00	\$ 200,900.00	\$ 215.74	\$ 151,018.00	\$ 225.00	\$ 157,500.00
C5	Furnish and Install PVC Sewer Laterals (In pavement)	6"	LF	4,000	\$ 150.00	\$ 600,000.00	\$ 98.00	\$ 392,000.00	\$ 143.35	\$ 573,400.00	\$ 80.00	\$ 320,000.00
C6	Furnish and Install PVC Sewer Laterals (Outside pavement)	6"	LF	4,000	\$ 131.50	\$ 526,000.00	\$ 109.00	\$ 436,000.00	\$ 95.70	\$ 382,800.00	\$ 70.00	\$ 280,000.00
C7	Furnish and Install Lateral Cleanout	6"	EA	260	\$ 1,315.00	\$ 341,900.00	\$ 1,730.00	\$ 449,800.00	\$ 1,479.80	\$ 384,748.00	\$ 500.00	\$ 130,000.00
C8	Furnish and Install PVC Terminal Cleanout (In pavement)	8"	EA	2	\$ 1,800.00	\$ 3,600.00	\$ 3,520.00	\$ 7,040.00	\$ 2,675.00	\$ 5,350.00	\$ 2,000.00	\$ 4,000.00
C9	Furnish and Install PVC Terminal Cleanout (Outside pavement)	8"	EA	2	\$ 1,685.00	\$ 3,370.00	\$ 2,342.00	\$ 4,684.00	\$ 2,156.00	\$ 4,312.00	\$ 2,000.00	\$ 4,000.00
C10	Furnish and Install Deep Sewer Lateral Stack	6"	EA	50	\$ 1,600.00	\$ 80,000.00	\$ 2,262.00	\$ 113,100.00	\$ 1,611.00	\$ 80,550.00	\$ 1,000.00	\$ 50,000.00
C11	Furnish and Install Precast Manhole, Including Frame and Cover	4' Dia.	VF	415	\$ 1,200.00	\$ 498,000.00	\$ 947.00	\$ 393,005.00	\$ 1,025.00	\$ 425,375.00	\$ 800.00	\$ 332,000.00
C12	Furnish and Install Precast Manhole, Including Frame and Cover	5' Dia.	VF	110	\$ 1,200.00	\$ 132,000.00	\$ 1,055.00	\$ 116,050.00	\$ 1,320.00	\$ 145,200.00	\$ 1,000.00	\$ 110,000.00
C13	Parcel 419 New Storage Shed Allowance	--	LS	1	\$ 7,000.00	\$ 7,000.00	\$ 7,000.00	\$ 7,000.00	\$ 7,000.00	\$ 7,000.00	\$ 7,000.00	\$ 7,000.00
C14	Replace Existing MH3 in Sherwood Forest North and Perform Bypass Pumping	--	LS	1	\$ 27,000.00	\$ 27,000.00	\$ 21,750.00	\$ 21,750.00	\$ 29,645.00	\$ 29,645.00	\$ 20,000.00	\$ 20,000.00
C15	Furnish and Install Steel Casing Pipe Crossing at School Lane	16"	LF	40	\$ 1,200.00	\$ 48,000.00	\$ 790.00	\$ 31,600.00	\$ 548.00	\$ 21,920.00	\$ 800.00	\$ 32,000.00
C16	Core Drill Existing Manhole LNR-298/4 for Connection of Gravity Sewer	--	EA	1	\$ 6,000.00	\$ 6,000.00	\$ 14,850.00	\$ 14,850.00	\$ 6,361.00	\$ 6,361.00	\$ 200.00	\$ 200.00
C17	Furnish and Install Force Main (In pavement)	3"	LF	35	\$ 100.00	\$ 3,500.00	\$ 167.00	\$ 5,845.00	\$ 83.80	\$ 2,933.00	\$ 80.00	\$ 2,800.00
C18	Furnish and Install Force Main (Outside pavement)	3"	LF	1,800	\$ 70.00	\$ 126,000.00	\$ 57.00	\$ 102,600.00	\$ 71.03	\$ 127,854.00	\$ 70.00	\$ 126,000.00



Tabulation of Bids

PROJECT NAME: Long Neck Comm Sewer Expansion
 GMB JOB NO.: 210077
 BIDS OPENED: February 1, 2023 @ 2:00 pm

Item No.	Bid Item Description	Size	Units	Est. Qty.	A-Del Construction Co., Inc.		Chesapeake Turf LLC		George & Lynch, Inc.		Pact One LLC	
					Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price
C19	Furnish and Install Toning Wire Box	--	EA	1	\$ 750.00	\$ 750.00	\$ 1,910.00	\$ 1,910.00	\$ 1,986.00	\$ 1,986.00	\$ 10,000.00	\$ 10,000.00
C20	Furnish and Install Air Release Valve ARV-1	--	EA	1	\$ 19,000.00	\$ 19,000.00	\$ 22,900.00	\$ 22,900.00	\$ 21,780.00	\$ 21,780.00	\$ 15,000.00	\$ 15,000.00
C21	Dewatering: Well Point Header Pipe per LF	--	LF	10,000	\$ 73.50	\$ 735,000.00	\$ 31.70	\$ 317,000.00	\$ 60.04	\$ 600,400.00	\$ 20.00	\$ 200,000.00
C22	Dewatering: Well Point Discharge Pipe per LF	--	LF	2,000	\$ 5.00	\$ 10,000.00	\$ 15.50	\$ 31,000.00	\$ 29.50	\$ 59,000.00	\$ 15.00	\$ 30,000.00
C23	Test Well and Water Quality Testing Allowance	--	--	1	\$ 35,000.00	\$ 35,000.00	\$ 35,000.00	\$ 35,000.00	\$ 35,000.00	\$ 35,000.00	\$ 35,000.00	\$ 35,000.00
C24	Milling of Existing Pavement	2"	SF	4,000	\$ 1.50	\$ 6,000.00	\$ 2.10	\$ 8,400.00	\$ 2.90	\$ 11,600.00	\$ 2.00	\$ 8,000.00
C25	Furnish and Place Superpave Type "C" Hot Mix Asphalt Surface Course	--	Ton	5,000	\$ 111.00	\$ 555,000.00	\$ 138.00	\$ 690,000.00	\$ 138.20	\$ 691,000.00	\$ 150.00	\$ 750,000.00
C26	Furnish and Place Superpave Type "B" Hot Mix Asphalt Base Course	--	Ton	3,200	\$ 133.00	\$ 425,600.00	\$ 170.00	\$ 544,000.00	\$ 222.61	\$ 712,352.00	\$ 150.00	\$ 480,000.00
C27	Furnish and Place Graded Aggregate Type "B" Base Course	--	CY	4,000	\$ 85.00	\$ 340,000.00	\$ 156.00	\$ 624,000.00	\$ 114.93	\$ 459,720.00	\$ 70.00	\$ 280,000.00
C28	Furnish and Install Asphalt Driveway Restoration (2" Type C Asphalt over 6" GABC Stone)	2"/6"	SF	1,200	\$ 8.00	\$ 9,600.00	\$ 15.00	\$ 18,000.00	\$ 6.66	\$ 7,992.00	\$ 15.00	\$ 18,000.00
C29	Furnish and Install Stone or Gravel Driveway Restoration	4"	SF	2,600	\$ 2.00	\$ 5,200.00	\$ 4.00	\$ 10,400.00	\$ 3.61	\$ 9,386.00	\$ 5.00	\$ 13,000.00
C30	Furnish and Install Concrete Driveway Restoration	6"	SF	1,000	\$ 14.00	\$ 14,000.00	\$ 22.00	\$ 22,000.00	\$ 26.22	\$ 26,220.00	\$ 30.00	\$ 30,000.00
SUBTOTAL SCHEDULE C - C1 THRU C30						\$ 6,462,220.00		\$ 7,052,694.00		\$ 7,285,724.00		\$ 6,569,800.00
SCHEDULE D: CONTINGENT BID ITEMS												
D1	Excavation Below Subgrade	--	CY	200	\$ 87.00	\$ 17,400.00	\$ 50.00	\$ 10,000.00	\$ 53.42	\$ 10,684.00	\$ 50.00	\$ 10,000.00
D2	Furnish and Place No. 57 Stone Gravel Bedding	--	CY	200	\$ 140.00	\$ 28,000.00	\$ 100.00	\$ 20,000.00	\$ 98.56	\$ 19,712.00	\$ 45.00	\$ 9,000.00
D3	Furnish & Place Borrow Material (Backfill)	--	CY	1,000	\$ 80.00	\$ 80,000.00	\$ 25.00	\$ 25,000.00	\$ 34.20	\$ 34,200.00	\$ 20.00	\$ 20,000.00
D4	Miscellaneous Excavation and Backfill	--	CY	10	\$ 600.00	\$ 6,000.00	\$ 50.00	\$ 500.00	\$ 435.00	\$ 4,350.00	\$ 100.00	\$ 1,000.00
D5	Furnish and Place Miscellaneous 4,000 PSI Concrete	--	CY	10	\$ 1,050.00	\$ 10,500.00	\$ 200.00	\$ 2,000.00	\$ 644.00	\$ 6,440.00	\$ 300.00	\$ 3,000.00
D6	Secure Modified Proctor Tests on Trench Backfill	--	EA	2	\$ 500.00	\$ 1,000.00	\$ 500.00	\$ 1,000.00	\$ 747.50	\$ 1,495.00	\$ 1,000.00	\$ 2,000.00
D7	Secure Field Density Tests on Trench Backfill	--	EA	50	\$ 305.00	\$ 15,250.00	\$ 350.00	\$ 17,500.00	\$ 145.00	\$ 7,250.00	\$ 300.00	\$ 15,000.00
SUBTOTAL SCHEDULE D - D1 THRU D7						\$ 158,150.00		\$ 76,000.00		\$ 84,131.00		\$ 60,000.00
TOTAL BASE BID - SUM OF SCHEDULE A + B + C + D						\$ 7,658,870.00		\$ 8,319,914.00		\$ 8,397,601.00		\$ 7,760,800.00



Tabulation of Bids

PROJECT NAME: Long Neck Comm Sewer Expansion
 GMB JOB NO.: 210077
 BIDS OPENED: February 1, 2023 @ 2:00 pm

Item No.	Bid Item Description	Size	Units	Est. Qty.	A-Del Construction Co., Inc.		Chesapeake Turf LLC		George & Lynch, Inc.		Pact One LLC	
					Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price
SCHEDULE F: LISTING OF SUBCONTRACTORS												
	Subcontractor Trade											
					Subcontractor's Name	Subcontractor's Name	Subcontractor's Name	Subcontractor's Name	Subcontractor's Name	Subcontractor's Name	Subcontractor's Name	Subcontractor's Name
1	Geo-Technical				Hillis-Carnes	John Hynes & Assoc/Hillis-Carnes	Hillis-Carnes	John D. Hynes & Associates	Hillis-Carnes	John D. Hynes & Associates	Hillis-Carnes	John D. Hynes & Associates
2	Installation of Pump Station				A-Del	Chesapeake Turf	George & Lynch	Pact One	George & Lynch	Pact One	George & Lynch	Pact One
3	Electrical				B.W. Electric	Bilbrough's Electric	B.W. Electric	Bilbrough's Electric Inc.	B.W. Electric	Bilbrough's Electric Inc.	B.W. Electric	Bilbrough's Electric Inc.
4	Mechanical				A-Del	Chesapeake Turf	George & Lynch	Pact One	George & Lynch	Pact One	George & Lynch	Pact One
5	Poured-In-Place Concrete				A-Del	Chesapeake Turf	George & Lynch	Pact One	George & Lynch	Pact One	George & Lynch	Pact One
6	Installation of Force Main				A-Del	Chesapeake Turf	George & Lynch	Pact One	George & Lynch	Pact One	George & Lynch	Pact One
7	Installation of Gravity Sewer				A-Del	Chesapeake Turf	George & Lynch	Pact One	George & Lynch	Pact One	George & Lynch	Pact One
8	Paving				A-Del	R.L. Ewing Contractors	George & Lynch	George & Lynch	George & Lynch	George & Lynch	George & Lynch	George & Lynch
9	Traffic Control				A-Del	Chesapeake Turf	American Flag	Rightway Flagging & Sign Company	American Flag	Rightway Flagging & Sign Company	American Flag	Rightway Flagging & Sign Company
10	Third Party Testing				B.W. Electric	Dependent on Scope Testing is Perform For	Hillis-Carnes	John D. Hynes & Associates	Hillis-Carnes	John D. Hynes & Associates	Hillis-Carnes	John D. Hynes & Associates
11	Test Well				Ecolab	Water Systems Inc.	Shore Services, Inc.	Shore Services, Inc.	Shore Services, Inc.	Shore Services, Inc.	Shore Services, Inc.	Shore Services, Inc.
12	Water Quality Testing				Ecolab	Water Testing Labs of Maryland	Shore Services, Inc.	Shore Services, Inc.	Shore Services, Inc.	Shore Services, Inc.	Shore Services, Inc.	Shore Services, Inc.

SCHEDULE G: LIST OF PRODUCTS AND EQUIPMENT

Item Description		Manufacturer	Manufacturer	Manufacturer	Manufacturer
1	Submersible Grinder Pump	Riordan Materials / Flygt Pumps	Flygt Pumps / Riordan Materials	Flygt	Flygt / Riordan
2	Pump Station Hatch	Gillespie Precast	East Jordan Safe Hatch / Riordan Materials	Flygt	Flygt / Riordan
3	Generator	B.W. Electric	Cummins / Bilbrough's Electric	Kohler	Cummins-Onan / Bilbrough's Electric
4	Force Main Pipe	Westlake (N.A.) Core & Main	Westlake / Belair Road Supply	West Lake	JM Manufacturing
5	Gravity Sewer Pipe	Westlake (N.A.) Core & Main	Westlake / Belair Road Supply	West Lake	JM Manufacturing
6	Precast Manholes	Gillespie Precast	Gillespie Precast	Gillespie & Son	Gillespie Precast
7	Cleanout Frame and Covers	Neenah Foundry	US Foundry / Neenah /Belair Road Supply	East Jordan	Neenah / Gillespie Precast
8	Manhole Frame and Cover	Neenah Foundry	Neenah Foundry / Gillespie Precast	Neenah Foundry	Neenah / Gillespie Precast

ENGINEERING DEPARTMENT

J. MARK PARKER, P.E.
ASSISTANT COUNTY ENGINEER

(302) 855-7370 T
(302) 854-5391 F
mark.parker@sussexcountyde.gov



Sussex County

DELAWARE
sussexcountyde.gov

TO: Sussex County Council
The Honorable Michael H. Vincent, President
The Honorable John L. Rieley, Vice President
The Honorable Cynthia C. Green
The Honorable Douglas B. Hudson
The Honorable Mark G. Schaeffer

FROM: J. Mark Parker, P.E., Assistant County Engineer

RE: *SCRWF Ocean Outfall Inspection*
A. Repair/Inspection Follow-up & Actions

DATE: February 28, 2023

The Ocean Outfall system located between Bethany Beach and Middlesex Beach discharges treated wastewater from the South Coastal Regional Wastewater Facility (SCRWF) into the Atlantic Ocean. Special Condition No. 8 of the Facility's current NPDES Permit No. DE 0050008 states; "The permittee shall visually inspect the ocean outfall structure prior to May 31, 2021, and every 5 years thereafter." These inspections confirm proper condition and function of the Ocean Outfall system, with repairs performed if necessary.

Through a competitive RFP Bid process, TNJ Marine, Inc. was retained to perform the Ocean Outfall system inspection for the current inspection cycle. The inspection was completed by TNJ Marine in May 2021 and the final inspection report submitted on July 2, 2021. Based on the results of the inspection report and at the recommendation of the Engineering Department, Council approved the hiring of a *Subject Matter Expert* in marine construction, Specialty Underwater Services (SUS), on July 21, 2021 to assist in scoping out required repairs and performing additional system observations. Ultimately, a full proposal was submitted by SUS to address the necessary system repairs and visual observations based on the original TNJ Marine inspection report. That proposal was approved by Council on May 24, 2022 in the amount of \$64,250.00.

SUS subsequently completed the scoped system repairs as well as the additional observations along a portion of the pipe outfall in late Summer 2022 timeframe with a final report of findings submitted by SUS on November 8, 2022.

System Observations

The TNJ Marine report completed in 2021 indicated that a portion of the sheet piling that had been used during original system installation in 1977 was observed during the routine underwater inspection within shallower waters. However, the location relative to shore, depth



and general condition of the sheeting was not specifically noted, but rather was documented as *potentially being near or within the surf zone*. The documentation submitted by SUS as part of their updated inspection report, including videotape and written narrative, indicates that the location of exposed sections of sheet piling are safely outside what would be considered the recreational surf zone. In addition, the exposed sections/edges of the sheeting have a significant amount of attached marine growth, effectively providing a contiguous covering of the metal sheeting material. For these reasons, it has been determined that these conditions do not pose an immediate danger to the public and thus no further actions are necessary.

System Repairs

The scoped portion of repairs to the outfall system was completed by SUS at the same time as the observations performed. The repairs primarily consisted of attachment of new bonding wirings to sections of steel bents that support the exposed force main diffuser pipes near the physical system outfall point. The SUS team reported that they observed a significant number of additional wires that are either missing or not intact that were not noted in the original TNJ Marine report. It was also reported by SUS that some of the anodes attached to the steel bents have less remaining life than documented in the original report; the anodes also play a critical role in overall system cathodic protection.

Marine diving inspections are typically estimated and invoiced based on dive team crew days. SUS spent more crew time completing the inspection/repair work primarily due to access difficulties with the near-shore portion of the dive, and also additional inspection time required to document the repairs still outstanding on the pile bents. These additional efforts totaled \$18,225.00 and are summarized in the attached invoice. SUS also submitted a proposal to cover the remaining repairs to the bonding wires and anodes, but due to the estimated cost it was determined that a formal RFP would need to be developed and issued for public bid.

The Engineering Department has reviewed the costs incurred by SUS associated with the additional crew time spent to complete the original inspection and repairs and is in concurrence with the amount. The Engineering Department recommends approval of the these costs in the amount of **\$18,225.00**. Additionally, the Engineering Department recommends issuing a formal RFP to reflect the scope of the remaining repairs outlined in SUS final inspection report. The RFP would be structured to include both a cost and work performance element in the basis of award.

ENGINEERING DEPARTMENT

ADMINISTRATION	(302) 855-7718
AIRPORT & INDUSTRIAL PARK	(302) 855-7774
ENVIRONMENTAL SERVICES	(302) 855-7730
PUBLIC WORKS	(302) 855-7703
RECORDS MANAGEMENT	(302) 854-5033
UTILITY ENGINEERING	(302) 855-7717
UTILITY PERMITS	(302) 855-7719
UTILITY PLANNING	(302) 855-1299
FAX	(302) 855-7799



Sussex County

DELAWARE
sussexcountyde.gov

HANS M. MEDLARZ, P.E.
COUNTY ENGINEER

JOHN J. ASHMAN
DIRECTOR OF UTILITY PLANNING

Proposed American Storage Expansion of the Sussex County Unified Sanitary Sewer District

PERMISSION TO POST FACT SHEET

- Expansion of the Sussex County Unified Sanitary Sewer District (Long Neck Area)
- The Engineering Department has received a request from Pennoni Associates, Inc. on behalf of their client American Storage of Delaware, LLC the owners/developers of parcels 234-29.00-49.02, 49.03 & 50.00 on Route 24 near Autumn Road.
- The project has P & Z conditional use approval.
- The project will be responsible for System Connection Charges of \$6,600.00 per EDU based on current rates.
- The Engineering Department would like to request permission to prepare and post notices for a Public Hearing on the annexation of the area.
- A tentative Public Hearing is currently scheduled for April 18, 2023 at the regular County Council meeting.



Permission to Prepare and Post Notices American Storage

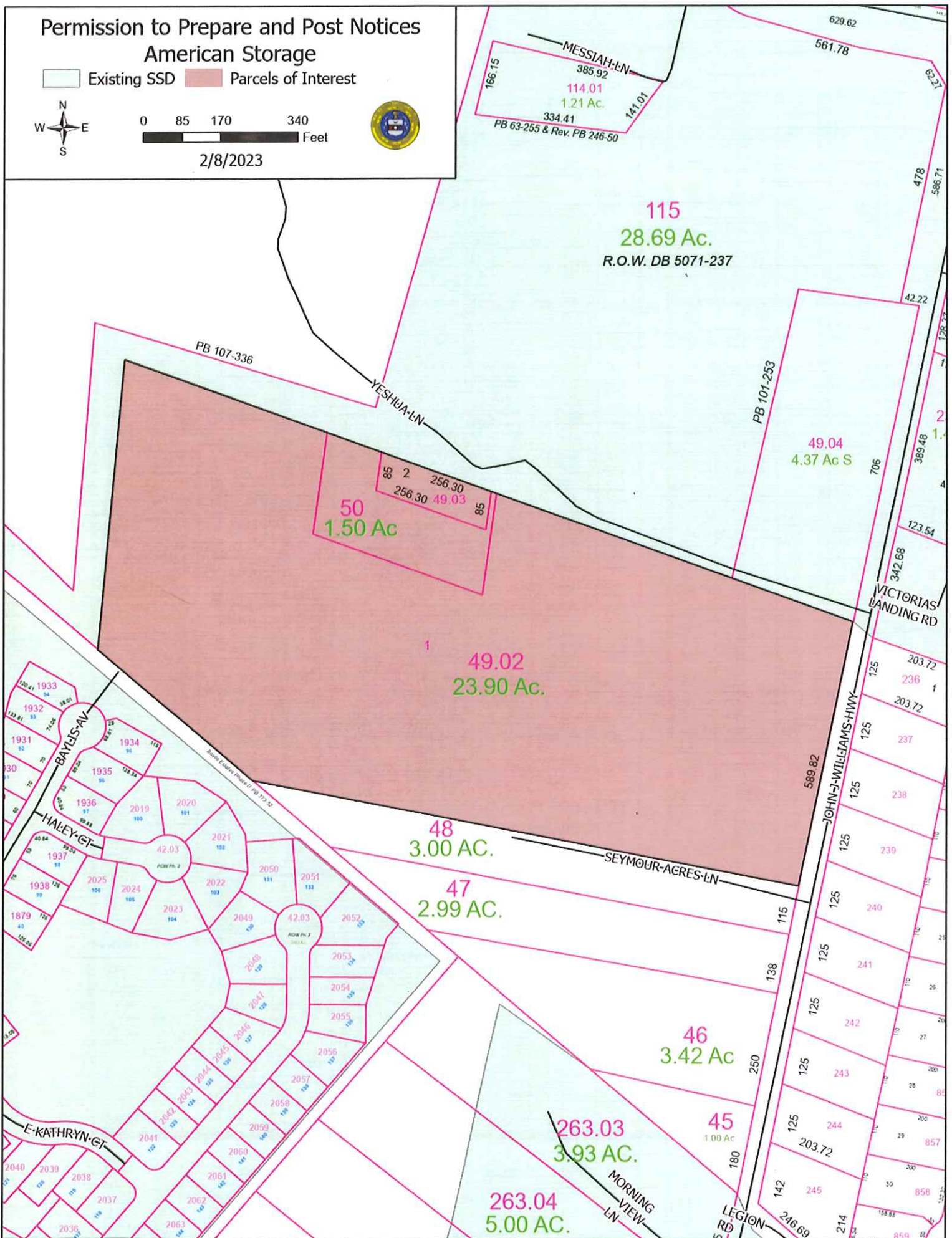
Existing SSD Parcels of Interest



0 85 170 340
Feet



2/8/2023





18072 Davidson Drive
Milton, DE 19968
T: 302-684-8030
F: 302-684-8054

www.pennoni.com

January 30, 2023
AMSDE22001

Mr. Hans Medlarz
Sussex County Engineer
2 The Circle
Georgetown, DE 19947

RE: American Storage – Rt. 24 – Annexation
Tax Map No: 234-29.00-49.02, 49.03, & 50.00
John J. Williams Highway (Rt. 24)
CU 2315
SCED Agreement # 1204

Dear Mr. Medlarz:

On behalf of American Storage of Delaware, LLC, Pennoni Associates, Inc. is submitting a request for annexation into the Tier 1 Sussex County Unified Sanitary Sewer District for the proposed project located on parcel of lands measuring 26+/- acres which is required to be serviced by public central sewer. The project consists of a 3-story (150,000 GFA) self-storage building and 140 residential apartments off John J. Williams Hwy. (Rt. 24) located on TM# 234-29.00-49.02, 49.03 & 50.00 which is currently identified as Tier 2 & 3 – Sussex County Planning Area & Coordinated CPCN Areas. The adjacent properties are within Tier 1. We received Sussex County Council Approval (CU 2315) on June 14, 2022 [Ordinance No. 2861], and a Revised Preliminary Site Plan Approval per the Planning Commission on January 26, 2023. We received the SSCE response on March 8, 2022, which noted the requirement for annexation.

If you have any comments or need additional information, please call us at (302) 684-8030.

Sincerely,

PENNONI ASSOCIATES INC.

Alan Decktor, PE, ENV SP
Senior Engineer

U:\Accounts\AMSDE\AMSDE22001 - American Storage\DELIVERABLES\SCED\1 American Storage - Rt 24 County Annex Request.docx

om 7.08.34

ENGINEERING DEPARTMENT

ADMINISTRATION	(302) 855-7718
AIRPORT & INDUSTRIAL PARK	(302) 855-7774
ENVIRONMENTAL SERVICES	(302) 855-7730
PUBLIC WORKS	(302) 855-7703
RECORDS MANAGEMENT	(302) 854-5033
UTILITY ENGINEERING	(302) 855-7717
UTILITY PERMITS	(302) 855-7719
UTILITY PLANNING	(302) 855-1299
FAX	(302) 855-7799



Sussex County

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HANS M. MEDLARZ, P.E.
COUNTY ENGINEER

JOHN J. ASHMAN
DIRECTOR OF UTILITY PLANNING

Proposed Mulberry Knoll Store Expansion of the Sussex County Unified Sanitary Sewer District

PERMISSION TO POST FACT SHEET

- Expansion of the Sussex County Unified Sanitary Sewer District (West Rehoboth Area)
- The Engineering Department has received a request from Davis, Bowen & Friedel, Inc. on behalf of their client V & M, LLC the owners/developers of parcels 334-12.00-108.00, 108.01, 109.00, 109.01, 110.00, 111.00, 111.01 & 112.00 at Route 24 and Mulberry Knoll Road.
- The project has P & Z conditional use approval.
- The project will be responsible for System Connection Charges of \$6,600.00 per EDU based on current rates.
- The Engineering Department would like to request permission to prepare and post notices for a Public Hearing on the annexation of the area.
- A tentative Public Hearing is currently scheduled for April 18, 2023 at the regular County Council meeting.





*Michael R. Wigley, AIA, LEED AP
W. Zachary Crouch, P.E.
Michael E. Wheedleton, AIA
Jason P. Loar, P.E.
Ring W. Lardner, P.E.*

January 26, 2023

Mr. John Ashman
Utility Planning Division
Sussex County Engineering Department
2 The Circle, Box 589
Georgetown, Delaware 19947

RE: Mulberry Knoll Store
Tier 2 - Sussex County Planning Area- Goslee Creek
TM# 334-12.00-108.00, 108.01, 109.00, 109.01, 110.00, 111.00 & 111.01
DBF# 3311A002.A01

Dear Mr. Ashman:

On behalf of our client, V&M, LLC, we are hereby requesting that Sussex County Council consider extending the Goslee Creek District boundaries. The purpose of this extension would be to provide sanitary sewer service to parcels of land referenced by Sussex County Tax Map as Parcel Numbers 334-12.00, Parcels 108.00, 108.01, 109.00, 109.01, 110.00, 111.00 & 111.01.

Please find enclosed the application fee in the amount of \$750.00 (Check #3825), the record plan and legal description to include all parcels.

Thank you for your assistance in this matter. If you should have any questions of concerns, please contact me at (302) 424-1441.

Sincerely,
DAVIS, BOWEN & FRIEDEL, INC.

W. Zachary Crouch, P.E.
Principal

Enc.

Schaeffer.
Yes. 2.3.23

Council Grant Form

Legal Name of Agency/Organization

Paul Kares Inc ✓

Project Name

Concert for the Kids

Federal Tax ID

85-1333696 ✓

Non-Profit

Yes

Does your organization or its parent organization have a religious affiliation? (If yes, fill out Section 3B.)

No

Organization's Mission

Paul Kares is a 501(c)(3) nonprofit organization dedicated to encouraging and educating children who show interest and passion for the culinary and musical arts. Paul Kares' mission is to support these young artists by providing them with the confidence, training and tools to pursue careers in their chosen artistic field.

Paul Kares hosts fundraising events and solicits donations throughout the year to raise awareness and funds to enable us to fulfill our goal of assisting children who need financial support to attend educational seminars, workshops and classes in their chosen field or to purchase musical instruments and culinary/kitchen tools and equipment.

Paul Kares works with schools throughout Sussex County and organizations like the Children's Beach House to identify qualified candidates who may become future recipients of Paul Kares scholarships and other financial awards. We especially look to support children who are from low-to-moderate income circumstances.

Paul Kares also is concerned with immediate needs of the lower income members of our community and contributes to efforts to feed the homeless alongside Jim Martin's "Shepherd's Office" in Georgetown, DE by donating food and money to those in need.

Address 32882 Cedar Grove Road

Address 2

City Lewes

State Delaware

Zip Code 19958

Contact Person Michael Whitehouse

Contact Title Executive Director

Contact Phone Number 203 241-7979

Contact Email Address michael@paulkaresde.org

Total Funding Request \$2,000

Has your organization received other grant funds from Sussex County Government in the last year? No

If YES, how much was received in the last 12 months?

N/A

Are you seeking other sources of funding other than Sussex County Council?

Yes

If YES, approximately what percentage of the project's funding does the Council grant represent?

10

Program Category (choose all that apply)

Educational

Program Category Other

Primary Beneficiary Category

Youth

Beneficiary Category Other

Approximately the total number of Sussex County Beneficiaries served, or expected to be served, annually by this program

100

Scope

Paul Kares, Inc. is hosting a charity fundraising event - "The Concert for the Kids" on April 30th at the Milton Theatre, in

Milton, DE.

We are hosting this charity fundraising event to raise awareness and funds for Paul Kares to help us fulfill our goal of assisting children who are in need of financial support to attend educational seminars, workshops, and classes in their chosen field and/ or to purchase musical instruments and culinary/ kitchen tools and equipment. Children from Sussex County public schools will be among the performers at the Concert.

The money raised will help us address a problem and need of children and families in Sussex County who are looking for financial support to help pay for classes, workshops, training and equipment and/ or instruments for their children pursuing careers in the culinary, hospitality and entertainment fields.

Recently, (December 2022) Paul Kares awarded a grant of \$3,000 to the Cape Henlopen High School Jazz Band to help support the band's (20+ students) travel expenses to a northeast music competition that they were juried into and selected to attend - one of only 2 high school jazz bands to be invited throughout the entire northeast United States. We wish to continue to make many more such awards, especially to support children who are from low to moderate income family circumstances.

Additionally we've raised - and committed - funding of \$4,000 to pay for a Deltech student (and apprentice chef) to attend a Deltech culinary course on Italian food and cuisine to be held in Sorrento and Rome this Spring.

The amount of money raised at our "Concert for the Kids" will determine the number of students and families that Paul Kares can assist in the coming year.

**Religious
Components**

Please enter the current support your organization receives for this project (not entire organization revenue if not applicable to request) 8,000.00

Description Food & Beverage

Amount 8,500.00

Description Theatre Rental

Amount 1,200.00

Description Entertainment (Musicians)

Amount 3,000.00

Description Guest Chefs

Amount 1,000.00

Description Graphic Design/ Printing

Amount 1,200.00

Description Personnel/ Staff

Amount 2,500.00

Description Marketing/ Communications (including advertizing)

Amount 1,700.00

Description

Amount**TOTAL EXPENDITURES** 19,100.00**TOTAL DEFICIT FOR
PROJECT OR
ORGANIZATION** -11,100.00**Name of Organization** Paul Kares Inc**Applicant/Authorized
Official** Michael Whitehouse**Date** 01/25/2023**Affidavit** Yes**Acknowledgement**

If you feel this is not a valid submission please log into D3Forms to update this submissions status.
Please feel free to email clientservices@d3corp.com with any questions.

Casey Hall

From: Paul Kares <michael@paulkaresde.org>
Sent: Tuesday, January 31, 2023 5:31 PM
To: Casey Hall
Subject: Re: Non-Profit grant program

CAUTION: This email originated from outside of the organization. Do not click links, open attachments, or reply unless you recognize the sender and know the content is safe. Contact the IT Helpdesk if you need assistance.

Hello Casey,

Thank you for your note. Currently the children taking part in Paul Kares' programs are from the Cape Henlopen School district.

We appreciate your following up on our application.

Kind Regards,

Michael Whitehouse

Michael Whitehouse
Executive Director
Paul Kares, Inc
(203) 241-7979

On Jan 31, 2023, at 8:42 AM, Casey Hall <casey.hall@sussexcountype.gov> wrote:

Good morning.

Sussex County is in receipt of you your Councilmanic grant request for Paul Kares Inc. Can you please provide which School District(s) in Sussex County the children taking part in your program are from so we can send the request to the right council member for consideration.

Thank you,

Casey Hall

Casey Hall, Clerk III
Administration | Sussex County Government
P.O. Box 589 | 2 The Circle | Georgetown, DE 19947
Tel: 302.855.7743 x7937 Fax: 302.855.7749

To Be Reintroduced: 02/28/23

Council District 3: Mr. Schaeffer
Tax I.D. No. 234-6.00-6.02
911 Address 30857 Saddle Ridge Way, Lewes

ORDINANCE NO. ____

AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR MULTI-FAMILY (2 UNITS) TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN INDIAN RIVER HUNDRED, SUSSEX COUNTY, CONTAINING 2.144 ACRES, MORE OR LESS

WHEREAS, on the 11th day of February 2022, a conditional use application, denominated Conditional Use No. 2350 was filed on behalf of Beaver Dam Enterprises, LLC; and

WHEREAS, on the ____ day of _____ 2022, a public hearing was held, after notice, before the Planning and Zoning Commission of Sussex County and said Planning and Zoning Commission recommended that Conditional Use No. 2350 be _____; and

WHEREAS, on the ____ day of _____ 2022, a public hearing was held, after notice, before the County Council of Sussex County and the County Council of Sussex County determined, based on the findings of facts, that said conditional use is in accordance with the Comprehensive Development Plan and promotes the health, safety, morals, convenience, order, prosperity and welfare of the present and future inhabitants of Sussex County, and that the conditional use is for the general convenience and welfare of the inhabitants of Sussex County.

NOW, THEREFORE, THE COUNTY OF SUSSEX HEREBY ORDAINS:

Section 1. That Chapter 115, Article IV, Subsection 115-22, Code of Sussex County, be amended by adding the designation of Conditional Use No. 2350 as it applies to the property hereinafter described.

Section 2. The subject property is described as follows:

ALL that certain tract, piece or parcel of land, lying and being situate in Indian River Hundred, Sussex County, Delaware, and lying on west side of Beaver Dam Road (Rt. 23), approximately 0.50 mile north of Hopkins Road (S.C.R. 286), and being more particularly described in the attached legal description prepared by Hudson, Jones, Jaywork & Fisher, said parcel containing 2.144 acres, more or less.

This Ordinance shall take effect immediately upon its adoption by majority vote of all members of the County Council of Sussex County, Delaware.

ORDINANCE NO. _____

AN ORDINANCE TO AMEND THE SUSSEX COUNTY SEWER TIER MAP OF THE COMPREHENSIVE PLAN FROM THE TIER 4 AREA (SYSTEM OPTIONAL AREAS) TO THE TIER 2 (SUSSEX COUNTY PLANNING AREA) IN RELATION TO TAX PARCELS 533-11.00-23.00, 23.03 & 23.04.

WHEREAS, on September 27th, 2022, the Sussex County Planning and Zoning Office received an Application for a requested Comprehensive Plan Amendment to amend the Sussex County Sewer Tier Map element of the Comprehensive Plan to change the Sewer Tier designation of Sussex County Parcel Nos. 533-11.00-23.00, 23.03 and 23.04; and

WHEREAS, the Parcels comprise 31.83 acres of land, more or less, lying and being within Baltimore Hundred, and are located on the north side of Deer Run Road (S.C.R. 388) and the southwest side of Zion Church Road (Route 20), approximately 0.42 mile south of the intersection of Evans Road (S.C.R. 383) and Zion Church Road (Route 20);

WHEREAS, The Properties are designated as being within the Tier 4 – System Optional Areas as set forth in the Sussex County Sewer Tier Map as Figure 7.3-2 in the 2018 Comprehensive Plan for Sussex County;

WHEREAS, a portion of Parcel 23.00 contains the Future Land Use Map designation of Developing Area as set forth in the Sussex County 2045 Future Land Use Map identified as Figure 4.5-1 of the Sussex County Comprehensive Plan; and

WHEREAS, as noted in the Sussex County Comprehensive Plan, central sewer facilities are “strongly encouraged” within the Developing Area; and

WHEREAS, the remainder of the Parcels within this 31.83 acres of land contain the Future Land Use Map designation of Coastal Area as set forth in the Sussex County 2045 Future Land Use Map identified as Figure 4.5-1 of the Sussex County Comprehensive Plan; and

WHEREAS, as noted in the Sussex County Comprehensive Plan, central sewer facilities are “strongly encouraged” within the Coastal Area; and

WHEREAS, Sussex County Council desires to adopt this Ordinance amending the Sussex County Sewer Tier Map element of the Plan with minor amendments; and

WHEREAS, in accordance with the required process for public hearings on Ordinances such as this one, both the Sussex County Planning & Zoning Commission and the Sussex County Council will hold public hearings on this Ordinance but limited in scope to this specific proposed Amendment to the Sussex County Sewer Tier Map contained in the Plan.

NOW, THEREFORE, THE COUNTY OF SUSSEX HEREBY ORDAINS:

Section 1. The Sussex County Sewer Tier Map identified as Figure 7.3-2 of the Sussex County Comprehensive Plan is hereby amended to change the Parcels currently classified as Tier 4 – System Optional Areas for Sussex County Parcel Nos. 533-11.00-23.00, 23.03 and 23.04 from the Tier 4 – System Optional Areas Sewer Tier designation to the Tier 1 – Sussex County Unified Sanitary Sewer District designation; Sussex County Parcel Nos. 533-11.00-23.00, 23.03 and 23.04 so changed as identified in Exhibit A, attached hereto and incorporated herein.

Section 2. This Ordinance shall also take effect following its adoption by majority vote of all members of the County Council of Sussex County, Delaware, and upon certification by the State of Delaware.

TO BE INTRODUCED

JAMIE WHITEHOUSE, AICP
DIRECTOR OF PLANNING & ZONING
(302) 855-7878 T
pandz@sussexcountyde.gov



Sussex County

DELAWARE
sussexcountyde.gov

Memorandum

To: Sussex County Council
The Honorable Michael H. Vincent
The Honorable Cynthia C. Green
The Honorable Douglas B. Hudson
The Honorable John L. Rieley
The Honorable Mark G. Schaeffer

From: Jamie Whitehouse, AICP, Director of Planning & Zoning

CC: Everett Moore, County Attorney

Date: February 24, 2023

RE: County Council Report for C/U 2337 filed on behalf of Community Power Group, LLC

The Planning and Zoning Department received an application (C/U 2337 filed on behalf of Community Power Group, LLC) for a Conditional Use for parcel 230-26.00-39.00 for a solar farm. The property is located at 18019 Beach Highway, Ellendale). The parcel size is 25.327 acres +/-.

The Planning & Zoning Commission held a Public Hearing on the application on January 12, 2023. At the meeting of January 26, 2023, the Planning & Zoning Commission recommended approval of the application for the 8 reasons stated and subject to the 10 recommended conditions as outlined within the motion (copied below).

Below are the minutes from the Planning & Zoning Commission meetings of January 12, 2023, and January 26, 2023.

Minutes of the January 12, 2023, Planning & Zoning Commission Meeting

C/U 2337 Community Power Group, LLC

AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT AND A C-1 GENERAL COMMERCIAL DISTRICT FOR A SOLAR FARM TO BE LOCATED ON A PORTION OF A CERTAIN PARCEL OF LAND LYING AND BEING IN CEDAR CREEK HUNDRED, SUSSEX COUNTY, CONTAINING 25.327 ACRES, MORE OR LESS. The property is lying on the north side of Beach Highway (Route 16), approximately 0.20 mile east of Dupont Boulevard (Route 113). 911 Address: 18019 Beach Highway, Ellendale. Tax Parcel: 230-26.00-39.00 (p/o).

Mr. Whitehouse advised the Commission that submitted into the record were the Staff Analysis, the Conceptual Site Plan, the Applicant's PowerPoint Presentation, a letter from Sussex County



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 417
GEORGETOWN, DELAWARE

Engineering Department Utility Planning Division, a letter from the U.S. Fish & Wildlife Department; the DelDOT Service Level Evaluation Response and a copy of the Applicant's Decommissioning Plan. Mr. Whitehouse advised the Commission one letter of opposition was received.

The Commission found that Ms. Whitney Hughes, Project Manager with Community Power Group, spoke on behalf of the Application; that Community Power Group (CPG) was founded in 2010; that CPG has been developing solar farms over the last 12 years; that CPG have more than 100 solar farms across the United States with projects located in Maryland, Delaware, Virginia, New York, Illinois, Massachusetts, Connecticut and Colorado; that CPG emphasizes using local labor on all projects; that CPG uses domestic equipment, pollinator friendly ground cover and game fencing whenever possible; that the subject site is located along Beach Highway in Ellendale; that the property consists of 52.23 acres; that approximately 26 acres is proposed for solar use; that the system size is four megawatts AC community solar garden; that the property is split zoned with AR-1 (Agricultural Residential) and C-1 (General Commercial); that solar farms are permitted as a Conditional Use within both districts; that the property is undergoing an annexation petition as part of the Town of Ellendale Comprehensive Plan; that CPG has communicated with Town Council President, Mr. Aaron Moore; that CPG has received confirmation that the proposed zoning will be Residential Business, which will still allow for commercial land use; that the proposed zoning will not impact the Conditional Use application; that a DelDOT review has been completed for the property; that the surrounding area is mostly comprised of general commercial and agricultural residential parcels; that commercial is located adjacent to the west of the site; that agricultural residential uses are located adjacent to the eastern portion of the site; that the property meets all minimum lot width, area and depth requirements of AR-1 and C-1 Zoning; that the proposed project has a front setback of 55-ft. from the front property line to the fence; that there is a minimum of 20-ft setback from the side and rear property lines; that the solar facility and associated fencing will not exceed 15-ft. in height at any location, complying with the height requirements; that a buffer is proposed along portions of the site; that the buffer will consist of deciduous and evergreen trees along the southern half of the array; that existing vegetation is to remain along the northern and western property lines; that CPG uses Crystalline Solar PV panels, which are made of glass, with antireflection; that CPG does not use the thin-film as it does contain toxic chemicals; that CPG will use Single Axis Tracking (SAT) racking system, which will track the sun's path to obtain the most productivity; that CPG conducted a FAA approved noise and glare analysis; that there will be little to no noise generated from the proposed use; that the nearest residential dwelling is approximately 560-ft. from a transformer; that no glare was produced along the nearby routes and home; that 17-ft. spacing will be provided between the panels, with 16-ft corridors and a minimum of 20-ft. of space between the fence and panels; the CPG proposes pollinator friendly ground cover and game fencing for the property; that solar farms are never truly abandoned; that CPG prepared a decommissioning plan, which requires there to be financial security to ensure funds are available for decommissioning and removal of the solar farm in its entirety throughout the life of the project; that additional surety comes from the fact that the salvage value of the equipment is beyond the cost to dismantle the solar farm; that the solar farm will be insured for any natural disaster damage; that in the event of a company bankruptcy, the most valuable asset of the bankruptcy proceedings is the solar farm, which only requires sun to generate revenue; that the proposed project is for Community Solar; that Community Solar gardens are required to be located on approximately 20+ acres; that CPG receives a "credit" for the amount of energy it places back to the grid; that the "credits" are sold back to the community at a discount; that the "credit" and/or discount is reflected on a separate line on subscriber's electric bill and the subscriber receives discounts to their electric bill.

Mr. Hopkins questioned how the property will be maintained and if agrovoltatics are proposed

Ms. Hughes stated CPG does consider agrovoltaic maintenance on their projects; that agrovoltaics are not proposed for the proposed project; that the property will have a mowing schedule established for the maintenance of the ground cover and landscaping and the mowing schedule is included within their Operations and Maintenance Manual.

The Commission found that no one was present in the room or by teleconference who wished to speak in support or opposition to the Application.

Upon there being no further questions, Chairman Wheatley closed the public hearing.

At the conclusion of the public hearings, the Commission discussed the Application.

In relation to C/U 2337 Community Power Group, LLC. Motion by Mr. Hopkins to defer for further consideration, seconded by Ms. Stevenson and carried unanimously. Motion carried 4-0.

Minutes of the January 26, 2023, Planning & Zoning Commission Meeting

The Commission discussed the Application which had been deferred since January 12, 2023.

Mr. Hopkins moved that the Commission recommend approval of C/U 2337 Community Power Group, LLC for a solar farm in the AR-1 District, based on the record made during the public hearing and for the following reasons:

1. The proposed facility is a public utility use under the Sussex County Zoning Code, and it meets the purposes of a Conditional Use because it has a public or semi-public character that is essential and desirable for the general convenience and welfare of Sussex County residents.
2. This is an adaptive use of farmland that will preserve it from more intensive development. The solar farm will be located on approximately 26 acres of a larger 52.23-acre farm.
3. The proposed facility promotes Goal 7.3 of the Sussex County Comprehensive Plan which encourages the use of renewable energy options such as solar farms. There was testimony that this solar farm will benefit residential, business, and municipal subscribers with lower power costs.
4. With the conditions imposed in this recommendation, the proposed use will not have any adverse impact on the neighboring or adjacent properties and there is information and data in the record that the use will not generate any excessive noise or glare.
5. The proposed solar generation facility will not result in any noticeable increase in traffic on area roadways. There are no regular employees at the site, only periodic visits for inspections, maintenance, or repair of the solar panels.
6. The Applicant has included a Decommissioning Phase in the record for when this solar farm is no longer in use.
7. There will be a buffer of existing vegetation along the north and a portion of the west sides of this site to screen the view of the solar farm from the nearby residential properties while allowing the solar arrays to function properly. In addition, vegetated buffers will be planted along the remainder of the western portion of the solar array and along the southern boundary of it.

8. The proposed use provides a renewable energy source that is a benefit to the residents and businesses of Sussex County.
9. This recommendation is subject to the following conditions:
 - a. The use shall be for a ground-mounted solar farm. No other types of electric generation shall be permitted at the site.
 - b. Any lighting on the facility shall only consist of perimeter lighting needed for security purposes. All lighting shall be downward screened so that it does not shine on neighboring properties or roadways.
 - c. One unlighted sign, not to exceed 32 square feet in size, shall be permitted. The sign shall identify the operator of the solar farm and shall provide contact information and instructions in case of emergency.
 - d. The site shall be secured by fencing with a gate with a “Knox Box” or similar device to accommodate emergency access by the local fire company or other emergency responders. The fence line shall be shown on the Final Site Plan.
 - e. The location of any transformers or similar equipment, or structures, shall be shown on the Final Site Plan.
 - f. The entire site, including the area outside the fence, shall be maintained so that it does not become overgrown.
 - g. Stormwater management and erosion and sedimentation control facilities shall be constructed in accordance with all applicable State and County requirements. These facilities shall be operated using Best Management Practices.
 - h. There shall be a vegetated buffer of existing vegetation along the northern and a portion of the western sides of the solar area. In addition, vegetated buffers shall be planted along the remainder of the western boundary and the southern boundary of the solar array area. These buffer areas shall be clearly shown on the Final Site Plan. These buffers shall screen solar arrays while allowing the solar arrays to function properly.
 - i. The Final Site Plan shall identify a Decommissioning Plan that includes financial security to ensure that funds are available for decommissioning and removal of the solar farm in its entirety throughout the life of the Conditional Use.
 - j. The Final Site Plan shall be subject to the review and approval of the Sussex County Planning and Zoning Commission.

Motion by Mr. Hopkins, seconded by Ms. Stevenson and carried unanimously to recommend approval of C/U 2337 Community Power Group, LLC, for the reasons and conditions stated in the motion. Motion carried 5-0.

Vote by roll call: Mr. Hopkins – yea, Ms. Stevenson – yea, Ms. Wingate – yea, Mr. Mears – yea, Chairman Wheatley - yea

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY J. WINGATE



Sussex County

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302-855-7878 T
JAMIE WHITEHOUSE, MRTPI, AICP
DIRECTOR OF PLANNING & ZONING

PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET
Planning Commission Public Hearing Date: January 12th, 2023

Application: CU 2337

Applicant: Community Power Group, LLC
Michael Borkowski
5636 Connecticut Ave
Washington, DC 20015

Owner: Reed Properties
PO Box 216
Milton, DE 19968

Site Location: Located on the north side of Beach Highway (Route 16), approximately 0.20 mile east of Dupont Boulevard (Route 113).

Current Zoning: General Commercial (C-1) District and Agricultural Residential (AR-1) Zoning District

Proposed Use: 4 MW Community Solar Facility

Comprehensive Land Use Plan Reference: Developing Area

Councilmanic District: Ms. Green

School District: Milford School District

Fire District: Ellendale Fire Co.

Sewer: N/A

Water: N/A

Site Area: 52.23

Tax Map ID.: 230-26.00-39.00



JAMIE WHITEHOUSE, AICP MRTPI
PLANNING & ZONING DIRECTOR
(302) 855-7878 T
jamie.whitehouse@sussexcountyde.gov



Sussex County

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Memorandum

To: Sussex County Planning Commission Members
From: Mx. Jesse Lindenberg, Planner I
CC: Mr. Vince Robertson, Assistant County Attorney and Applicant
Date: November 3rd, 2022
RE: Staff Analysis for C/U 2337 Community Power Group, LLC

This memo is to provide background and analysis for the Planning Commission to consider as a part of application C/U 2337 Community Power Group, LLC to be reviewed during the November 17th, 2022, Planning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

The request is for a Conditional Use for Tax Parcel: 230-26.00-39.00 to allow for a 4MW solar farm. The property is located on the north side of Beach Highway (Rt. 16), approximately 0.20 mile east of Dupont Boulevard (Rt. 113). The parcel is comprised of a total area of 52.23 acres +/- and the solar farm is to be located on an approximately 25.327 +/- acre portion.

Comprehensive Plan Analysis

The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework of how land is to be developed. As part of the Comprehensive Plan, a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use Map in the plan indicates that the parcel has a designation of "Developing Area". The adjacent parcels to the north, east, and west have a designation of "Developing Area." The parcels to the south, across Beach Highway (Rt. 16), also have a designation of "Developing Area."

As outlined within the 2018 Sussex County Comprehensive Plan, Developing Areas are newer, emerging growth areas that demonstrate the characteristics of developmental pressures. A range of housing types are appropriate in Developing Areas, including single family homes, townhouses, and multi-family units. In selected areas and at appropriate intersections, commercial uses should be allowed. A variety of office uses would be appropriate in many areas. Portions of the Developing Areas with good road access and few nearby homes should allow for business and industrial parks. Appropriate mixed-use development should also be allowed.

Zoning Information

The subject property is dual zoned General Commercial (C-1) District and Agricultural Residential (AR-1) District. The adjacent properties to the west are zoned General Commercial (C-1) District, Commercial Residential (CR-1) District. The adjacent properties to the north and east are zoned Agricultural Residential (AR-1) District. The properties to the south, across Beach Highway (Rt. 16), are zoned Agricultural Residential (AR-1) District, General Commercial (C-1) District, Commercial Residential (CR-1) District and one is under the Town of Ellendale's jurisdiction.



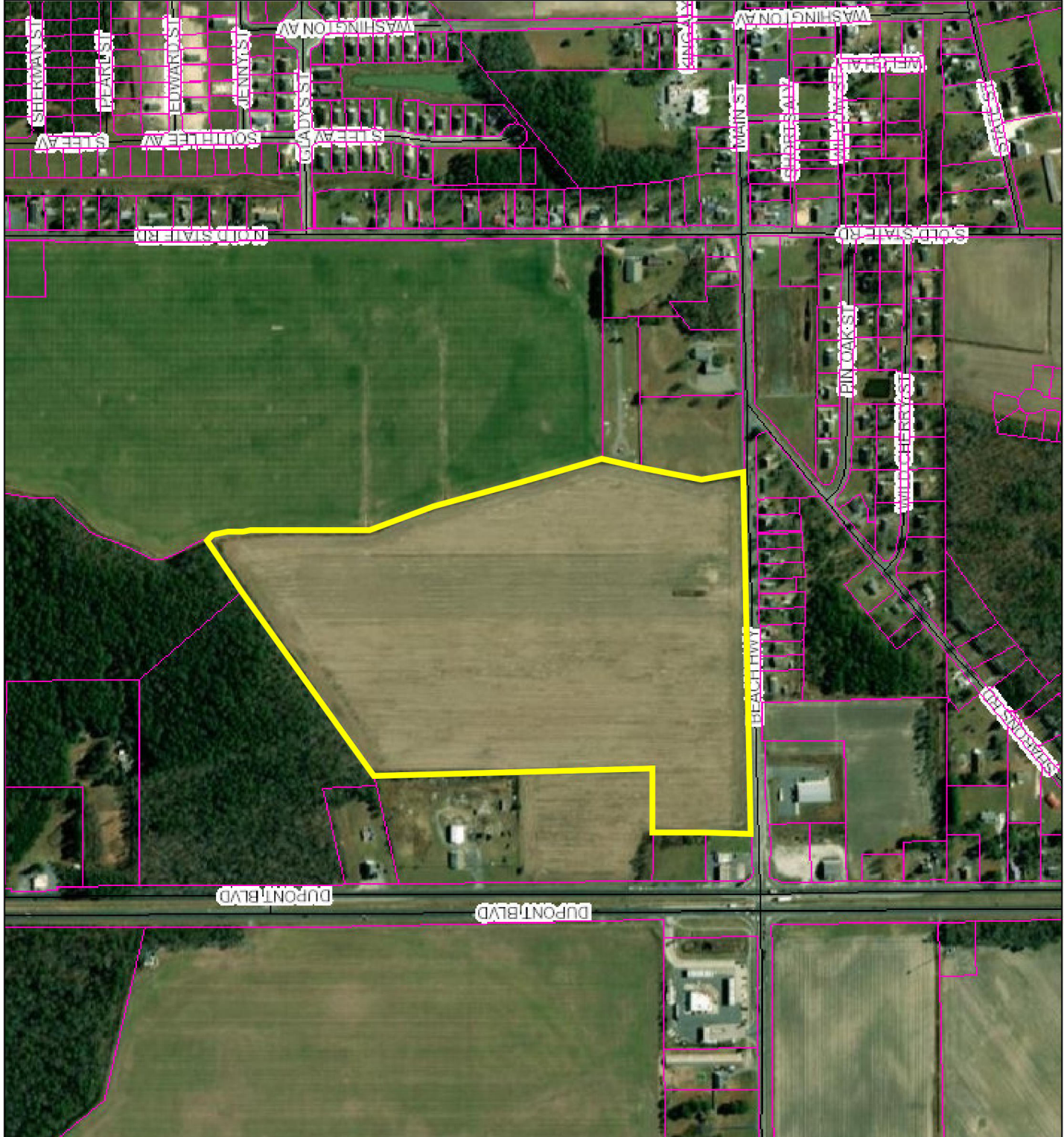
Existing Conditional Uses within the Vicinity of the Subject Site

Since 2011, there have been two (2) Conditional Use applications within a one (1) mile radius of the application site. The first application is Conditional Use No. 2172 Iris Downing to allow for a transitional/boarding house within an Agricultural Residential (AR-1) Zoning District. The Application was approved by the Sussex County Council at their meeting of Tuesday, April 16th, 2019, and the change was adopted through Ordinance No. 2649. The second application is Conditional Use No. 2192 Napoleon Hernandez, Thomas and Judy Munce to amend the conditions of CU 1979 to allow for a night club and an electronic message center within an Agricultural Residential (AR-1) Zoning District. The Application was denied by the Sussex County Council at their meeting of Tuesday, October 29th, 2019.

Based on the analysis of the land use, surrounding zoning and uses, the Conditional Use to allow for the placement of a solar farm in this location, subject to considerations of scale and impact, could be considered as being consistent with the land use, area zoning and surrounding uses.

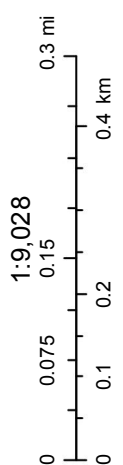


Sussex County



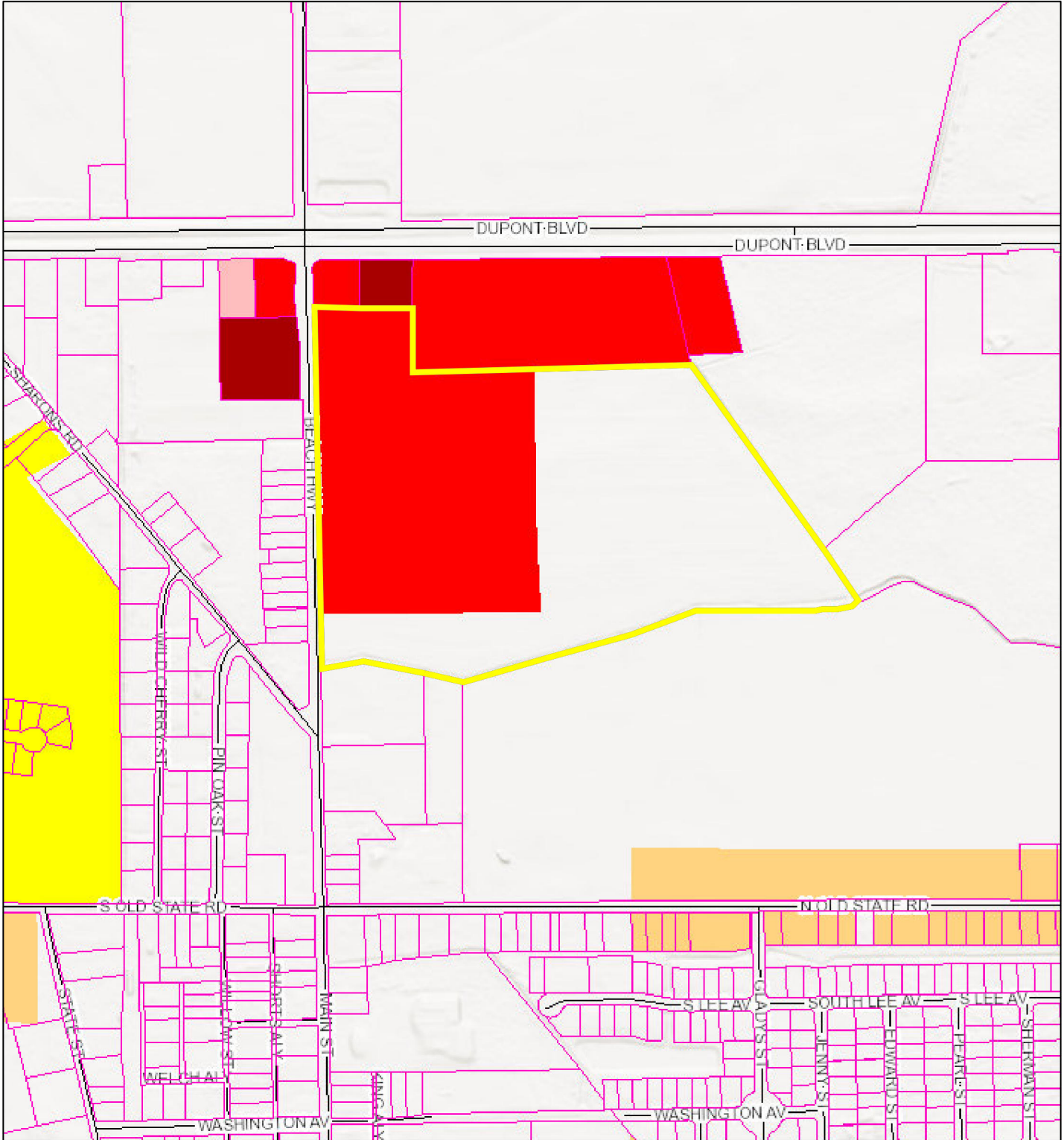
PIN:	230-26.00-39.00
Owner Name	REED PROPERTIES
Book	2763
Mailing Address	PO BOX 216
City	MILTON
State	DE
Description	DUPONT HWY
Description 2	N/RT 16 200'
Description 3	E/RT 113 FX
Land Code	

- polygonLayer**
Override 1
- polygonLayer**
Override 1
- Tax Parcels
- Streets
- County Boundaries



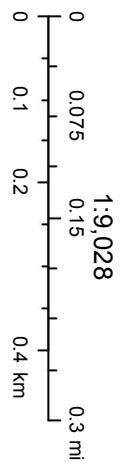


Sussex County



PIN:	230-26-00-39-00
Owner Name	REED PROPERTIES
Book	2763
Mailing Address	PO BOX 216
City	MILTON
State	DE
Description	DUPONT HWY
Description 2	N/RT 16 200'
Description 3	E/RT 113 FX
Land Code	

- polygonLayer**
Override 1
- polygonLayer**
Override 1
- Tax Parcels
- Streets



Council District 2: Mrs. Green
Tax I.D. No.: 230-26.00-39.00 (p/o)
911 Address: 18019 Beach Highway, Ellendale

ORDINANCE NO. ____

AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT AND A C-1 GENERAL COMMERCIAL DISTRICT FOR A SOLAR FARM TO BE LOCATED ON A PORTION OF A CERTAIN PARCEL OF LAND LYING AND BEING IN CEDAR CREEK HUNDRED, SUSSEX COUNTY, CONTAINING 25.327 ACRES, MORE OR LESS

WHEREAS, on the 11th day of January 2022, a conditional use application, denominated Conditional Use No. 2337 was filed on behalf of Community Power Group, LLC; and

WHEREAS, on the ____ day of _____ 2022, a public hearing was held, after notice, before the Planning and Zoning Commission of Sussex County and said Planning and Zoning Commission recommended that Conditional Use No. 2337 be _____; and

WHEREAS, on the ____ day of _____ 2022, a public hearing was held, after notice, before the County Council of Sussex County and the County Council of Sussex County determined, based on the findings of facts, that said conditional use is in accordance with the Comprehensive Development Plan and promotes the health, safety, morals, convenience, order, prosperity and welfare of the present and future inhabitants of Sussex County, and that the conditional use is for the general convenience and welfare of the inhabitants of Sussex County.

NOW, THEREFORE, THE COUNTY OF SUSSEX HEREBY ORDAINS:

Section 1. That Chapter 115, Article IV, Subsection 115-22, Code of Sussex County, be amended by adding the designation of Conditional Use No. 2337 as it applies to the property hereinafter described.

Section 2. The subject property is described as follows:

A PORTION OF that certain tract, piece or parcel of land, lying and being situate in Cedar Creek Hundred, Sussex County, Delaware, and lying on the north side of Beach Highway (Route 16), approximately 0.20 mile east of Dupont Boulevard (Route 113), and being more particularly described in the attached legal description prepared by Steven M. Adkins Land Surveying, LLC, said parcel containing 25.327 acres, more or less.

This Ordinance shall take effect immediately upon its adoption by majority vote of all members of the County Council of Sussex County, Delaware.



Memorandum

To: Sussex County Council
The Honorable Michael H. Vincent
The Honorable Cynthia C. Green
The Honorable Douglas B. Hudson
The Honorable John L. Rieley
The Honorable Mark G. Schaeffer

From: Jamie Whitehouse, AICP, Director of Planning & Zoning

CC: Everett Moore, County Attorney

Date: February 24, 2023

RE: County Council Report for C/U 2375 filed on behalf of Shane & Laura Karlik

The Planning and Zoning Department received an application (C/U 2375 filed on behalf of Shane & Laura Karlik) for a Conditional Use for parcel 234-5.00-40.04 for a marine service business. The property is located at 20635 Cool Spring Road, Milton). The parcel size is 1.7 acres +/-.

The Planning & Zoning Commission held a Public Hearing on the application on January 12, 2023. At the meeting of January 26, 2023, the Planning & Zoning Commission recommended approval of the application for the 7 reasons stated and subject to the 6 recommended conditions as outlined within the motion (copied below).

Below are the minutes from the Planning & Zoning Commission meetings of January 12, 2023, and January 26, 2023.

Minutes of the January 12, 2023, Planning & Zoning Commission Meeting

C/U 2375 Shane & Laura Karlik

AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR A MARINE SERVICE BUSINESS TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN INDIAN RIVER HUNDRED, SUSSEX COUNTY, CONTAINING 1.70 ACRES, MORE OR LESS. The property is lying on the east side of Cool Spring Road (S.C.R. 290) approximately 0.28 mile north of Stockley Road (S.C.R. 280). 911 Address: 20635 Cool Spring Road, Milton. Tax Parcel: 234-5.00-40.04.



Mr. Whitehouse advised the Commission that submitted into the record were the Applicant's Site Plan, the Staff Analysis, the Applicant's Survey, a letter received from the Sussex County Engineering Department Utility Planning Division, and the DelDOT Service Level Evaluation Response. Mr. Whitehouse advised the Commission that zero mail returns and zero comments were received.

The Commission found that Ms. Laura Karlik spoke on behalf of her Application; that she and her husband initially submitted the Application because their current property was sold, requiring their business to locate elsewhere; that they have found a location in Rehoboth for their business; that they are requesting the Conditional Use to allow for customers to drop off their boats to their personal property; that her husband would then take the boat from their personal property in Milton to their business in Rehoboth and they have lived at the subject property since 2002.

Ms. Stevenson questioned why the proposed use did not qualify for a Home Occupation.

Mr. Whitehouse stated the Application is nearly a Home Occupation but did not qualify due to the outside storage, storage of materials at the site, as well as the storage and maintenance of boats, which are not made on site.

Ms. Wingate questioned if storage for chemicals was provided, the number of boats proposed to be on-site at a time, hours of operations, and if a sign is requested.

Ms. Stevenson questioned where the boat work is performed on the site, and she questioned the amount of noise generated from the proposed use.

Ms. Karlik stated her husband does provide storage for all chemicals, with any waste being removed from the property; that she would guess no more than five boats to be located on the property at one time; that they do not intend to use the property for boat storage; that she was unsure of working hours, but agreed upon Monday through Saturday hours, with no hours on Sundays would be appropriate; that they would like a sign in the future; that Mercury Marine does require a certain size; that she has had discussions with Mr. Lowrey regarding the Sign Permit application; that most of the boat work is performed outside; that smaller boats can be pulled inside; that the use would not generate any more than typical outdoor equipment; that she has neighbors who cause more noise with engines than the proposed use and they will comply with the conditioned hours of operation to ensure any noise occurs only within the set hours.

The Commission found that no one was present in the room or by teleconference who wished to speak in support or opposition to the Application.

Upon there being no further questions, Chairman Wheatley closed the public hearing.

At the conclusion of the public hearings, the Commission discussed the Application.

In relation to C/U 2375 Shane & Laura Karlik. Motion by Ms. Wingate to defer for further consideration, seconded by Mr. Hopkins and carried unanimously. Motion carried 4-0.

Chairman Wheatley granted the Applicant's request to combine the presentations for the next two Applications, Ord. 23-02, and C/Z 1995 Janice CRP3, LLC, as they were related.

Minutes of the January 26, 2023, Planning & Zoning Commission Meeting

The Commission discussed the Application which had been deferred since January 12, 2023.

Ms. Wingate moved that the Commission recommend approval of C/U 2375 Shane & Laura Karlik for a Mercury Marine service business in the AR-1 District, based on the record made during the public hearing and for the following reasons:

1. The use is for a Mercury Marine service business located on the property where the Applicants reside.
2. The use will allow the Applicants to do repair and maintenance work on marine motors as overflow from offsite work they primarily do as part of this business at marinas, boatyards, boat storage facilities, or other similar locations.
3. The use is small in nature and is very nearly a home occupation which would be a permitted use on this property.
4. The Applicants have stated that there will be very little traffic or interaction with the public except for limited deliveries for repairs.
5. The use will not adversely affect neighboring properties or roadways.
6. The use provides a needed service for residents of Sussex County who own or operate boats and it promotes boating which is an important part of Sussex County tourism. As a result, the use has a public or semi-public character.
7. No parties appeared in opposition to the application.
8. This recommendation is subject to the following conditions:
 - A. The use shall be limited to the repair and maintenance of marine motors. No fiberglass repairs or grinding of materials unrelated to boat motor repairs shall be permitted.
 - B. There shall not be any boat storage on the property, and no more than five boats shall be on the property at any one time for repairs. No junked or permanently inoperable boats, trailers, or boat motors shall be located on the site.
 - C. All chemicals, oils, or other liquids associated with the use shall be stored and disposed of as required by law.
 - D. One unlighted sign, no larger than 4 feet by 4 feet in size, shall be permitted.
 - E. The hours of operation shall be limited to the hours between 7:00 am and 5:00 pm daily.
 - F. The Final Site Plan shall show the areas where repairs and maintenance will occur and where boats and trailers will be located. The Final Site Plan shall be subject to the review and approval of the Sussex County Planning and Zoning Commission.

Motion by Ms. Wingate, seconded by Mr. Mears and carried unanimously to recommend approval of C/U 2375 Shane & Laura Karlik, for the reasons and conditions stated in the motion. Motion carried 5-0.

Vote by roll call: Mr. Hopkins – yea, Ms. Stevenson – yea, Ms. Wingate – yea, Mr. Mears – yea, Chairman Wheatley - yea

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY J. WINGATE



Sussex County

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302-854-5079 F
JAMIE WHITEHOUSE, AICP, MRTPI
DIRECTOR OF PLANNING & ZONING

PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET
Planning Commission Public Hearing Date: January 12th, 2023

Application: C/U 2375 – Shane and Laura Karlik

Applicant: Shane and Laura Karlik
20635 Cool Spring Road
Milton, DE 19968

Owner: Shane and Laura Karlik
20635 Cool Spring Road
Milton, DE 19968

Site Location: Lying on the east side of Cool Spring Road (S.C.R. 290) approximately 0.25 miles north of the intersection of Cool Spring Road (S.C.R. 290) and Stockley Road (S.C.R. 280).

Current Zoning: Agricultural Residential (AR-1) Zoning District

Proposed Use: A Marine Services Business

Comprehensive Land Use Plan Reference: Low Density Area

Councilmanic District: Ms. Rieley

School District: Cape Henlopen School District

Fire District: Lewes Fire Department

Sewer: Septic

Water: Well

Site Area: 1.70 acres +/-

Tax Map ID: 234-5.00-40.04



JAMIE WHITEHOUSE, AICP MRTPI
PLANNING & ZONING DIRECTOR
(302) 855-7878 T
(302) 854-5079 F
jamie.whitehouse@sussexcountyde.gov



Sussex County

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sussexcountyde.gov

Memorandum

To: Sussex County Planning Commission Members
From: Mr. Michael Lowrey, Planner III
CC: Mr. Vince Robertson, Assistant County Attorney and Applicant
Date: December 6, 2022
RE: Staff Analysis for C/U 2375 Shane & Laura Karlik

This memo is to provide background and analysis for the Planning Commission to consider as a part of application C/U 2375 Shane & Laura Karlik to be reviewed during the January 12th, 2023, Planning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

The request is for a Conditional Use for Tax Parcel: 234-5.00-40.04 to allow for a marine services business on the parcel. The property is located on the east side of Cool Spring Road (S.C.R. 290) approximately 0.25 miles north of the intersection of Cool Spring Road (S.C.R. 290) and Stockley Road (S.C.R. 280). The parcel is comprised of a total area of 1.70 acres +/-

Comprehensive Plan Analysis

The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework of how land is to be developed. As part of the Comprehensive Plan, a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use Map in the plan indicates that the parcel has a Rural Area designation of "Low Density Area." The adjacent parcels surrounding the site and the parcels on both sides of Cool Spring Road (S.C.R. 290) and Hawk Hollow Lane all have the designation of "Low Density Area" as well.

Low Density Areas are areas that the County "hopes to retain the rural environment of Low Density Areas and set aside significant open space" and the Plan notes the County emphasizes policies to "maintain the rural landscape and sustain reasonable development rights" (2018 Sussex County Comprehensive Plan, 4-18). The Plan prescribes that business development should be largely confined to businesses addressing the needs of "agricultural activities and homes"; "should be providing convenience goods and services to nearby residents"; and that "more intense commercial uses should be avoided in these areas" (2018 Sussex County Comprehensive Plan, 4-19).

Zoning Information

The subject parcel is zoned Agricultural Residential (AR-1) District. The adjacent properties surrounding the property are zoned Agricultural Residential (AR-1) District.

Conditional Use Applications within the Vicinity of the Subject Site

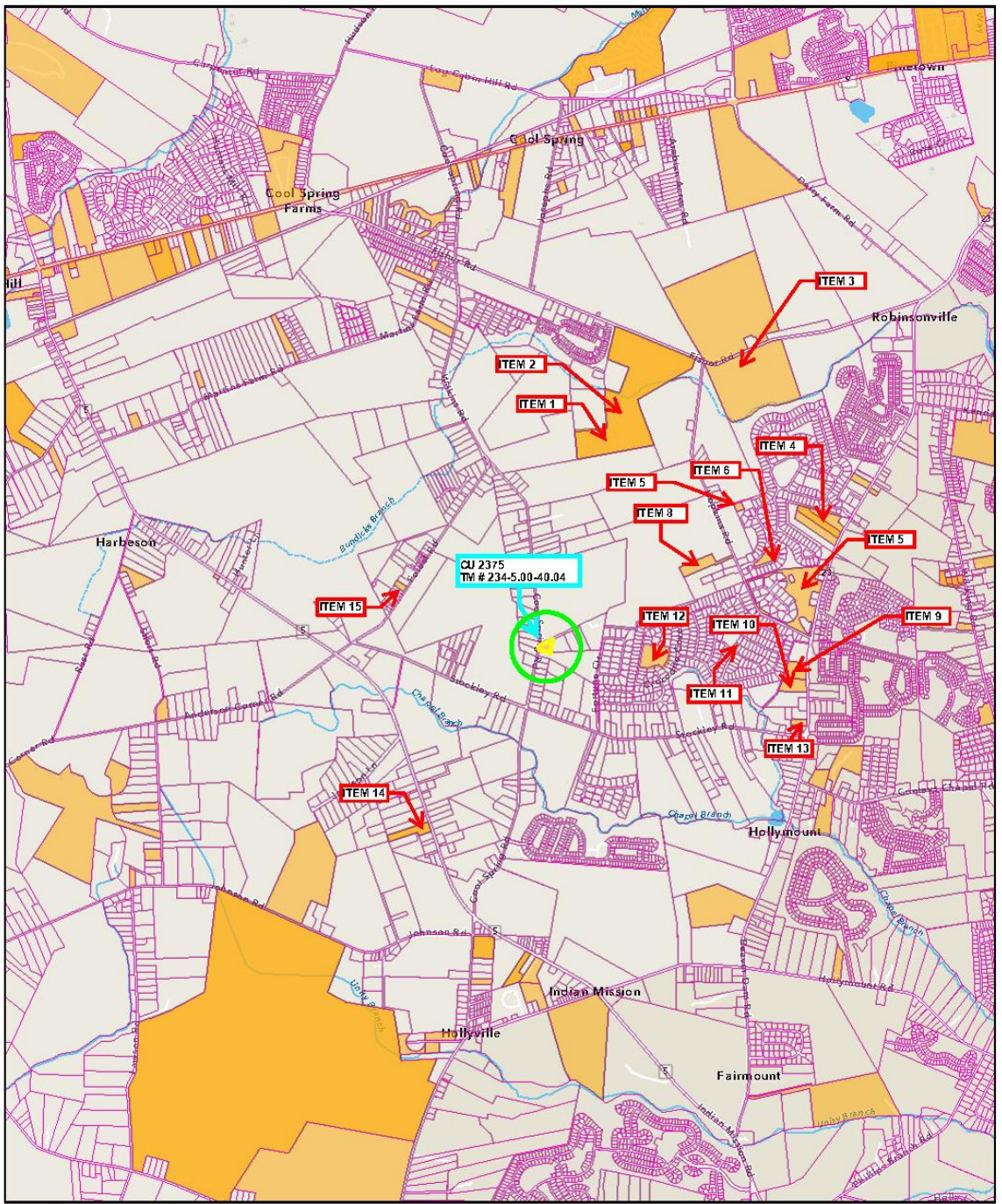


Change of Zone Applications (Within a 1.0-mile radius of the subject site)							
Item # on Attached Map	Application Number	Application Name	Zoning District	Proposed Use	CC Decision	CC Decision Date	Ordinance Number
1	<u>CU 2280</u>	Covered Bridge Inn, LLC	AR-1	Events Venue	Approved	7/13/2021	Ord. No. 2790
2	<u>CU 2232</u>	Covered Bridge Inn, LLC	AR-1	Events Venue	Withdrawn	N/A	N/A
3	<u>CU 2177</u>	Ingrid Hopkins	AR-1	Events Venue	Approved	7/30/2019	Ord. No. 2670
4	<u>CU 2379</u>	Lewes Saddle Ridge Solar 1, LLC	AR-1	Solar Farm	Pending	N/A	N/A
5	<u>CU 1017</u>	Townsend's Inc.	AR-1	Sludge Application to Forested Land	Withdrawn	N/A	N/A
6	<u>CU 2082</u>	Tidewater Utilities	AR-1	N/A	Withdrawn	N/A	N/A
7	<u>CU 2273</u>	Michael Parsons	AR-1	Delivery of Commercial Part for Off-Site Sales	Approved	11/30/2021	Ord. No. 2815
8	<u>CU 2216</u>	Kenneth Dominic Alton Drummond	AR-1	Storage & residence Quality Care Homes	Approved	08/25/2020	Ord. No. 2735

9	CU 2014	Jay Beach	AR-1	Landscaping and Site Work Business	Approved	10/13/2015	Ord. No. 2420
10	CU 2006	Thomas/Laura Kucharik	AR-1	Seasonal Farm Stand/Garden Center	Approved	3/10/2015	Ord. No. 2388
11	CU 1756	Artesian Water Company, Inc. (Heron Bay)	AR-1	Water Utility	Approved	8/14/2007	Ord. No. 1928
12	CU 1718	Artesian Water Co., Inc.	AR-1	Sewer Treatment Facility	Approved	12/5/2006	Ord. No. 1881
13	CU 2247	Hillary Brock	AR-1	Mini Spa	Approved	12/1/2020	Ord. No. 2757
14	CU 2266	MDO Dreamlands, LLC	AR-1	Hardscaping, decking company, w/small dumpster rentals	Withdrawn	N/A	N/A
15	CU 1310	Dirk & Paula Grove	AR-1	Business Office & Storage	Withdrawn	N/A	N/A

Based on the analysis of the land use, surrounding zoning and uses, a Conditional Use to allow for the use of marine services center at this site, subject to considerations of scale and impact, could be considered as being consistent with the land use, area zoning and surrounding uses.

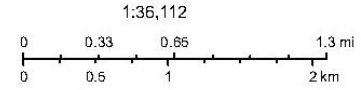
CU 2375 - Shane & Laura Karlik - TM # 234-5.00-40.04 - Conditional Use Applications (1-mile)



December 8, 2022

- Override 1
- Override 1
- Tax Parcels
- Conditional Use

**CU 2375 - Shane & Laura Karlik
 Conditional Use Applications within 1-mile
 TM # 234-5.00-40.04**



County of Sussex, DE, Delaware FirstMap, VGIN, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, Sussex County Government



TM# 234-5.00-40.04

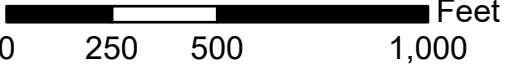
Cool Spring Rd

Hawk Hollow Ln

Fortune Cir

Fortune Cir

Sources: Esri, HERE, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community





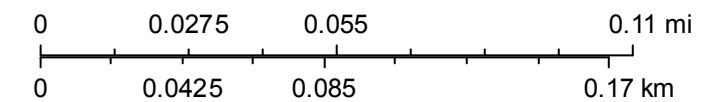
Sussex County



PIN:	234-5.00-40.04
Owner Name	UNKNOWN
Book	2754
Mailing Address	20635 COOL SPRING RD
City	MILTON
State	DE
Description	E/RD 290
Description 2	1523' N OF RD 280
Description 3	N/A
Land Code	

- polygonLayer**
 - Override 1
- polygonLayer**
 - Override 1
- ⋮ Tax Parcels
- ⋮ 911 Address
- Streets

1:2,257

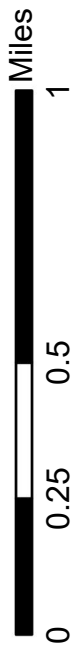


Zoning

- Agricultural Residential - AR-1
- Agricultural Residential - AR-2
- Medium Residential - MR
- General Residential - GR
- High Density Residential - HR-1
- High Density Residential - HR-2
- Vacation, Retire, Resident - B-1
- Neighborhood Business - B-1
- Neighborhood Business - B-2
- Business Research - B-3
- General Commercial - C-1
- General Commercial - C-2
- General Commercial - C-3
- General Commercial - C-4
- General Commercial - C-5
- Commercial Residential - CR-1
- Institutional - I-1
- Marine - M
- Limited Industrial - LI-1
- Light Industrial - LI-2
- Heavy Industrial - HI-1



TM# 234-5.00-40.04



CU 2375 - Shane & Laura Karlik
Zoning Map

Sussex County, Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community, Sources: Esri, HERE, Garmin, FAO, NOAA, ~~Hitchcock~~ contributors, and the GIS User Community

Introduced: 12/13/22

Council District 5: Mr. Rieley
Tax I.D. No.: 234-5.00-40.04
911 Address: 20635 Cool Spring Road, Milton

ORDINANCE NO. ____

AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR A MARINE SERVICE BUSINESS TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN INDIAN RIVER HUNDRED, SUSSEX COUNTY, CONTAINING 1.70 ACRES, MORE OR LESS

WHEREAS, on the 14th day of June 2022, a conditional use application, denominated Conditional Use No. 2375 was filed on behalf of Shane & Laura Karlik; and

WHEREAS, on the ____ day of _____ 2023, a public hearing was held, after notice, before the Planning and Zoning Commission of Sussex County and said Planning and Zoning Commission recommended that Conditional Use No. 2375 be _____; and

WHEREAS, on the ____ day of _____ 2023, a public hearing was held, after notice, before the County Council of Sussex County and the County Council of Sussex County determined, based on the findings of facts, that said conditional use is in accordance with the Comprehensive Development Plan and promotes the health, safety, morals, convenience, order, prosperity and welfare of the present and future inhabitants of Sussex County, and that the conditional use is for the general convenience and welfare of the inhabitants of Sussex County.

NOW, THEREFORE, THE COUNTY OF SUSSEX HEREBY ORDAINS:

Section 1. That Chapter 115, Article IV, Subsection 115-22, Code of Sussex County, be amended by adding the designation of Conditional Use No. 2375 as it applies to the property hereinafter described.

Section 2. The subject property is described as follows:

ALL that certain tract, piece or parcel of land, lying and being situate in Indian River Hundred, Sussex County, Delaware, and lying on east side of Cool Spring Road (S.C.R. 290) approximately 0.28 mile north of Stockley Road (S.C.R. 280) and being more particularly described in the attached legal description prepared by Phillips, Goldman, & Spence, P.A., said parcel containing 1.70 acres, more or less.

This Ordinance shall take effect immediately upon its adoption by majority vote of all members of the County Council of Sussex County, Delaware.



Memorandum

To: Sussex County Council
The Honorable Michael H. Vincent
The Honorable Cynthia C. Green
The Honorable Douglas B. Hudson
The Honorable John L. Rieley
The Honorable Mark G. Schaeffer

From: Jamie Whitehouse, AICP, Director of Planning & Zoning

CC: Everett Moore, County Attorney

Date: February 24, 2023

RE: County Council Report for Ord. 22-07 relating to the Future Land Use Map Element of the Comprehensive Plan in relation to Tax Parcels 135-15.00-98.00 & 98.01

The Planning and Zoning Department received an application (Ord 22-07 filed on behalf of Leeward Chase DE, LLC) requesting an amendment to the Future Land Use Map element of the Comprehensive Plan in relation to Tax Parcels 135-15.00-98.00 & 98.01. The property is located at 22242 Lewes Georgetown Highway, Georgetown. The parcel size is 50.80 acres +/-.

The requested change is to change the area designation of the parcel from the Commercial Area to the Developing Area. On September 20, 2022, an Ordinance was introduced by the County Council to consider a potential amendment of the Comprehensive Plan.

The Planning & Zoning Commission held a Public Hearing on the application on January 26, 2023. At the meeting of February 23, 2023, the Planning & Zoning Commission recommended approval of the Ordinance for 8 reasons as outlined within the motion (copied below).

Below are the minutes from the Planning & Zoning Commission meetings of January 26, 2023, and February 23, 2023.

Minutes of the January 26, 2023, Planning & Zoning Commission Meeting

Ord. 22-07

An Ordinance to amend the Future Land Use Map of the Comprehensive Plan in relation to Tax Parcels 135-15.00-98.00 & 98.01. The properties are located on the south side of Lewes Georgetown Highway (Route 9), approximately 0.4-miles east of the intersection of Sand Hill Road (S.C.R. 319) and Lewes Georgetown Highway. 911 Address: 22242 Lewes Georgetown Highway,



Georgetown. Tax Parcels: 135-15.00-98.00 & 98.01.

Mr. Whitehouse advised the Commission that the Ordinance request was to amend the area designation on the Future Land Use Map from the Commercial Area to the Developing Area. Mr. Whitehouse advised the Commission that submitted into the record were the Application form, an Exhibit Map, a copy of the Ordinance introduced by the County Council on January 3, 2023, and a copy of the Applicant's statement made to PLUS. Mr. Whitehouse advised the Commission that no PLUS comments had been received regarding the Ordinance and the Ordinance is required to go through the new PLUS process.

Mr. Whitehouse advised the Commission that submitted into the record were the Applicant's Conceptual Site Plan, the Applicant's Exhibit Booklet, a letter from the Sussex County Engineering Department Utility Planning Division, the DelDOT Service Level Evaluation Response, the State's PLUS comments, the Applicant's response to the State's PLUS comments, a letter received from the Federal Aviation Administration, a letter received from Tidewater Utilities, Inc., and the Applicant's Assessment of Environmental Conditions.

Mr. Whitehouse advised the Commission that no comments were received for either Application.

The Commission found that Mr. James Fuqua, Esq., with Fuqua, Willard & Schab, P.A., spoke on behalf of the Applications Ord. 22-07 and C/U 2369 Leeward Chase DE, LLC in a combined presentation; that also present were Mr. Jack Hayes, Mr. Jason Palkewicz, and Mr. Edward Launay; that the Conditional Use Application requested the proposed use of multi-family dwellings, consisting of 106 units, within 53 duplex buildings; that the development is proposed to be called Leeward Chase; that the second Application is a request to amend the parcel's Future Land Use designation per the Comprehensive Plan from the Commercial Area designation to a Developing Area designation; that the parcel contains 50.79 acres; that the property is located on the southside of Rt. 9, being just east of the Town of Georgetown municipal boundary; that the site contains a wide variety of existing uses; that residential uses and woodlands are located to the west of the site; that Sussex Academy School is located to the west of the site; that residential homes are located to the north of the site; that a strip of C-1 (General Commercial) zoned land is located to the north, containing various businesses, which include Servepro, Dixie Construction Co. Inc., Delaware Home Health Care, Inc., and Techgas Inc.; that there are various other businesses within the surrounding area which were granted Conditional Uses; that to the east of the site is the location of the Route 9 Liquors; that the remaining eastern boundary of the site is adjacent to Sports at the Beach facility; that Sports at the Beach was previously approved as a Conditional Use as a baseball facility, geared toward youth baseball tournaments; that Sports at the Beach is approximately 100 acres, containing 16 baseball fields, welcome center, concession stands, an academy building and onsite accommodations for players and their families; that these accommodations include playgrounds, basketball courts and a swimming pool; that the southern boundary of the site will be adjacent to the future Lewes Georgetown Bike Trail; that the trail currently exists from Lewes to Fisher Rd.; that the first section of the trail, heading east from Georgetown, has been constructed; that once the trail is fully completed, pedestrians will have the ability to ride from Georgetown to Lewes or Rehoboth via the bike trail; that the bike trail is located adjacent, on the northernly side of the railroad right of way track; that the railroad right of way goes

from Georgetown to Gravel Hill; that the railroad track has been decommissioned from Lewes to Gravel Hill, however is currently in use; that there will be a security chain link fence placed between the bike trail and the rail line for security purposes; that on the other side of the railroad line is the location of the Delaware Coastal Airport, which is zoned Industrial; that the airport is owned and operated by Sussex County; that this area is surrounded by many uses involving, planes, trains, bikes, sports, commercial and residential uses; that the Leeward Chase project was reviewed through the PLUS process in March 2022; that a PLUS comment letter was issued by the Office of State Planning Coordination in April 2022; that the PLUS letter stated the property is located within Investment Levels 2 & 3 under the State Strategies Plan; that Investment Levels 2 & 3 are areas where growth is anticipated; that the PLUS comments state the property is located within a Growth Area under the Comprehensive Plan; that most, if not all, of the proposed site development will be located within Investment Level 2, which is an area where the State does support, encouraging a wide variety of uses, including departure from typical single-family developments in order to promote a broader mix of housing types with open space a recreational activities; that the Investment Level 3 areas contain wetlands, which will remain undisturbed; that the Application proposes 53 duplex buildings, which will contain 106 residential units; that the property is zoned AR-1 (Agricultural Residential); that multi-family dwellings, such as duplexes, are permitted within the AR-1 district as a Conditional Use in accordance with the provisions of the Zoning Ordinance in §115-22; that the site of a Conditional Use for multi-family units with AR-1 Zoning must be located within certain growth areas as designated by the Comprehensive Plan, being Town Center, Coastal and Developing Growth Areas; that the site is located within the Commercial Growth Area; that due to this, the Applicant additionally filed an application for a Future Land Use Designation Amendment, requesting the designation be changed from the Commercial Growth Area to the Developing Growth Area; that the majority of the land adjacent to and surrounding the site is currently located within the Developing Growth Area; that the requested change would be consistent and in character with the designations of the surrounding properties; that the Developing Area designation is a less intense classification than the existing Commercial Growth Area designation; that the Comprehensive Plan states, within Commercial Growth Areas can included concentrations of retail and service uses, which include shopping centers and other medium and large commercial uses, such as hotels, motels, car washes and auto dealerships; that the Developing Area designation would not permit the majority of the uses permitted in the Commercial Area; that the Developing designation offers a range of housing types, some office use and limited commercial uses within selected locations; that the Developing Area designation would result in a residential community, which would have much less potential for adverse impacts related to noise, lights, hours of operations and traffic; that the Future Land Use Map designates the property in the Commercial Area, however, the Zoning Map designates the property within AR-1; that the Zoning Ordinance states the developer of multi-family units, within an AR-1 zone, is permitted to pay a development fee for each unit requested in excess of two units per gross acre; that the site contains 50.797 acres; that the site, at two units to the acre, would support 101.594 units; that the Applicant is proposing 106 units, which is 4.406 units in excess of the permitted two units to the acre; that the Ordinance provides the required development fee within the Georgetown Developing Area is \$15,000.00; that if the Application were approved for the request 106 units, the Applicant would be responsible for paying the County a development fee of approximately \$66,090.00; that the required development fee is noted within the Applicant's proposed Conditions of Approval; that central sewer will be provided by Sussex County; that the development will have gravity sewer lines, which will

connect to an onsite pump station; that Sussex County Engineering Department indicated that wastewater capacity is available for the project; that originally the County suggested the Applicant contact the Town of Georgetown for sewer service; that the Town of Georgetown stated they would not have the ability to provide sewer services to the project; that central water service will be provided by Tidewater Utilities, Inc.; that an Ability to Serve Letter was provided by from Tidewater Utilities, Inc.; that service will require an expansion of Tidewater's franchise area to include the site; that stormwater management facilities will be designed and constructed in accordance with the DNREC Sediment and Erosion Control Regulations and will be reviewed and approved by the Sussex Conservation District; that a wetland delineation was performed on the site by Mr. Edward Launay of Environmental Resources, Inc.; that the delineation determined that the site contained 17.55 acres of Federal Jurisdictional Non-Tidal wetlands; that the wetlands are located on three site areas; that the wetland areas are located along the western boundary, the center of the site and a larger area along the south east boundary, within the wooded area of the site; that U.S. Army Corp of Engineers did provide approved Jurisdictional Determination; that the non-tidal wetland areas are forested and will remain undisturbed, except for a road crossing and a pedestrian trail crossing, proposed over a small area; that the road crossing is located along the line of trees located to the east of the property; that the proposed crossing would be constructed in accordance with the U.S. Army Corp regulations and authorized under existing law; that the Application was filed before the adoption of the newly adopted Buffer Resource Ordinance; that the Application would not be subject to the new Buffer Ordinance; that the Applicant is proposing a voluntary 30-ft. buffer to all of the non-tidal wetlands areas, except for the locations for the road and trail crossings; that the proposed 30-ft. buffer complies with the new Buffer Ordinance; that the property is located within Flood Zone X; that the Coastal Airport Area is located to the rear of the property; that the airport runway path goes over the Sports at the Beach property; that the subject site is not impacted by the airport runway path; that the Applicant did contact the Federal Aviation Administration (FAA), who conducted an Aeronautical Study; that the FAA did issue a Determination to No Hazard to Air Navigation Letter dated April 3, 2022; that the U.S. Fish & Wildlife Service indicated there were no federally listed species or critical habitats found on the site; that DelDOT indicated that based on traffic generation, the Application would be permitted to pay an Area Wide Study Fee in lieu of a Traffic Impact Study (TIS); that Rt. 9 physically meets the DelDOT road standards, with 12-ft travel lanes and 10-ft. shoulders; that no additional road improvements are required on Rt. 9; that the Applicant will dedicate a 50-ft right-of-way from the centerline of Rt. 9, along the site frontage, if the right of way does not currently exist; that the Applicant will dedicate a 15-ft. wide easement along the frontage right of way to DelDOT; that the Applicant will construct a shared use path along the frontage of Rt. 9; that the site is located within the Sussex Central School District; that the Georgetown Volunteer Fire Company will provide fire protection to the site; that the proposed density would be 2.08 per acre, which is consistent with the density permitted within the AR-1 Zoning District; that 60% of the units would be two-bedroom units, with a one vehicle garage; that 40% of the units would be three-bedroom units, with a two vehicle garage; that the entrance to the development is proposed from Rt. 9, from approximately the center of the site; that the entrance location will be reviewed and approved by DelDOT, being designed and constructed in conformity with DelDOT requirements; that the buildings, internal streets, and the stormwater facilities locations are reflected on the Preliminary Site Plan; that sidewalks are proposed on both sides of the development streets; that non-intrusive street lighting will be provided to the development; that the cul-de-sac roads offer turn around areas in appropriate locations; that additional

off-road parking is provided for the development; that a 10-ft. public shared use path is proposed along Rt. 9; that reinforced emergency-only access is proposed for the development; that a school bus stop is proposed along Rt. 9; that the location of the bus stop would be coordinated with the school district; that a centrally located recreational amenities area is proposed, which would contain an outdoor pool, bathhouse, meeting room building, and storage area; that the recreational amenities are proposed to be completed prior to the issuance of the 60th residential unit building permit, which would equal the 30th duplex building permit; that a trail will connect the units located to the rear of the site to the recreation area in the center of the site; that if permitted by DelDOT, an internal trail is proposed to connect the streets to the bike trail; that a 20-ft wide landscape buffer is proposed at appropriate locations along the perimeter of the property; that a 75-ft vegetated buffer is proposed along the site frontage along Rt. 9; that there will be a voluntary 30-ft buffer provided from the non-tidal wetlands; that the open space, which includes wetland areas, buffers and recreational areas, totals 35.9 acres of the site, being approximately 70% of the site; that the 70% is in excess of the 40% open space requirement per the Ordinance for a multi-family Conditional Use; that the project does provide for a use which is public or semi-public in character; that the project is essential and desirable to the general convenience and welfare of Sussex County residents; that the units are not proposed to be sold; that the development is planned to be a Residential Rental Community, which is also known as Build to Rent; that the proposed rentals should benefit the Affordable Housing issue; that the developer will be the owner of the property and all units; that the developer will be responsible for all maintenance, all repair, all management associated with the buildings, roads, recreational amenities, common areas, buffers etc.; that the development will be a Market Rate Rental Community; that residents will enter into a Residential Lease Agreement; that the developers business plan is based on the existing need for more affordable housing in the Georgetown area and the needs for employees working in the Lewes and Rehoboth Beach areas; that the Georgetown 2021 Comprehensive Plan stated that Georgetown recognized the importance of affordable housing and supported a balance of housing for all ages and incomes, including Workforce Housing; that Chapter 8 of the Sussex County 2019 Comprehensive Plan states a shortage of affordable housing is a problem for low and medium income households in Sussex County, including many families with full-time, year-round employment; that the County Comprehensive Plan states there is a particular shortage of affordable housing in eastern Sussex County and that a lot of the workforce have long commutes from eastern Sussex County; that additionally, the PLUS letter stated reviewed comments from the Delaware State Housing Authority indicated the need for additional housing, affordable to a broader spectrum of County residents is well documented and that additional market-rate, multi-family, rental units will provide a more affordable housing option to help mitigate the current housing insecurity; that the Delaware State Housing Authority is in support of the Application; that from a land use perspective, there is no distinction from a rental unit to a sold unit, however rental units are the Applicant's business plan; that should a situation arise, where the property would be sold in the future, it would be subject to the Delaware Condominium Law, where the responsibilities of the Developer would be taken over by a Condominium Association; that currently, there is no intent to establish a condominium regime; that with one owner, being the Developer, a condominium regime is not necessary; that there is a lack of housing; that it is very expensive to purchase a home in eastern Sussex County; that aside from the price of the home, a 20% down payment is required, a mortgage payment, property taxes, homeowners insurance and property maintenance; that the business plan proposes a person would have the ability to rent a modern home, with space, not having other residents located above or below them; that the

proposed duplexes will have a parting wall between them; that the two and three bedroom units will have yards and garages; that the Applicant believes the Conditional Use is appropriate as it is essential and desirable for the general convenience and welfare, providing an affordable housing option for Sussex County residents; that the proposed use is consistent with and responsive to the State and the County and Town of Georgetown Comprehensive Plans by addressing the current need for more affordable housing; that the location is surrounded by a wide range of existing uses, including residential, retail service businesses, sports complex, bike trail and airport; that the location is an appropriate place for the proposed use; that the proposed Future Land Use Map designation from Commercial Area to Developing Area would provide less intensive uses to the area and the Applicant requested the Commission recommend approval for the requested Applications.

Ms. Wingate stated she liked the proposal of rental units for the area, and she questioned if there were plans to have an onsite property manager.

Ms. Stevenson questioned how many parking spaces are provided for the development; that she had concerns regarding potential road parking, which may create difficulties for emergency personnel; that she expressed concern about the lighting from the Sports at the Beach facility spilling over onto the proposed homes; that she questioned if any measure is proposed to mitigate a lighting issue and she questioned the current market rate for a two-bedroom unit.

Mr. Fuqua stated the Applicant does propose to have an onsite resident manager; that the units will have one to two-vehicle garages, that up to four vehicles could fit in the driveway; that additional parking is provided in front of the recreational center and throughout the development; that the intention is to have no road parking for the development; that the proposed parking does meet the Code requirements; that the plan will be reviewed and approved by the Delaware Fire Marshal Office; that the Applicant can attempt to add additional parking to the proposed plan; that he believed the Sports at the Beach lighting are directional lights, specifically to the ball fields; that he did not believe there was anything that could be done to the sports facility lighting and he did not believe the ball games ran late in the evenings.

Mr. Jack Hayes stated he had spent a lot of time performing studies on the rental market, approximately a year apart; that the studies confirmed little to no vacancy; that the majority of the units constructed five to six years ago are full and have remained full; that there was little family-oriented homes offered; that the proposed housing product has been built very successfully in Florida, for younger families and for families requiring more affordable housing; that the study suggested a three-bedroom unit would rent approximately between \$1,700 and \$1,800 per month; that the monthly cost would include all exterior and lawn maintenance; that the smaller units would rent approximately between \$1,375 to \$1,400 per month; that there is a cost savings; that aside from a dividing wall, the units are essentially single-family units; that due to this, it allows for some cost savings, which allows them to be competitive; that proposed are annual rentals; that there is no intention to change the business plan to sell off as condominiums; that the intension is to hold the units, potentially refinance them with the Federal Housing Administration (FHA) 223 Program, placing the pool of mortgages in a certificate; that his partners have performed this many times before and the proposed use is a niche that is not being fulfilled in Sussex County currently.

Mr. Jason Palkewicz stated in regards to the lighting issue from Sports at the Beach, there are maintenance buildings, two ponds, and two hedge rows between the baseball fields and the subject property.

The Commission found there were two people present who wished to speak in opposition to the Application.

The Commission found that Mr. Raymond Hopkins spoke in opposition to the Application, also present was his wife, Ms. JoAnn Hopkins; that he and his wife own property, adjacent to Servepro, located directly across the street from the subject site; that his concern was to the potential traffic generated by the project; that many employees and customers enter and exit from Servepro and he requested the Commission consider traffic safety measures for the Servepro customers and employees.

The Commission found that Mr. Harry Larson, III, spoke in opposition to the Application; that his property is located adjacent to the subject site; that he was not in support of or in opposition to the Applications; that he wanted to ensure the Application is developed in the right way; that he is disheartened to see a development be placed, but understood, as it is the change of the times; that he had concerns regarding drainage and flooding; that he had experienced 14 inches of flooding around his house; that the ditch, located between his property and the subject site, relieves a lot of water; that a State representative previously informed him, that his property catches the majority of the water run off from the Sports at the Beach facility all the way down to the intersection of Rogers Avenue; that he would like to ensure the drainage situation be address; that additionally he requested consideration be given to the placement of an eight foot vinyl privacy fence, separating his property from the development; that within the last five years, traffic has become a nightmare; that the lighting from the Sports at the Beach facility lights up his backyard and he hears the National Anthem every Saturday and Sunday morning.

The Commission found that Ms. Jennifer Cinelli-Miller, with DelDOT Planning, provided neutral comment regarding the Applications; that her comments were not made in support or opposition to the Applications; that she wanted to remind the Commission and the Applicant that the DelDOT Coastal Corridors Study, which is the second joint effort between Sussex County and DelDOT, is still ongoing; that DelDOT is in the process of conducting State Corridors conversations with the Corridors Committee; that the Corridors Committee will be discussing U.S. 9 Corridor on February 13, 2023; that DelDOT anticipates to attend a public workshop later in the spring; that she estimates a final report will be available in late summer or early fall; that there is a lot needing to be done, in conjunction with the Applicant and DelDOT Development Coordination; that anything which may come out of the study, which may be a recommendation or plan for traffic improvements around the subject corridor would need to be adhered to; that the Applicant may be asked to contribute to potential changes or the implementation of future projects and the study is currently moving forward in a very positive way.

The Commission found there was no one present by teleconference who wished to speak in support or opposition to the Applications.

Upon there being no further questions, Chairman Wheatley closed the public hearings.

At the conclusion of the public hearings, the Commission discussed the Applications.

In relation to Ord. 22-07 related to Tax Parcels 135-15.00-98.00 & 98.01. Motion by Ms. Wingate to defer action for further consideration, seconded by Mr. Mears and carried unanimously. Motion carried 5-0.

Minutes of the February 23, 2023, Planning & Zoning Commission Meeting

The Commission discussed the Application which had been deferred since January 26th, 2023.

Ms. Wingate moved that the Commission recommend approval of Ordinance No. 22-07 to amend the Future Land Use Map in the current Sussex County Comprehensive Plan for Parcels 135-15.00-98.00 and 98.01, based on the record made during the public hearing and for the following reasons:

1. The parcel is currently designated as the Commercial Area according to the Future Land Use Map. This application seeks to convert the property to the “Developing Area” designation.
2. The Developing Area and Commercial Area are both “Growth Areas” according to the Comprehensive Plan, so this revision does not result in a substantial change to the Future Land Use Map.
3. The parcel has frontage on Route 9, which is an appropriate location for the Developing Area designation.
4. Although the site was originally given the Commercial Area designation in the Comprehensive Plan due to its proximity to the railroad, the County Industrial Park, Route 9, and Sports at the Beach, there has not been any movement to develop it commercially. The Developing Area designation is equally appropriate, since it will permit the property to be residentially developed at a location that is in close proximity to the Town of Georgetown and the employment opportunities and commercial uses.
5. This revision to the Future Land Use Map will not adversely affect neighboring properties, area roadways, or future land-use planning in the area.
6. There is central sewer and water available to the property.
7. No parties appeared in opposition to this Map Amendment.
8. This revision of the Future Land Use Map is appropriate given the particular circumstances involved at this location. When several factors like these exist, the consideration and approval of an amendment to the Future Land Use Map is appropriate.

Motion by Ms. Wingate, seconded by Mr. Mears and carried unanimously to recommend approval of ORD. 22-07 in relation to Tax Parcels 135-15.00-98.00 & 98.01 for the reasons stated in the motion. Motion carried 4-0.

Vote by roll call: Mr. Hopkins – yea, Ms. Wingate – yea, Mr. Mears – yea, Chairman Wheatley - yea

Introduced: 9/20/22

Council District 5: Mr. Rieley
Tax I.D. No. 135-15.00-98.00 & 98.01

ORDINANCE NO. _____

AN ORDINANCE TO AMEND THE FUTURE LAND USE MAP OF THE COMPREHENSIVE PLAN IN RELATION TO TAX PARCELS 135-15.00-98.00 & 98.01.

WHEREAS, on April 28, 2022, the Sussex County Planning and Zoning Office received an application for a Comprehensive Plan Amendment Request to amend the Future Land Use Map element of the Comprehensive Plan to change the Area designation of a portion of Sussex County Parcel Nos. 135-15.00-98.00 & 98.01 from the Commercial Area to the Developing Area; and

WHEREAS, the Parcel approximating 50.797 acres of land, lying and being within Georgetown Hundred, and located on the south side of Lewes Georgetown Highway (Route 1), approximately 0.4-miles east of the intersection of Sand Hill Road (S.C.R. 319) and Lewes Georgetown Highway.

WHEREAS, The Property is designated as being within the Commercial Area as set forth in the Future Land Use Map identified as Figure 4.5-1 in the 2018 Comprehensive Plan for Sussex County.

WHEREAS, Sussex County Council desires to adopt this Ordinance amending the Future Land Use Map of the Plan with minor amendments; and

WHEREAS, in accordance with the required process for public hearings on Ordinances such as this one, both Sussex County Council and the Sussex County Planning & Zoning Commission will hold public hearings on this Ordinance but limited in scope to this specific proposed amendment to the Future Land Use Map contained in the Plan.

NOW, THEREFORE, THE COUNTY OF SUSSEX HEREBY ORDAINS:

Section 1. The Future Land Use Map identified as Figure 4.5-1 of the Sussex County Comprehensive Plan is hereby amended to change the area designation of Sussex County Parcel Nos. 135-15.00-98.00 & 98.01 from the Commercial Area to the Developing Area. The entirety of Sussex County Parcel Nos. 135-15.00-98.00 & 98.01 so changed is identified in Exhibit A, attached hereto, and incorporated herein.

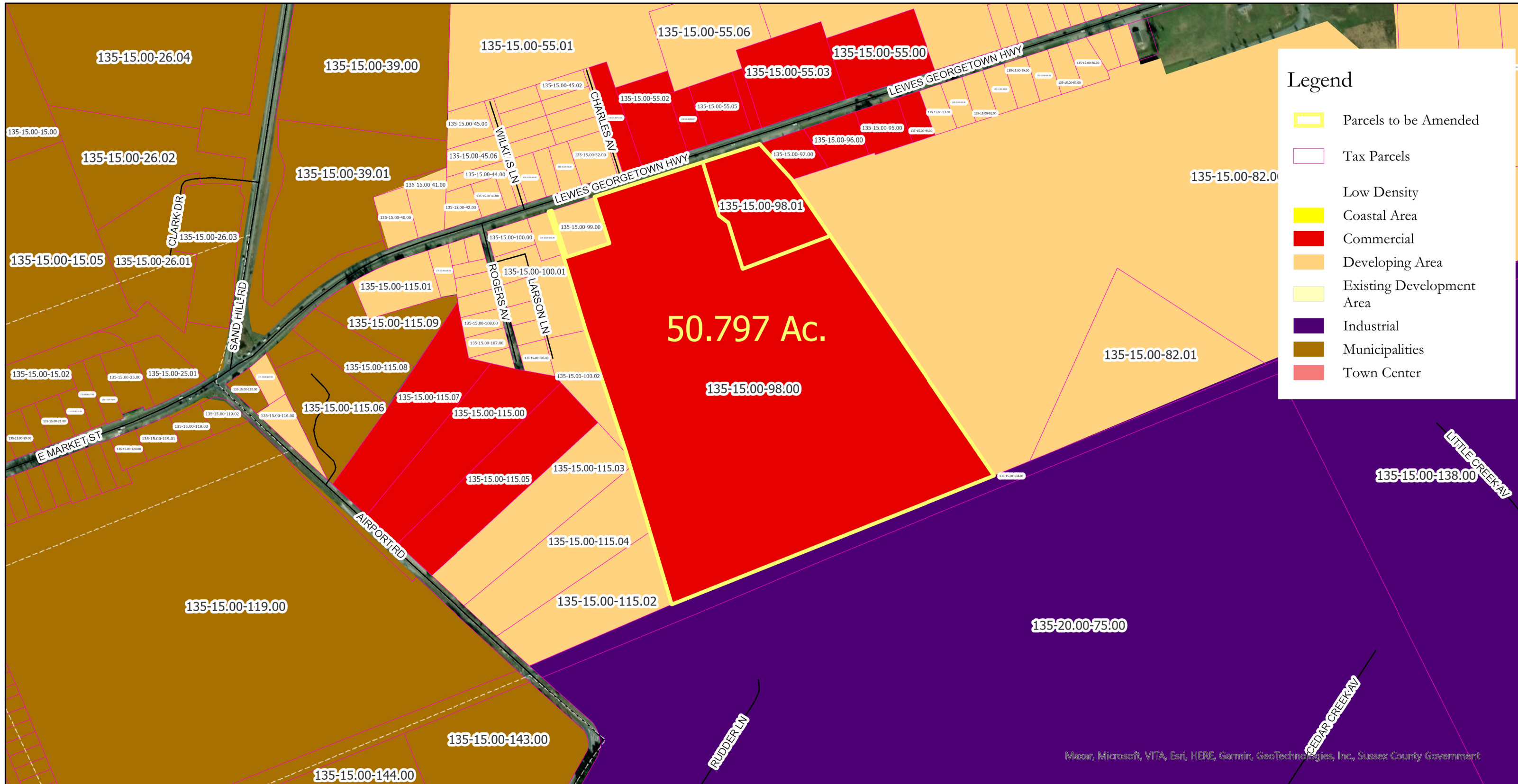
Section 2. This Ordinance shall also take effect following its adoption by majority vote of all members of the County Council of Sussex County, Delaware, and upon certification by the State of Delaware.

EXHIBIT A:

Potential Comprehensive Plan
Amendment Parcels



Sussex County



Legend

- Parcels to be Amended
- Tax Parcels
- Low Density
- Coastal Area
- Commercial
- Developing Area
- Existing Development Area
- Industrial
- Municipalities
- Town Center

50.797 Ac.

135-15.00-98.00

135-15.00-82.01

135-15.00-138.00

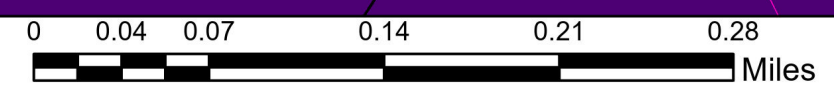
135-20.00-75.00

135-15.00-119.00

135-15.00-143.00

135-15.00-144.00

Maxar, Microsoft, VITA, Esri, HERE, Garmin, GeoTechnologies, Inc., Sussex County Government



JAMIE WHITEHOUSE, AICP
DIRECTOR OF PLANNING & ZONING
(302) 855-7878 T
pandz@sussexcountyde.gov



Sussex County

DELAWARE
sussexcountyde.gov

Memorandum

To: Sussex County Council
The Honorable Michael H. Vincent
The Honorable Cynthia C. Green
The Honorable Douglas B. Hudson
The Honorable John L. Rieley
The Honorable Mark G. Schaeffer

From: Jamie Whitehouse, AICP, Director of Planning & Zoning

CC: Everett Moore, County Attorney

Date: February 24, 2023

RE: County Council Report for C/U 2369 filed on behalf of Leeward Chase DE, LLC

The Planning and Zoning Department received an application (C/U 2369 filed on behalf of Leeward Chase, LLC) for a Conditional Use for parcels 135-15.00-98.00 and 98.01 for multi-family dwellings (106 units). The property is located at 22242 Lewes Georgetown Highway, Georgetown. The parcel size is 50.80 acres +/-.

The Planning & Zoning Commission held a Public Hearing on the application on January 26, 2023. At the meeting of February 23, 2023, the Planning & Zoning Commission recommended approval of the application for the 10 reasons stated and subject to the 19 recommended conditions as outlined within the motion (copied below).

Below are the minutes from the Planning & Zoning Commission meetings of January 26, 2023, and February 23, 2023.

Minutes of the January 26, 2023, Planning & Zoning Commission Meeting

Mr. Whitehouse advised the Commission that the Ordinance request was to amend the area designation on the Future Land Use Map from the Commercial Area to the Developing Area. Mr. Whitehouse advised the Commission that submitted into the record were the Application form, an Exhibit Map, a copy of the Ordinance introduced by the County Council on January 3, 2023, and a copy of the Applicant's statement made to PLUS. Mr. Whitehouse advised the Commission that no PLUS comments had been received regarding the Ordinance and the Ordinance is required to go through the new PLUS process.



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 417
GEORGETOWN, DELAWARE

C/U 2369 Leeward Chase DE, LLC

An Ordinance to grant a Conditional Use of land in an Agricultural Residential District for multi-family dwellings (106 units) to be located on a certain parcel of land lying and being in Georgetown Hundred, Sussex County, containing 50.80 acres, more or less. The properties are located on the south side of Lewes Georgetown Highway (Route 9), approximately 0.4-miles east of the intersection of Sand Hill Road (S.C.R. 319) and Lewes Georgetown Highway. 911 Address: 22242 Lewes Georgetown Highway, Georgetown. Tax Parcels: 135-15.00-98.00 & 98.01.

Mr. Whitehouse advised the Commission that submitted into the record were the Applicant's Conceptual Site Plan, the Applicant's Exhibit Booklet, a letter from the Sussex County Engineering Department Utility Planning Division, the DelDOT Service Level Evaluation Response, the State's PLUS comments, the Applicant's response to the State's PLUS comments, a letter received from the Federal Aviation Administration, a letter received from Tidewater Utilities, Inc., and the Applicant's Assessment of Environmental Conditions.

Mr. Whitehouse advised the Commission that no comments were received for either Application.

The Commission found that Mr. James Fuqua, Esq., with Fuqua, Willard & Schab, P.A., spoke on behalf of the Applications Ord. 22-07 and C/U 2369 Leeward Chase DE, LLC in a combined presentation; that also present were Mr. Jack Hayes, Mr. Jason Palkewicz, and Mr. Edward Launay; that the Conditional Use Application requested the proposed use of multi-family dwellings, consisting of 106 units, within 53 duplex buildings; that the development is proposed to be called Leeward Chase; that the second Application is a request to amend the parcel's Future Land Use designation per the Comprehensive Plan from the Commercial Area designation to a Developing Area designation; that the parcel contains 50.79 acres; that the property is located on the southside of Rt. 9, being just east of the Town of Georgetown municipal boundary; that the site contains a wide variety of existing uses; that residential uses and woodlands are located to the west of the site; that Sussex Academy School is located to the west of the site; that residential homes are located to the north of the site; that a strip of C-1 (General Commercial) zoned land is located to the north, containing various businesses, which include Servepro, Dixie Construction Co. Inc., Delaware Home Health Care, Inc., and Techgas Inc.; that there are various other businesses within the surrounding area which were granted Conditional Uses; that to the east of the site is the location of the Route 9 Liquors; that the remaining eastern boundary of the site is adjacent to Sports at the Beach facility; that Sports at the Beach was previously approved as a Conditional Use as a baseball facility, geared toward youth baseball tournaments; that Sports at the Beach is approximately 100 acres, containing 16 baseball fields, welcome center, concession stands, an academy building and onsite accommodations for players and their families; that these accommodations include playgrounds, basketball courts and a swimming pool; that the southern boundary of the site will be adjacent to the future Lewes Georgetown Bike Trail; that the trail currently exists from Lewes to Fisher Rd.; that the first section of the trail, heading east from Georgetown, has been constructed; that once the trail is fully completed, pedestrians will have the ability to ride from Georgetown to Lewes or Rehoboth via the bike trail; that the bike trail is located adjacent, on the northernly side of the railroad right of way track; that the railroad right of way goes from Georgetown to Gravel Hill; that the railroad track has been decommissioned from Lewes to Gravel Hill, however is currently in use; that there will be a security chain link fence placed between the bike trail and the rail line for security purposes; that on the other side of the railroad line is the

location of the Delaware Coastal Airport, which is zoned Industrial; that the airport is owned and operated by Sussex County; that this area is surrounded by many uses involving, planes, trains, bikes, sports, commercial and residential uses; that the Leeward Chase project was reviewed through the PLUS process in March 2022; that a PLUS comment letter was issued by the Office of State Planning Coordination in April 2022; that the PLUS letter stated the property is located within Investment Levels 2 & 3 under the State Strategies Plan; that Investment Levels 2 & 3 are areas where growth is anticipated; that the PLUS comments state the property is located within a Growth Area under the Comprehensive Plan; that most, if not all, of the proposed site development will be located within Investment Level 2, which is an area where the State does support, encouraging a wide variety of uses, including departure from typical single-family developments in order to promote a broader mix of housing types with open space a recreational activities; that the Investment Level 3 areas contain wetlands, which will remain undisturbed; that the Application proposes 53 duplex buildings, which will contain 106 residential units; that the property is zoned AR-1 (Agricultural Residential); that multi-family dwellings, such as duplexes, are permitted within the AR-1 district as a Conditional Use in accordance with the provisions of the Zoning Ordinance in §115-22; that the site of a Conditional Use for multi-family units with AR-1 Zoning must be located within certain growth areas as designated by the Comprehensive Plan, being Town Center, Coastal and Developing Growth Areas; that the site is located within the Commercial Growth Area; that due to this, the Applicant additionally filed an application for a Future Land Use Designation Amendment, requesting the designation be changed from the Commercial Growth Area to the Developing Growth Area; that the majority of the land adjacent to and surrounding the site is currently located within the Developing Growth Area; that the requested change would be consistent and in character with the designations of the surrounding properties; that the Developing Area designation is a less intense classification than the existing Commercial Growth Area designation; that the Comprehensive Plan states, within Commercial Growth Areas can included concentrations of retail and service uses, which include shopping centers and other medium and large commercial uses, such as hotels, motels, car washes and auto dealerships; that the Developing Area designation would not permit the majority of the uses permitted in the Commercial Area; that the Developing designation offers a range of housing types, some office use and limited commercial uses within selected locations; that the Developing Area designation would result in a residential community, which would have much less potential for adverse impacts related to noise, lights, hours of operations and traffic; that the Future Land Use Map designates the property in the Commercial Area, however, the Zoning Map designates the property within AR-1; that the Zoning Ordinance states the developer of multi-family units, within an AR-1 zone, is permitted to pay a development fee for each unit requested in excess of two units per gross acre; that the site contains 50.797 acres; that the site, at two units to the acre, would support 101.594 units; that the Applicant is proposing 106 units, which is 4.406 units in excess of the permitted two units to the acre; that the Ordinance provides the required development fee within the Georgetown Developing Area is \$15,000.00; that if the Application were approved for the request 106 units, the Applicant would be responsible for paying the County a development fee of approximately \$66,090.00; that the required development fee is noted within the Applicant's proposed Conditions of Approval; that central sewer will be provided by Sussex County; that the development will have gravity sewer lines, which will connect to an onsite pump station; that Sussex County Engineering Department indicated that wastewater capacity is available for the project; that originally the County suggested the Applicant contact the Town of Georgetown for sewer service; that the Town of Georgetown stated they would

not have the ability to provide sewer services to the project; that central water service will be provided by Tidewater Utilities, Inc.; that an Ability to Serve Letter was provided by from Tidewater Utilities, Inc.; that service will require an expansion of Tidewater's franchise area to include the site; that stormwater management facilities will be designed and constructed in accordance with the DNREC Sediment and Erosion Control Regulations and will be reviewed and approved by the Sussex Conservation District; that a wetland delineation was performed on the site by Mr. Edward Launay of Environmental Resources, Inc.; that the delineation determined that the site contained 17.55 acres of Federal Jurisdictional Non-Tidal wetlands; that the wetlands are located on three site areas; that the wetland areas are located along the western boundary, the center of the site and a larger area along the south east boundary, within the wooden area of the site; that U.S. Army Corp of Engineers did provide approved Jurisdictional Determination; that the non-tidal wetland areas are forested and will remain undisturbed, except for a road crossing and a pedestrian trail crossing, proposed over a small area; that the road crossing is located along the line of trees located to the east of the property; that the proposed crossing would be constructed in accordance with the U.S. Army Corp regulations and authorized under existing law; that the Application was filed before the adoption of the newly adopted Buffer Resource Ordinance; that the Application would not be subject to the new Buffer Ordinance; that the Applicant is proposing a voluntary 30-ft. buffer to all of the non-tidal wetlands areas, except for the locations for the road and trail crossings; that the proposed 30-ft. buffer complies with the new Buffer Ordinance; that the property is located within Flood Zone X; that the Coastal Airport Area is located to the rear of the property; that the airport runway path goes over the Sports at the Beach property; that the subject site is not impacted by the airport runway path; that the Applicant did contact the Federal Aviation Administration (FAA), who conducted an Aeronautical Study; that the FAA did issue a Determination to No Hazard to Air Navigation Letter dated April 3, 2022; that the U.S. Fish & Wildlife Service indicated there were no federally listed species or critical habitats found on the site; that DelDOT indicated that based on traffic generation, the Application would be permitted to pay an Area Wide Study Fee in lieu of a Traffic Impact Study (TIS); that Rt. 9 physically meets the DelDOT road standards, with 12-ft travel lanes and 10-ft. shoulders; that no additional road improvements are required on Rt. 9; that the Applicant will dedicate a 50-ft right-of-way from the centerline of Rt. 9, along the site frontage, if the right of way does not currently exist; that the Applicant will dedicate a 15-ft. wide easement along the frontage right of way to DelDOT; that the Applicant will construct a shared use path along the frontage of Rt. 9; that the site is located within the Sussex Central School District; that the Georgetown Volunteer Fire Company will provide fire protection to the site; that the proposed density would be 2.08 per acre, which is consistent with the density permitted within the AR-1 Zoning District; that 60% of the units would be two-bedroom units, with a one vehicle garage; that 40% of the units would be three-bedroom units, with a two vehicle garage; that the entrance to the development is proposed from Rt. 9, from approximately the center of the site; that the entrance location will be reviewed and approved by DelDOT, being designed and constructed in conformity with DelDOT requirements; that the buildings, internal streets, and the stormwater facilities locations are reflected on the Preliminary Site Plan; that sidewalks are proposed on both sides of the development streets; that non-intrusive street lighting will be provided to the development; that the cul-de-sac roads offer turn around areas in appropriate locations; that additional off-road parking is provided for the development; that a 10-ft. public shared use path is proposed along Rt. 9; that reinforced emergency-only access is proposed for the development; that a school bus stop is proposed along Rt. 9; that the location of the bus stop would be coordinated with the school

district; that a centrally located recreational amenities area is proposed, which would contain an outdoor pool, bathhouse, meeting room building, and storage area; that the recreational amenities are proposed to be completed prior to the issuance of the 60th residential unit building permit, which would equal the 30th duplex building permit; that a trail will connect the units located to the rear of the site to the recreation area in the center of the site; that if permitted by DelDOT, an internal trail is proposed to connect the streets to the bike trail; that a 20-ft wide landscape buffer is proposed at appropriate locations along the perimeter of the property; that a 75-ft vegetated buffer is proposed along the site frontage along Rt. 9; that there will be a voluntary 30-ft buffer provided from the non-tidal wetlands; that the open space, which includes wetland areas, buffers and recreational areas, totals 35.9 acres of the site, being approximately 70% of the site; that the 70% is in excess of the 40% open space requirement per the Ordinance for a multi-family Conditional Use; that the project does provide for a use which is public or semi-public in character; that the project is essential and desirable to the general convenience and welfare of Sussex County residents; that the units are not proposed to be sold; that the development is planned to be a Residential Rental Community, which is also known as Build to Rent; that the proposed rentals should benefit the Affordable Housing issue; that the developer will be the owner of the property and all units; that the developer will be responsible for all maintenance, all repair, all management associated with the buildings, roads, recreational amenities, common areas, buffers etc.; that the development will be a Market Rate Rental Community; that residents will enter into a Residential Lease Agreement; that the developers business plan is based on the existing need for more affordable housing in the Georgetown area and the needs for employees working in the Lewes and Rehoboth Beach areas; that the Georgetown 2021 Comprehensive Plan stated that Georgetown recognized the importance of affordable housing and supported a balance of housing for all ages and incomes, including Workforce Housing; that Chapter 8 of the Sussex County 2019 Comprehensive Plan states a shortage of affordable housing is a problem for low and medium income households in Sussex County, including many families with full-time, year-round employment; that the County Comprehensive Plan states there is a particular shortage of affordable housing in eastern Sussex County and that a lot of the workforce have long commutes from eastern Sussex County; that additionally, the PLUS letter stated reviewed comments from the Delaware State Housing Authority indicated the need for additional housing, affordable to a broader spectrum of County residents is well documented and that additional market-rate, multi-family, rental units will provide a more affordable housing option to help mitigate the current housing insecurity; that the Delaware State Housing Authority is in support of the Application; that from a land use perspective, there is no distinction from a rental unit to a sold unit, however rental units are the Applicant's business plan; that should a situation arise, where the property would be sold in the future, it would be subject to the Delaware Condominium Law, where the responsibilities of the Developer would be taken over by a Condominium Association; that currently, there is no intent to establish a condominium regime; that with one owner, being the Developer, a condominium regime is not necessary; that there is a lack of housing; that it is very expensive to purchase a home in eastern Sussex County; that aside from the price of the home, a 20% down payment is required, a mortgage payment, property taxes, homeowners insurance and property maintenance; that the business plan proposes a person would have the ability to rent a modern home, with space, not having other residents located above or below them; that the proposed duplexes will have a parting wall between them; that the two and three bedroom units will have yards and garages; that the Applicant believes the Conditional Use is appropriate as it is essential and desirable for the general convenience and welfare, providing an affordable housing option for

Sussex County residents; that the proposed use is consistent with and responsive to the State and the County and Town of Georgetown Comprehensive Plans by addressing the current need for more affordable housing; that the location is surrounded by a wide range of existing uses, including residential, retail service businesses, sports complex, bike trail and airport; that the location is an appropriate place for the proposed use; that the proposed Future Land Use Map designation from Commercial Area to Developing Area would provide less intensive uses to the area and the Applicant requested the Commission recommend approval for the requested Applications.

Ms. Wingate stated she liked the proposal of rental units for the area, and she questioned if there were plans to have an onsite property manager.

Ms. Stevenson questioned how many parking spaces are provided for the development; that she had concerns regarding potential road parking, which may create difficulties for emergency personnel; that she expressed concern about the lighting from the Sports at the Beach facility spilling over onto the proposed homes; that she questioned if any measure is proposed to mitigate a lighting issue and she questioned the current market rate for a two-bedroom unit.

Mr. Fuqua stated the Applicant does propose to have an onsite resident manager; that the units will have one to two-vehicle garages, that up to four vehicles could fit in the driveway; that additional parking is provided in front of the recreational center and throughout the development; that the intention is to have no road parking for the development; that the proposed parking does meet the Code requirements; that the plan will be reviewed and approved by the Delaware Fire Marshal Office; that the Applicant can attempt to add additional parking to the proposed plan; that he believed the Sports at the Beach lighting are directional lights, specifically to the ball fields; that he did not believe there was anything that could be done to the sports facility lighting and he did not believe the ball games ran late in the evenings.

Mr. Jack Hayes stated he had spent a lot of time performing studies on the rental market, approximately a year apart; that the studies confirmed little to no vacancy; that the majority of the units constructed five to six years ago are full and have remained full; that there was little family-oriented homes offered; that the proposed housing product has been built very successfully in Florida, for younger families and for families requiring more affordable housing; that the study suggested a three-bedroom unit would rent approximately between \$1,700 and \$1,800 per month; that the monthly cost would include all exterior and lawn maintenance; that the smaller units would rent approximately between \$1,375 to \$1,400 per month; that there is a cost savings; that aside from a dividing wall, the units are essentially single-family units; that due to this, it allows for some cost savings, which allows them to be competitive; that proposed are annual rentals; that there is no intention to change the business plan to sell off as condominiums; that the intension is to hold the units, potentially refinance them with the Federal Housing Administration (FHA) 223 Program, placing the pool of mortgages in a certificate; that his partners have performed this many times before and the proposed use is a niche that is not being fulfilled in Sussex County currently.

Mr. Jason Palkewicz stated in regards to the lighting issue from Sports at the Beach, there are maintenance buildings, two ponds, and two hedge rows between the baseball fields and the subject

property.

The Commission found there were two people present who wished to speak in opposition to the Application.

The Commission found that Mr. Raymond Hopkins spoke in opposition to the Application, also present was his wife, Ms. JoAnn Hopkins; that he and his wife own property, adjacent to Servepro, located directly across the street from the subject site; that his concern was to the potential traffic generated by the project; that many employees and customers enter and exit from Servepro and he requested the Commission consider traffic safety measures for the Servepro customers and employees.

The Commission found that Mr. Harry Larson, III, spoke in opposition to the Application; that his property is located adjacent to the subject site; that he was not in support of or in opposition to the Applications; that he wanted to ensure the Application is developed in the right way; that he is disheartened to see a development be placed, but understood, as it is the change of the times; that he had concerns regarding drainage and flooding; that he had experienced 14 inches of flooding around his house; that the ditch, located between his property and the subject site, relieves a lot of water; that a State representative previously informed him, that his property catches the majority of the water run off from the Sports at the Beach facility all the way down to the intersection of Rogers Avenue; that he would like to ensure the drainage situation be address; that additionally he requested consideration be given to the placement of an eight foot vinyl privacy fence, separating his property from the development; that within the last five years, traffic has become a nightmare; that the lighting from the Sports at the Beach facility lights up his backyard and he hears the National Anthem every Saturday and Sunday morning.

The Commission found that Ms. Jennifer Cinelli-Miller, with DelDOT Planning, provided neutral comment regarding the Applications; that her comments were not made in support or opposition to the Applications; that she wanted to remind the Commission and the Applicant that the DelDOT Coastal Corridors Study, which is the second joint effort between Sussex County and DelDOT, is still ongoing; that DelDOT is in the process of conducting State Corridors conversations with the Corridors Committee; that the Corridors Committee will be discussing U.S. 9 Corridor on February 13, 2023; that DelDOT anticipates to attend a public workshop later in the spring; that she estimates a final report will be available in late summer or early fall; that there is a lot needing to be done, in conjunction with the Applicant and DelDOT Development Coordination; that anything which may come out of the study, which may be a recommendation or plan for traffic improvements around the subject corridor would need to be adhered to; that the Applicant may be asked to contribute to potential changes or the implementation of future projects and the study is currently moving forward in a very positive way.

The Commission found there was no one present by teleconference who wished to speak in support or opposition to the Applications.

Upon there being no further questions, Chairman Wheatley closed the public hearings.

At the conclusion of the public hearings, the Commission discussed the Applications.

In relation to C/U 2369 Leeward Chase DE, LLC. Motion by Ms. Wingate to defer action for further consideration, seconded by Ms. Stevenson and carried unanimously. Motion carried 5-0.

Minutes of the February 23, 2023, Planning & Zoning Commission Meeting

The Commission discussed the Application which had been deferred since January 26th, 2023.

Ms. Wingate moved that the Commission recommend approval of C/U 2369 Leeward Chase DE, LLC for a Conditional Use to allow 106 multifamily dwellings, based upon the record made during the public hearing and for the following reasons:

1. The property is zoned AR-1 Agricultural Residential. The property is in the vicinity of the Town of Georgetown, other residential developments, schools, commercial uses and a large sports complex. This is an appropriate location for this Conditional Use.
2. The Applicant seeks approval of duplex-style multi-family structures. The Comprehensive Plan states that this type of development is appropriate in areas near main roadways, near commercial areas and employment centers, and with central water and sewer. All of the considerations are satisfied here. This use is also consistent with the Town of Georgetown's 2021 Comprehensive Plan.
3. The proposed development will have no more than 106 homes on 50.80 acres. The Applicant will be required to contribute bonus density funds for each unit above the base density of two units per acre.
4. The County Engineering Department has indicated that adequate wastewater capacity is available for this site. Central water will also be provided.
5. DelDOT has determined that the project will have a minor impact upon area roadways.
6. The Applicant is providing a buffer of at least thirty feet from all non-tidal wetlands and the development will include approximately 35.98 acres of open space, which represents approximately 70% of the site.
7. The project will not adversely affect the neighborhood or surrounding community. There are existing land uses in the immediate area with similar or more intensive characteristics.
8. The Commission has recommended that the Future Land Use Map for this property be changed from Commercial Area designation to a Developing Area designation. Development such as this Multifamily Conditional Use is appropriate in the Developing Area according to the Plan.
9. The Applicant has favorably addressed the items set forth in Section 99-9C of the Subdivision Code.
10. With the conditions and stipulations placed upon it, this residential Conditional Use is appropriate for this location.
11. This recommendation is subject to the following conditions:

- A. There shall be no more than 106 dwelling units within this project. The Applicant shall be required to pay the bonus density fee for each unit that exceeds two (2) units per acre as required by Section 115-25 of the Sussex County Zoning Code.
- B. The Applicant shall comply with the requirements of Section 115-22 “Conditional Uses” regarding a multifamily conditional use in the AR-1 Zoning District.
- C. A condominium association shall be formed to provide for the perpetual maintenance, repair and replacement of buffers, stormwater management facilities, streets, amenities, and other common areas.
- D. All entrances, intersections, roadways, and multi-modal improvements required by DelDOT shall be completed in accordance with DelDOT’s requirements.
- E. The development shall be served by Sussex County sewer and comply with all requirements of the County Engineering Department.
- F. The development shall be served by central water.
- G. Stormwater management and erosion and sedimentation control facilities shall be constructed in accordance with all applicable State and County requirements. These facilities shall be operated in a manner that is consistent with Best Management Practices.
- H. Interior street design shall comply with or exceed Sussex County standards. Sidewalks shall be installed on both sides of the interior streets. All streetlighting shall be directed downward so that it does not shine on neighboring properties or roadways.
- I. All recreational amenities shall be shown on the Final Site Plan. They shall be open for use prior to the issuance of the 30th duplex building permit or the 60th unit.
- J. A 20-foot wide vegetated or forested buffer shall be established along the perimeter of the site. This buffer shall utilize existing forest or similar vegetation where it is currently present in the buffer area. Where trees currently exist in the buffer area, stump removal or construction activities that disturb the existing grade of the area within the buffer shall be prohibited. All silt fencing shall be located along the interior edge of the buffer area (the edge of the buffer nearest the interior development) and the Final Site Plan shall identify the “Limit of Disturbance” to prevent disturbance of the buffer area.
- K. As proffered by the Applicant, there shall be a minimum setback from nontidal wetlands of at least 30 feet. Where trees currently exist in the buffer area, stump removal or construction activities that disturb the existing grade of the area within the buffer shall be prohibited unless indicated on the Final Site Plan. All silt fencing shall be located along the interior limit of this buffer area (the edge of the buffer nearest the interior development) and the Final Site Plan shall identify the “Limit of Disturbance” to prevent disturbance of buffer area except as noted on the Final Site Plan.
- L. If requested by the local school district, a school bus stop shall be provided by the entrance to the development. The location of the bus stop area shall be shown on the Final Site Plan.
- M. Road naming and addressing shall be subject to the review and approval of Sussex County Geographic Information Office.

- N. The Final Site Plan shall contain the approval of the Sussex Conservation District for the design and location of all stormwater management areas and erosion and sedimentation control facilities.
- O. The Final Site Plan shall include a landscape plan confirming all landscaping to be provided, the preservation of all buffer areas and the forested areas that will be preserved. The landscape plan shall also identify all “Limits of Disturbance” within the site.
- P. Given the proximity to the nearby airport, the Applicant shall comply with all applicable requirements of the Federal Aviation Administration regarding the development, construction, and use of the project.
- Q. The Final Site Plan shall include a grading plan that shall be submitted to County Staff for review and approval.
- R. Construction, site work, grading, and deliveries of construction materials shall only occur from Monday through Saturday and only between the hours of 7:00a.m. and 6:00p.m. A 24 inch by 36 inch “NOTICE” sign in English and Spanish confirming these hours shall be prominently displayed at all entrances to the site during constructions.
- S. The Final Site Plan shall be subject to the review & approval of the Sussex County Planning & Zoning Commission.

Motion by Ms. Wingate, seconded by Mr. Mears and carried unanimously to recommend approval of C/U 2369 Leeward Chase DE, LLC for the reasons and conditions stated in the motion. Motion carried 4-0.

Vote by roll call: Mr. Hopkins – yea, Ms. Wingate – yea, Mr. Mears – yea, Chairman Wheatley - yea

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY J. WINGATE



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DIRECTOR OF PLANNING & ZONING

PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET

Planning Commission Public Hearing Date: January 26th, 2023

Application: C/U 2369 – Leeward Chase DE, LLC

Applicant: Leeward Chase DE, LLC (Attn: Jack Haese)
448 Viking Drive, Suite 220
Virginia Beach, VA 23452

Owner: Moores Meadowood Farm, LLC
P.O. Box 447
Georgetown, DE 19947

Site Location: Lying on the south side of Lewes Georgetown Highway (Route 9)
approximately 0.4 mile east of Airport Road (S.C.R. 319).

Current Zoning: Agricultural Residential (AR-1) Zoning District

Proposed Use: Multi-family Dwellings

Comprehensive Land
Use Plan Reference: Developing Area (Pending FLUM Ord. 22-07)

Councilmanic
District: Ms. Rieley

School District: Indian River School District

Fire District: Georgetown Fire Department

Sewer: Sussex County

Water: Private on-site

Site Area: 50.8 acres +/-

Tax Map ID: 135-15.00-98.00 & 98.01



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Sussex County

DELAWARE
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Memorandum

To: Sussex County Planning Commission Members
From: Mr. Michael Lowrey, Planner III
CC: Mr. Vince Robertson, Assistant County Attorney and Applicant
Date: December 27, 2022
RE: Staff Analysis for C/U 2369 Leeward Chase DE, LLC

This memo is to provide background and analysis for the Planning Commission to consider as a part of application C/U 2369 Leeward Chase DE, LLC to be reviewed during the January 26th, 2023, Planning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

The request is for a Conditional Use for Tax Parcels: 135-15.00-98.00 & 135-15.00-98.01 to allow for multi-family dwellings (106 units). The properties are located on the south side of Lewes Georgetown Highway (Route 9), approximately 0.4-miles east of the intersection of Sand Hill Road (S.C.R. 319) and Lewes Georgetown Highway. The parcels are comprised of a total of 50.797 acres +/-.

Comprehensive Plan Analysis

The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework of how land is to be developed. As part of the Comprehensive Plan, a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use Map in the plan indicates that the parcels have a Growth Area designation of "Commercial Area." The adjacent parcels to the east and north of the subject property on the Route 9 corridor also have the Future Land Use Map (FLUM) designation of "Commercial Area." The properties adjacent to the south have the "Industrial" category designation and the parcels to the east on Route 9 and adjacent to the southeast are categorized "Developing Area."

In conjunction with this Conditional Use Application, the Applicant has applied for a Comprehensive Plan Amendment to amend the FLUM category from "Commercial" to "Developing Area" for the subject parcels. The current Agricultural Residential (AR-1) Zoning District is listed as an Applicable Zoning District for both "Commercial" and "Developing Area" under Table 4.5-2 in the Plan.

Developing Areas are newer, emerging growth areas that demonstrate the characteristics of developmental pressures and the Plan notes that "most of the proposed Developing Areas are adjacent to municipalities...or adjacent to Town Centers" (2018 Sussex County Comprehensive Plan, 4-14). The Plan also notes guidelines for density in areas classified Developing Area, noting that a "density (4-12 units per acre) can be appropriate" where development can be supported by central water/sewer, a proximity to commercial and employment centers, or location along a main road or intersection (2018 Sussex County Comprehensive Plan, 4-14). Finally, the Plan notes that



“a range of housing types should be permitted in Developing Areas, including single-family homes, townhouses, and multi-family units.” (2018 Sussex County Comprehensive Plan, 4-14). Under the guidelines in the Plan, if the Applicant’s FLUM amendment were to be approved by County Council, the proposed Conditional Use to permit (106 units) multi-family dwellings could be seen as appropriate at this site.

Zoning Information

The subject parcels are zoned Agricultural Residential (AR-1) District. The adjacent properties to the north are zoned General Commercial (C-1) District with the remainder of the adjacent parcels to the west, south and east and west zoned Agricultural Residential (AR-1) District.

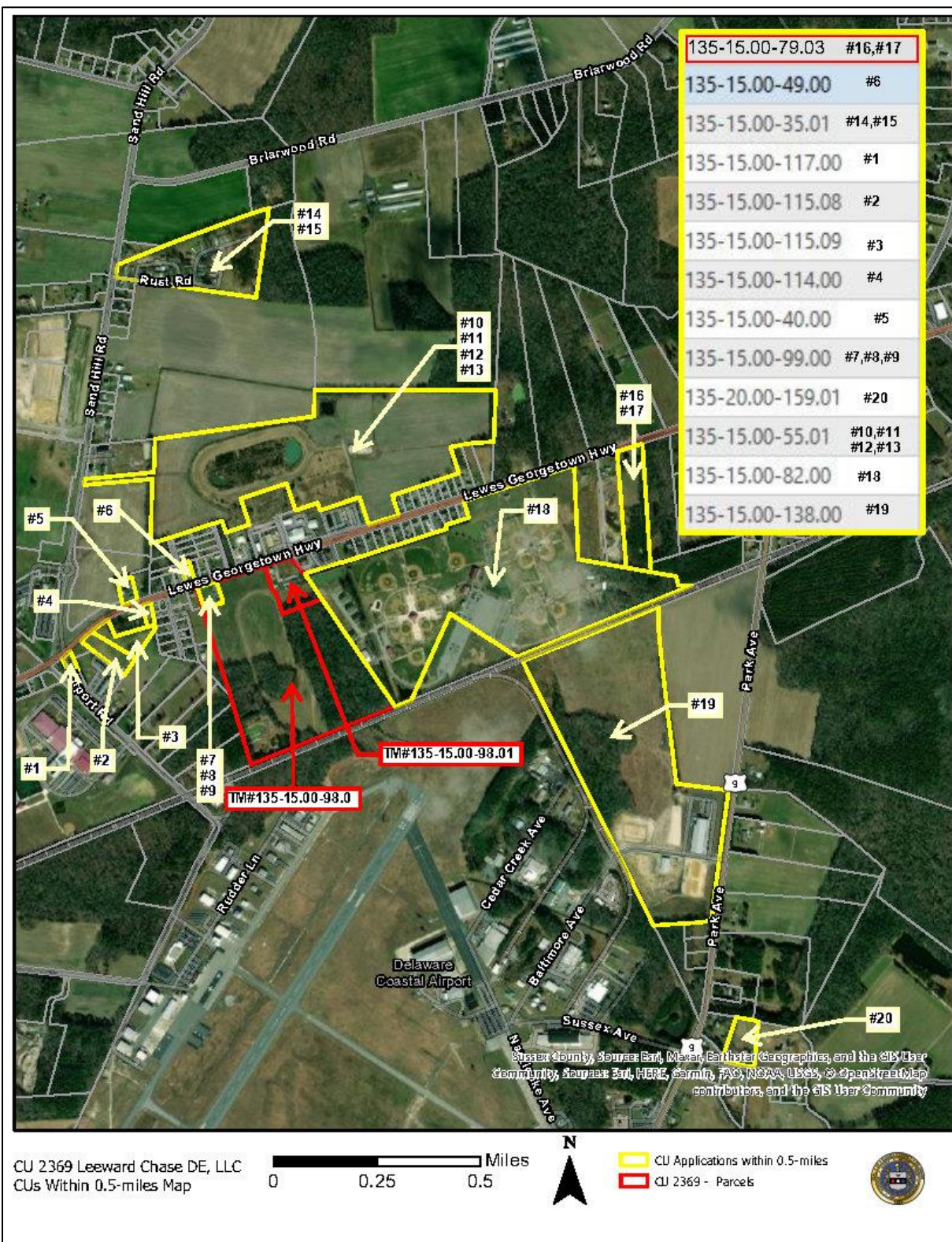
Conditional Use Applications within the Vicinity of the Subject Site
 (Within a 0.5-mile radius of the subject site)

Change of Zone Applications (Within a 0.5-mile radius of the subject site)							
Item # on Attached Map	Application Number	Application Name	Zoning District	Proposed Use	CC Decision	CC Decision Date	Ordinance Number
#1	<u>CU 1515</u>	Robin David Reifsnyder	AR-1	Classroom/studio pottery & crafts	Denied	1/13/2004	N/A
#2	<u>CU 1241</u>	Carlton R. Moore	AR-1	Mini Storage	Approved	5/12/1998	Ord. No. 1234
#3	<u>CU 1287</u>	Ken Shapter	AR-1	Mini Storage	Denied	6/15/1999	N/A
#4	<u>CU 979</u>	Clifford A. & Florence E. Moore	AR-1	Gift shop & yard sale	Withdrawn	8/27/1991	N/A
#5	<u>CU 2119</u>	Chad Hayes	AR-1	Automotive sales w/ minor repair & contractor office w/ storage	Approved	04/17/2018	Ord. No. 2571

#6	<u>CU 2412</u>	Marco Morales	AR-1	Professional Office for Construction	Pending	N/A	N/A
#7	<u>CU 1532</u>	Triangle Electrical Service Co.	AR-1	Office/Storage	Approved	05/04/2004	Ord. No. 1687
#8	<u>CU 991</u>	James R. & Barbara DeBastiani	AR-1	Manufacture & Sell Crafts/Gifts	Approved	02/02/2016	Ord. No. 808
#9	<u>CU 1814</u>	Calvin Nelson	AR-1	Auto repair shop	Denied	02/02/2010	N/A
#10	<u>CU 2080</u>	Clean Bay Renewables, LLC Sussex I	AR-1	Electrical generation and nutrient recovery facility	Withdrawn	7/18/2017	N/A
#11	<u>CU 2079</u>	Clean Bay Renewables, LLC Sussex I	AR-1	Electrical generation and nutrient recovery facility	Withdrawn	7/18/2017	N/A
#12	<u>CU 421</u>	Tri-State Racing Inc	AR-1	Dog Racing	Denied	5/2/1978	N/A
#13	<u>CU 2228</u>	M.L. Joseph Heirs Farm Account, LLC	AR-1	Campground	Approved	11/17/2020	Ord. No. 2755
#14	<u>CU 225</u>	Marshall B Wilkins	AR-1	Addition to Existing Mobile Home Park	Approved	7/30/1974	Ord. No.
#15	<u>CU 349</u>	Marshall B Wilkins	AR-1	Addition to Existing Mobile Home Park	Approved	6/1/1976	Ord. No.

#16	<u>CU 2083</u>	Richard H. Bell, III	AR-1	Contracting business w/outdoor storage & crushing of concrete	Approved	8/8/2017	Ord. No. 2515
#17	<u>CU 1688</u>	Richard H. Bell, III	AR-1	Contracting Business	Approved	7/24/2007	Ord. No. 1913
#18	<u>CU 1421</u>	Wallace P. Townsend, Jr.	AR-1 & CR-1	Athletic Facility	Approved	11/27/2001	Ord. No. 1421
#19	<u>CU 1705</u>	The Commonwealth Group (King Farm Industrial Park)	AR-1	Warehousing, Mini Storage & Contractor Condominiums	Approved	10/2/2007	Ord. No. 1421
#20	<u>CU 2182</u>	Samuel G. Thomas	AR-1	Automotive repair and dealer	Approved	9/17/2019	Ord. No. 2679

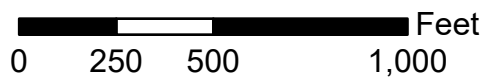
Based on the analysis of the land use, surrounding zoning and uses, a Conditional Use to allow for the construction of multi-family dwellings (106 units) at this site, subject to considerations of scale and impact, could be considered as being consistent with the land use, area zoning and surrounding uses.

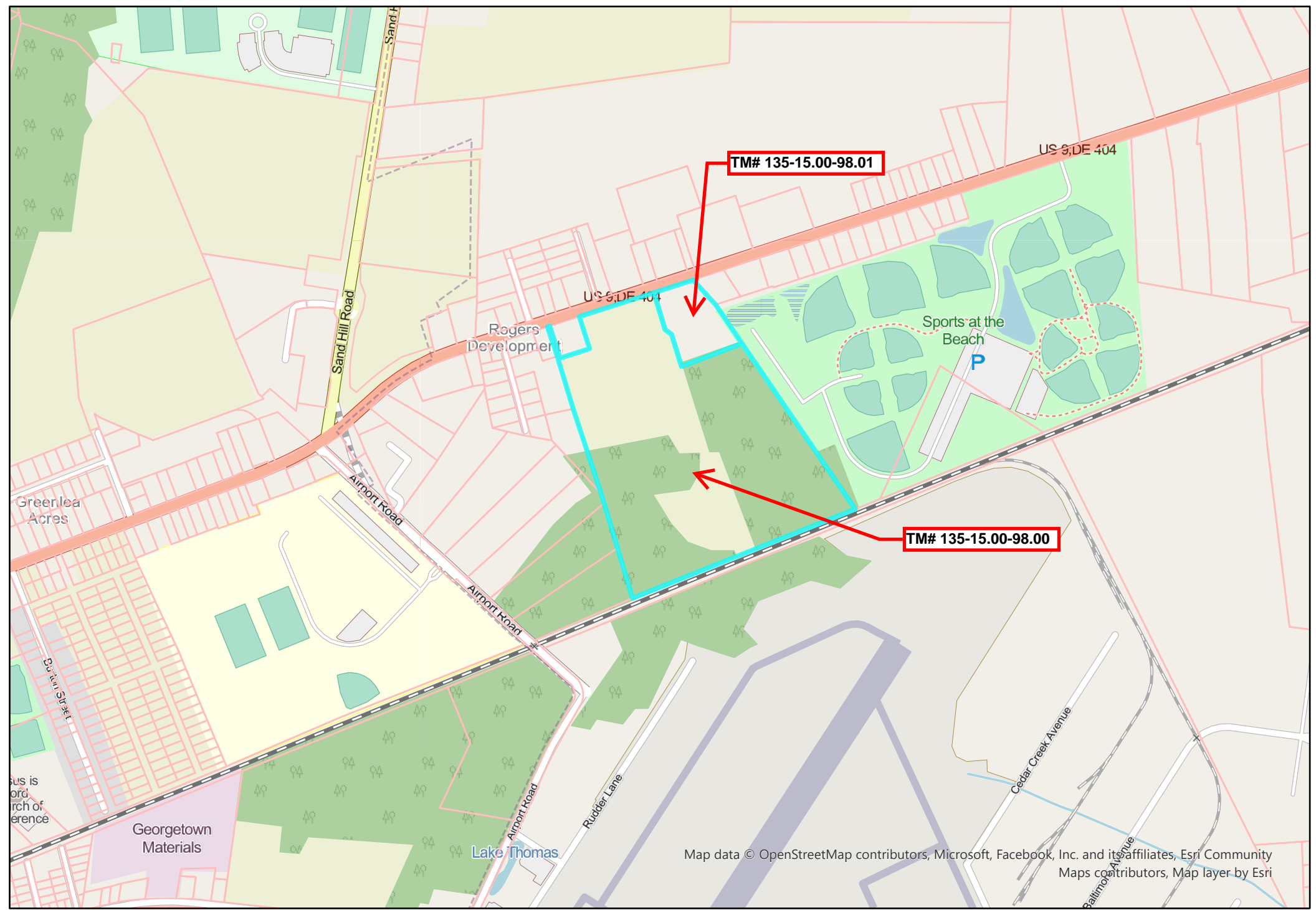




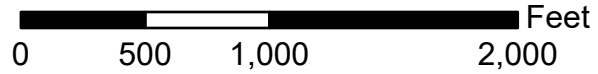
Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community, Sources: Esri, HERE, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

Aerial Map
CU 2369 -Leeward Chase, LLC
P&Z Meeting - 01/26/2023


























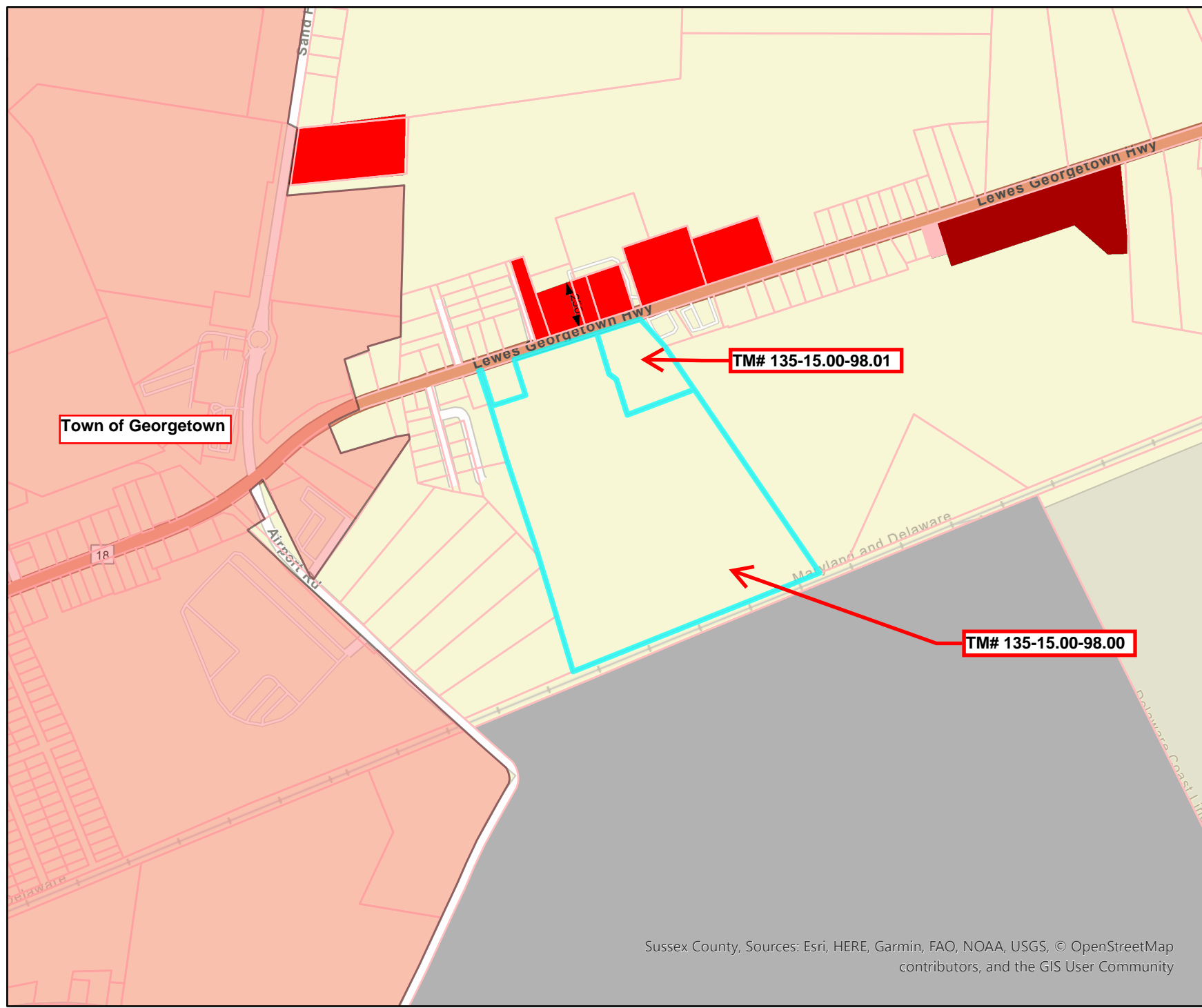
Street Map
CU 2369 -Leeward Chase, LLC
P&Z Meeting - 01/26/2023



Map data © OpenStreetMap contributors, Microsoft, Facebook, Inc. and its affiliates, Esri Community Maps contributors, Map layer by Esri

Zoning

-  Agricultural Residential - AR-1
-  Agricultural Residential - AR-2
-  Medium Residential - MR
-  General Residential - GR
-  High Density Residential - HR-1
-  High Density Residential - HR-2
-  Vacation, Retire, Resident - VRP
-  Neighborhood Business - B-1
-  Neighborhood Business - B-2
-  Business Research - B-3
-  General Commercial - C-1
-  General Commercial - C-2
-  General Commercial - C-3
-  General Commercial - C-4
-  General Commercial - C-5
-  Commercial Residential - CR-1
-  Institutional - I-1
-  Marine - M
-  Limited Industrial - LI-1
-  Light Industrial - LI-2
-  Heavy Industrial - HI-1



Sussex County, Sources: Esri, HERE, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

Zoning Map
 CU 2369 -Leeward Chase, LLC
 P&Z Meeting - 01/26/2023



Introduced: 1/3/23

Council District 5: Mr. Rieley
Tax I.D. No. 135-15.00-98.00 & 98.01
911 Address N/A & 22242 Lewes Georgetown Highway, Georgetown

ORDINANCE NO. ____

AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AGRICULTURAL RESIDENTIAL DISTRICT FOR MULTI-FAMILY DWELLINGS (106 UNITS) TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN GEORGETOWN HUNDRED, SUSSEX COUNTY, CONTAINING 50.80 ACRES, MORE OR LESS

WHEREAS, on the 28th day of April 2022, a conditional use application, denominated Conditional Use No. 2369 was filed on behalf of Leeward Chase DE, LLC; and

WHEREAS, on the ____ day of _____ 2023, a public hearing was held, after notice, before the Planning and Zoning Commission of Sussex County, and said Planning and Zoning Commission recommended that Conditional Use No. 2369 be _____; and

WHEREAS, on the ____ day of _____ 2023, a public hearing was held, after notice, before the County Council of Sussex County and the County Council of Sussex County determined, based on the findings of facts, that said conditional use is in accordance with the Comprehensive Development Plan and promotes the health, safety, morals, convenience, order, prosperity and welfare of the present and future inhabitants of Sussex County, and that the conditional use is for the general convenience and welfare of the inhabitants of Sussex County.

NOW, THEREFORE, THE COUNTY OF SUSSEX HEREBY ORDAINS:

Section 1. That Chapter 115, Article IV, Subsection 115-22, Code of Sussex County, be amended by adding the designation of Conditional Use No. 2369 as it applies to the property hereinafter described.

Section 2. The subject property is described as follows:

ALL that certain tract, piece, or parcel of land, lying and being situated in Georgetown Hundred, Sussex County, Delaware, and located on the south side of Lewes Georgetown Highway (Route 9), approximately 0.4-miles east of the intersection of Sand Hill Road (S.C.R. 319) and Lewes Georgetown Highway and being more particularly described in the attached legal description prepared by Solutions Integrated Planning Engineering & Management, LLC, said parcel containing 50.80 acres, more or less.

This Ordinance shall take effect immediately upon its adoption by a majority vote of all members of the County Council of Sussex County, Delaware.