

Sussex County Council Public/Media Packet

**MEETING:
June 6, 2023**

****DISCLAIMER****

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**Sussex County Council
2 The Circle | PO Box 589
Georgetown, DE 19947
(302) 855-7743**

COUNTY COUNCIL

MICHAEL H. VINCENT, PRESIDENT
JOHN L. RIELEY, VICE PRESIDENT
CYNTHIA C. GREEN
DOUGLAS B. HUDSON
MARK G. SCHAEFFER



Sussex County

DELAWARE
sussexcountyde.gov
(302) 855-7743

SUSSEX COUNTY COUNCIL

A G E N D A

JUNE 6, 2023

10:00 A.M.

***AMENDED on June 2, 2023 at 12:15 p.m.¹**

Call to Order

Approval of Agenda

Approval of Minutes – May 23, 2023

Reading of Correspondence

Public Comments

Consent Agenda

1. Proclamation Request – Cape Henlopen Boys Volleyball Team State Championship

Presentation – Sarah Carter and Dan Cruce, United Way of Delaware

Todd Lawson, County Administrator

1. Recognition of the SCEMS Team for the 2023 JEMS Games Gold Medal
2. Administrator's Report

Gina Jennings, Finance Director

1. Pension Update and Recommendation to Change Investment Policy Statements
2. Auditing Services RFP Results and Possible Award



3. ARPA Non-Profit Grant Program Recommendation

Hans Medlarz, County Engineer

- 1. South Coastal WRF Treatment Process Upgrade No. 3 & Rehoboth Beach WTP Capital Improvement Program, Phase 2**
 - A. General Construction, Project C19-11, Change Order 28**
- 2. EMS Public Safety Building – Project C19-04**
 - A. Change Order No. 25 & Close-out**
- 3. Mulberry Knoll Sewer Collection System, Project S20-22**
 - A. Change Order No. 1**
 - B. Granting of Substantial Completion**
- 4. South Coastal Library Roof Top Unit Replacement**
 - A. Recommendation to Award**
- 5. Cannon Road – Inland Bays Road Drainage Improvements and Constructed Wetlands, Project S22-05**
 - A. Change Order 1**

Old Business

Conditional Use No. 2336 filed on behalf of Community Power Group, LLC

“AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR A SOLAR FARM TO BE LOCATED ON A PORTION OF A CERTAIN PARCEL OF LAND LYING AND BEING IN BROAD CREEK HUNDRED, SUSSEX COUNTY, CONTAINING 25.012 ACRES, MORE OR LESS” (property lying on the north side of Woodland Ferry Road [S.C.R. 78] 0.15 mile east of the intersection of Woodland Ferry Road [S.C.R. 78] and Bethel Road [S.C.R. 493] and on the east side of Bethel Road [S.C.R. 493] 0.2 mile north of the intersection of Woodland Ferry Road [S.C.R. 78] and Bethel Road [S.C.R. 493]) (911 Address: N/A) (Tax Parcel: 232-5.00-11.03 [p/o])

Grant Requests

- 1. True Blue Jazz, Inc. for their 11th Anniversary True Blue Jazz Festival for operating expenses**
- 2. Greenwood Police Department for their Night Out event**
- 3. Slaughter Neck Community Action Organization, Inc. for their Senior Center program**
- 4. Eastern Shore AFRAM Festival Inc. for their annual festival**

Introduction of Proposed Zoning Ordinances

Council Members' Comments

Executive Session – Land Acquisition and Pending/Potential Litigation pursuant to 29 Del.C.§10004(b)

Possible action on Executive Session items

1:30 p.m. Public Hearings

Conditional Use No. 2353 filed on behalf of Sussex CSG 2, LLC

“AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR A SOLAR FARM TO BE LOCATED ON A 14.64 ACRE PORTION OF A CERTAIN PARCEL OF LAND LYING AND BEING IN DAGSBORO HUNDRED, SUSSEX COUNTY, CONTAINING 28.09 ACRES, MORE OR LESS” (properties lying on the south side of Gum Tree Road [S.C.R. 405], the west side of DuPont Boulevard [Rt. 113], and the north side of Blueberry Lane [S.C.R. 402]) (911 Address: N/A) (Tax Map Parcels: 433-6.00-18.00, 20.00 & 26.00)

Conditional Use No. 2354 filed on behalf of Sussex CSG 1, LLC

“AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR A SOLAR FARM TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN LITTLE CREEK HUNDRED, SUSSEX COUNTY, CONTAINING 23.58 ACRES, MORE OR LESS” (property lying on the south side of Old Racetrack Road [S.C.R. 502], approximately 0.75 mile east of Delmar Road [Route 54]) (911 Address: N/A) (Tax Map Parcel: 532-20.00-14.00)

Conditional Use No. 2372 filed on behalf of Augusto Morales Morales

“AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR A LANDSCAPING BUSINESS TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN NANTICOKE HUNDRED, SUSSEX COUNTY, CONTAINING 5.00 ACRES, MORE OR LESS” (property lying on the west side of Cedar Corners Road [S.C.R. 638], approximately 0.8 mile south of Redden Road [Rt. 40]) (911 Address: 17490 Cedar Corners Road, Bridgeville) (Tax Map Parcel: 430-17.00-62.00)

Conditional Use No. 2391 filed on behalf of M.R.O. Auto Repair, LLC

“AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR AN AUTO REPAIR SHOP TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN GEORGETOWN HUNDRED, SUSSEX COUNTY, CONTAINING 0.46 ACRES, MORE OR LESS” (property lying on the northeast side of Cedar Lane [S.C.R. 318], approximately 950 ft. southeast of Wood Branch Road [S.C.R. 321]) (911 Address: 22491 Cedar Lane, Georgetown) (Tax Map Parcel: 135-20.00-142.00)

Change of Zone No. 1986 filed on behalf of JKJ Properties, LLC

“AN ORDINANCE TO AMEND THE COMPREHENSIVE ZONING MAP OF SUSSEX COUNTY FROM AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT TO A C-2 MEDIUM COMMERCIAL DISTRICT FOR A CERTAIN PARCEL OF LAND LYING AND BEING IN CEDAR CREEK HUNDRED, SUSSEX COUNTY, CONTAINING 1.22 ACRES, MORE OR LESS” (property lying on the north side of Johnson Road [S.C.R. 207], approximately 0.12 mile east of DuPont Boulevard [Rt. 113]) (911 Address: 18017 & 18033 Johnson Road, Lincoln) (Tax Map Parcel: 130-6.00-115.00)

Adjourn

¹ Per 29 Del. C. §10004 (e) (5) and Attorney General Opinion No. 13-IB02, this agenda was amended to address a matter which arose after the initial posting of the agenda but before the start of the Council meeting.

-MEETING DETAILS-

In accordance with 29 Del.C. §10004(e)(2), this Agenda was posted on May 30, 2023 at 4:15 p.m. and at least seven (7) days in advance of the meeting.

This Agenda was prepared by the County Administrator and is subject to change to include the addition or deletion of items, including Executive Sessions, which arise at the time of the meeting.

Agenda items may be considered out of sequence.

The meeting will be streamed live at <https://sussexcountyde.gov/council-chamber-broadcast>.

The County provides a dial-in number for the public to comment during the appropriate time of the meeting. **Note, the on-line stream experiences a 30-second delay.**

Any person who dials in should listen to the teleconference audio to avoid the on-line stream delay.

To join the meeting via telephone, please dial:

Conference Number: 1-302-394-5036

Conference Code: 570176

Members of the public joining the meeting on the telephone will be provided an opportunity to make comments under the Public Comment section of the meeting and during the respective Public Hearing.

The Council meeting materials, including the “packet”, are electronically accessible on the County’s website at: <https://sussexcountyde.gov/agendas-minutes/county-council>.

##

SUSSEX COUNTY COUNCIL - GEORGETOWN, DELAWARE, MAY 23, 2023

A regularly scheduled meeting of the Sussex County Council was held on Tuesday, May 23, 2023, at 10:00 a.m., in Council Chambers, with the following present:

Michael H. Vincent	President
John L. Rieley	Vice President
Cynthia C. Green	Councilwoman
Douglas B. Hudson	Councilman
Mark G. Schaeffer	Councilman
Todd F. Lawson	County Administrator
Gina A. Jennings	Finance Director
J. Everett Moore, Jr.	County Attorney

The Invocation and Pledge of Allegiance were led by Mr. Vincent.

**Call to
Order**

Mr. Vincent called the meeting to order.

**M 243 23
Approve
Agenda**

A Motion was made by Mr. Hudson, seconded by Mr. Schaeffer, to approve the Agenda as presented.

Motion Adopted: 5 Yeas

**Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea;
Mr. Hudson, Yea; Mr. Rieley, Yea;
Mr. Vincent, Yea**

Minutes

The minutes from May 16, 2023, were approved by consensus.

**Corre-
spondence**

Mr. Moore read a letter received from Autism Delaware thanking Council for their grant received.

**Public
Comments**

Public comments were heard.

Ms. Renita Harmon spoke about a law relating to people residing in campers.

**Presentation
Slam Dunk
to the Beach**

A presentation was given by Mr. Matt Robinson providing an update on the 2022 Slam Dunk to the Beach event. Mr. Robinson reported that twenty teams competed in the event consisting of four top 25 raked teams and five top 50 players. A fourth day was added to the tournament that was called "Cape Night" where the boys and girls Cape teams played in the event. In addition, Seaford basketball team participated in the event also

**Presentation
Slam Dunk
to the Beach
(continued)**

representing Sussex County. All of the games were live streamed, and advertisements ran during the streaming. There were over twenty states that watched the livestream including Washington, DC. Over 4,500 attendees came to the event including 25+ college coaches and 70+ onsite media. Mr. Robinson reported that there were 45 local sponsors and vendors of which 96% were returning sponsors. Mr. Robinson shared information that was received from a survey distributed to those that attended the event.

Mr. Robinson thanked the County Council and all of the sponsors that made the event a success.

**FY2024
Budget
Presentation**

Mr. Lawson and Mrs. Jennings presented the proposed \$278.6 budget for Fiscal Year 2024.

Mr. Lawson reported that the recommended budget was drafted after receiving numerous submissions from County departments. Like so many organizations today, Sussex County is attempting to navigate through an uncertain financial environment as the economy continues to decelerate. The driving factors influencing the County's budget are the increases in cost due to inflation and decreases in revenue due to higher interest rates. As such, a conservative budget philosophy was followed in the development of the FY24 budget. This philosophy uses cautious revenue projections and keeps expenses at an ongoing sustainable level. The proposed FY24 budget presents an overall decrease of \$15.6M. The decrease is being driven by one-time expenditures occurring in the previous year. These expenditures include the completion of various capital projects and the use of one-time ARPA funds. Mr. Lawson added that the County continues to keep the ongoing operational expenses in check; excluding one-time purchases, the overall operating budget is increasing 2.8% which is trending below inflation. These efforts allow the County to continue to provide the services its residents and visitors come to expect while not passing to the taxpayers the additional costs of general operations. The County's receives the bulk of its revenue each year from both property taxes and RTT; with RTT being the largest revenue source. In recent years, RTT has grown to account for almost 40% of the County's revenue. In the past, it accounted for under 25%; relying on RTT collections for operations presents a risk. This year the County is taking steps to reduce its reliance on RTT, and it accounts for 35% of the FY24 revenue. However, as we look for the future, this is a concern that the County will need to address. In addition, RTT funds are limited to some of the County's most critical services including paramedics, fire and ambulance companies, police, 911 dispatchers, economic development, assessment, public works, and open space. Thus, we can keep pace with the population and the demand for our critical services through the use of RTT. However, should RTT drop below anticipated levels, it is likely at some point in the future the County will need to seek additional revenue from the taxpayers. The other side of the budget is the expenses that support our government services and County Council priorities. Any new project request was reviewed to ensure that they are necessary, align

**FY2024
Budget
Presentation
(continued)**

with the County's objectives and address long-term concerns and issues of this Council. The priorities of the Council that are supported in this budget include sustaining government services without adding a financial burden to our current and future residents, providing adequate services for our growing elderly population, increase workforce housing opportunities and foster an environment that attracts businesses and creates jobs for our highly skilled workforce. Mr. Lawson recognized the County Council for their leadership and financial responsibility that has helped build a strong foundation that has allowed this government to continue to live within its means and stay strong during economic uncertainty. The FY24 budget recognizes that the economy is treading downward and therefore, continues its conservative approach to ensure that the fiscal foundation stays strong.

Mr. Lawson reviewed the accomplishments by staff throughout the year from this year's budget. Mr. Lawson highlighted some of the milestones that were accomplished that were broken down by the County's goals.

Mrs. Jennings commented on the decline in the economy specifically in the real estate market. Mrs. Jennings shared a chart showing the various one-year activity. It was noted that there was a decrease in building activity, however, Register of Wills revenue did increase due to the population increase. In addition, there was an increase in sewer services due to the increased number of sewer customers being brought onto the system. The general fund is increasing \$4 million; about 2.8% of that is continual operational expenses with the other 2% is related to one-time purchases.

Mrs. Jennings shared the revenue highlights:

- No increase in taxes
- Use of Reserve: \$10.0 million in General Fund; \$15.0 million in Capital
- Tax revenue, due to improvements, is up \$687,000, or 3.9%
- Building related revenues are down \$1.3 million, or 9.0%
- Realty Transfer Tax revenue is down \$1.3 million, or 4.0%
- Grant revenue is up \$1.5 million, or 17.5%
- Sheriff revenue is up \$200,000, or 26.7%
- Wills revenue is up \$200,000, or 15.4%
- \$15 annual increase in Dewey water rates
- \$10 annual increase in sewer rates
- Increase sewer connection fees from \$6,600 to \$7,700
- Changes in Engineering Fees
- Decrease or elimination of assessment fees in seven areas

Mrs. Jennings reviewed revenue highlights with Realty Transfer Tax being the biggest revenue source at 35% which is down from 40%. The building related revenues and Realty Transfer Tax were discussed and how they were impacting the budget. It was noted that Realty Transfer Tax can only be spent on certain areas of which most is spent on public safety (90%).

**FY2024
Budget
Presentation
(continued)**

Mrs. Jennings discussed where the increases in the general fund were being seen. The largest increase is in grant-in-aid, however, there are some on-time grants included in that amount. Mrs. Jennings discussed staffing; the only increases in staffing are related to sewer.

Mrs. Jennings shared information relating to the use of reserves. Public Safety, Libraries and Open Space/Recreation funding was discussed further. The general fund capital items, water, sewer, and utility capital accounts were shared and discussed further.

The budget book and presentation can be found on the County's website at www.sussexcountypa.gov. Budget comments can be sent to budget@sussexcountypa.gov.

Mr. Rieley introduced a Proposed Ordinance entitled "AN ORDINANCE ESTABLISHING THE ANNUAL OPERATING BUDGET FOR FISCAL YEAR 2024".

Mr. Hudson introduced a Proposed Ordinance entitled "AN ORDINANCE ESTABLISHING ANNUAL SERVICE CHARGES, ANNUAL ASSESSMENT RATES FOR COLLECTION AND TRANSMISSION AND/OR TREATMENT AND CONNECTION CHARGES FOR ALL SUSSEX COUNTY WATER AND SANITARY SEWER DISTRICTS".

The Proposed Ordinances will be advertised for Public Hearings, which will be held on June 20, 2023.

**Adminis-
trator's
Report**

Mr. Lawson read the following information in his Administrator's Report:

1. **Delaware State Police Activity Report**

The Delaware State Police year-to-date activity report for April 2023 is attached listing the number of violent crime and property crime arrests, as well as total traffic charges and corresponding arrests. In addition, DUI and total vehicle crashes investigated are listed. In total, there were 191 troopers assigned to Sussex County for the month of April.

2. **Holiday and Council Meeting Schedule**

A reminder that County offices will be closed on Monday, May 29th, to observe the Memorial Day holiday. In addition, Council will not meet on Tuesday, May 30th. The next regularly scheduled Council meeting will be held on Tuesday, June 6th at 10:00 a.m.

[Attachments to the Administrator's Report are not attached to the minutes.]

Pintail Pointe Hans Medlarz, County Engineer presented a recommendation to reject bids and re-bid for project S21-16, Pintail Pointe for Council's consideration. There were five responses received that were within in the budget, however, the project requires three certifications. The two lowest bidders did not complete the certifications and the third lowest bidder would put the project overbudget.

M 244 23 Approve Project Re-bid/Pintail Pointe A Motion was made by Mr. Rieley, seconded by Mr. Schaeffer, be it moved based upon the recommendation of the Sussex County Engineering Department that all bids for Contract S21-16, Pintail Pointe sewer expansion be rejected, and the contract be rebid.

Motion Adopted: 5 Yeas

Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea; Mr. Hudson, Yea; Mr. Rieley, Yea; Mr. Vincent, Yea

Deed Restriction/ 25867 Berry Street Hans Medlarz, County Engineer presented a deed restriction for 25867 Berry Street for Council's consideration. The project has been granted substantial completion from the County.

M 245 23 Authorized to Execute & Record Deed Restriction A Motion was made by Mr. Rieley, seconded by Mr. Schaeffer, be it moved based upon the recommendation of the Sussex County Engineering Department that Council authorize the County Administrator to execute and record the deed restriction associated with 25867 Berry Street in Millsboro, as part of the Federal Hazard Mitigation Assistance Program.

Motion Adopted: 5 Yeas

Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea; Mr. Hudson, Yea; Mr. Rieley, Yea; Mr. Vincent, Yea

FY2022 General Labor & Equipment Contract Hans Medlarz, County Engineer presented a one-year extension through July 1, 2023 – July 1, 2024, with George and Lynch and a close-out for JJID, Inc. for the FY22 general labor and equipment contract for Council's consideration.

M 246 23 Approve FY22 General Labor & Equipment Contract A Motion was made by Mr. Schaeffer, seconded by Mr. Hudson, be it moved based upon the recommendation of the Sussex County Engineering Department that County Council approve George & Lynch's bid packages A & B for Contract 22-01 FY22 General Labor & Equipment Contract for the second one-year contract extension in the aggregate amount up to \$5,000,000 at the unit price as previously bid.

Motion Adopted: 5 Yeas

Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea;

**Mr. Hudson, Yea; Mr. Rieley, Yea;
Mr. Vincent, Yea**

M 247 23 **A Motion was made by Mr. Schaeffer, seconded by Mr. Hudson, be it**
Approve **moved based upon the recommendation of the Sussex County Engineering**
Close-Out/ **Department that County Council approves the closeout of ongoing FY23**
JJID, Inc. **work order no. 27 under JJID, Inc. contract no. 22-01, FY22 General Labor**
 and Equipment Contract without issuing a second one-year extension.

Motion Adopted: 5 Yeas

Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea;
 Mr. Hudson, Yea; Mr. Rieley, Yea;
 Mr. Vincent, Yea

Grant
Requests

Mrs. Jennings presented grant requests for Council's consideration.

M 248 23 **A Motion was made by Mr. Rieley, seconded by Mr. Hudson to give \$3,000**
Millsboro **(\$2,000 from Mr. Rieley's Councilmanic Grant Account, \$500 from Mr.**
Historical **Schaeffer's Councilmanic Grant Account and \$500 from Mr. Hudson's**
Society **Councilmanic Grant Account) to Millsboro Historical Society for the Jacob**
 Godwin School for maintenance expenses.

Motion Adopted: 5 Yeas

Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea;
 Mr. Hudson, Yea; Mr. Rieley, Yea;
 Mr. Vincent, Yea

M 249 23 **A Motion was made by Mr. Schaeffer, seconded by Mr. Hudson to give**
Seaford **\$2,000 (\$2,000 from Mr. Vincent's Councilmanic Grant Account) to**
Tomorrow, **Seaford Tomorrow, Inc. for their Friday Night Live event.**
Inc.

Motion Adopted: 5 Yeas

Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea;
 Mr. Hudson, Yea; Mr. Rieley, Yea;
 Mr. Vincent, Yea

Introduction **Mr. Rieley introduced a Proposed Ordinance entitled "AN ORDINANCE**
of Proposed **TO AMEND THE FUTURE LAND USE MAP OF THE**
Ordinance **COMPREHENSIVE PLAN IN RELATION TO TAX PARCEL 135-11.00-**
 82.00".

Council
Member
Comments

The Proposed Ordinance will be advertised for Public Hearings.

There were no Council member comments.

M 250 23 **A Motion was made by Mr. Schaeffer, seconded by Mr. Hudson to adjourn**

Adjourn at 11:03 a.m.

Motion Adopted: 5 Yeas

**Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea;
Mr. Hudson, Yea; Mr. Rieley, Yea;
Mr. Vincent, Yea**

Respectfully submitted,

**Tracy N. Torbert
Clerk of the Council**

{An audio recording of this meeting is available on the County's website.}

GINA A. JENNINGS, MBA, MPA
FINANCE DIRECTOR

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Sussex County
DELAWARE
sussexcountyde.gov

Memorandum

TO: Sussex County Council
The Honorable Michael H. Vincent, President
The Honorable John L. Rieley, Vice President
The Honorable Cynthia C. Green
The Honorable Douglas B. Hudson
The Honorable Mark G. Schaeffer

FROM: Gina A. Jennings
Finance Director/COO

DATE: June 2, 2023

RE: **PENSION UPDATE AND INVESTMENT POLICY STATEMENTS**

Attached you will find the quarterly pension report and the minutes of the May 18th Pension Committee meeting. At the May meeting, two items were discussed:

- Marquette Associates, the County's investment advisor, reviewed the County's investment performance. As of the end of April,
 - The Pension fund was valued at \$145.8 million and realized a net return of 6.8%
 - The OPEB fund was valued at \$59.2 million and realized a net return of 6.7%
- The Pension Committee discussed changing the investment policy statements for both funds to increase performance and lower risk.

Therefore, at Tuesday's meeting, I will be making the pension committee's recommendation to add bank loans to our investment policy in return lowering our risk to equities. The recommendation will also include decreasing our allocation to real estate and adding more weight to infrastructure. Pat Wing from Marquette Associates will give an explanation on what it would look like if you implemented the changes the pension committee is recommending.

Please contact me if you have any questions or concerns.

Attachments

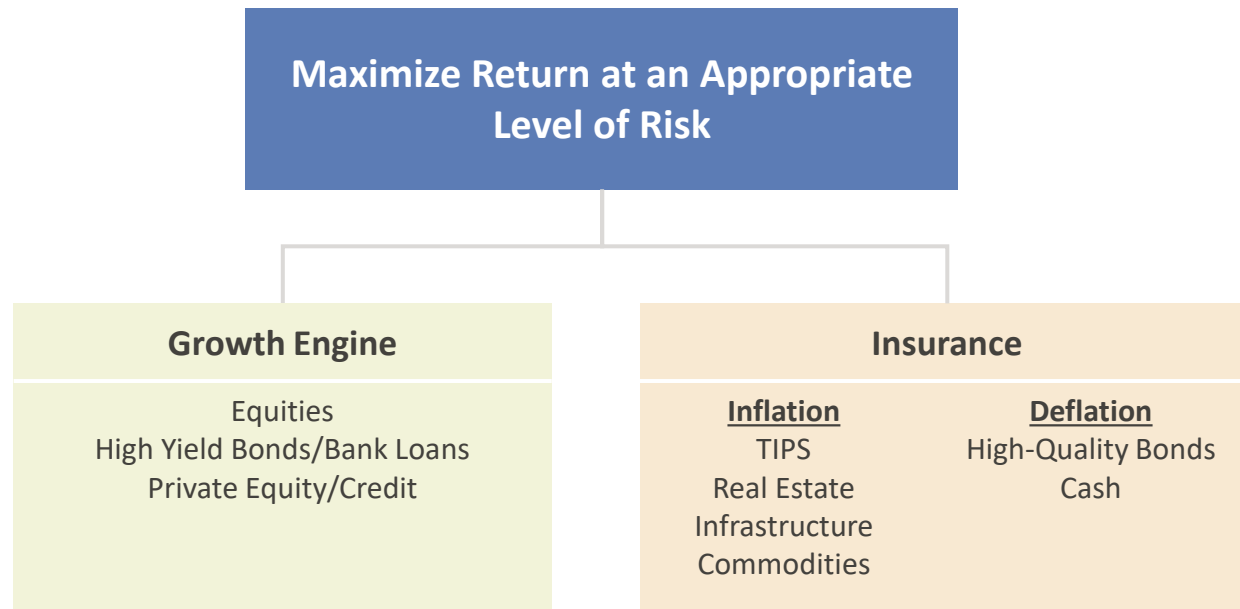
pc: Mr. Todd F. Lawson



Background

- We believe it is worth considering changes to the strategic asset allocation
 - The Actuarial Assumed Rate of Return was lowered from 7.00% to 6.75%
 - The outlook for fixed income has improved considerably given the rise in interest rates
 - Opportunity to diversify the equity risk within the Funds
 - The outlook for Core Real Estate is concerning

Asset class roles



- Equities and other “growth engine” assets generate the highest real (inflation adjusted) returns over the long term
- However, equities tend to perform poorly amid an environment of price instability

Investors typically hold “insurance” against these types of environments

Bank loans characteristics

Bank Loans	
Maturity	5–6 Years
Seniority	Senior
Securitization	Secured
Rate Structure	Floating Rate
Target Company Size	\$300M–\$2B EBITDA ¹
Typical Default Rate	2-3%
Typical Recovery Rate	65%

Sources: Preqin; ¹The Annual Manual; U.S. Leveraged Finance Primer

Historical correlations – Last 15 Years

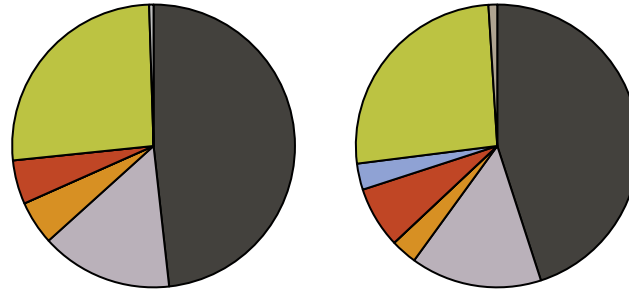
	Bank Loans	Core Fixed Income	U.S. Equities	Int'l Equities	Real Estate	Infra.
Bank Loans	1.00					
Core Fixed Income	0.04	1.00				
U.S. Equities	0.62	0.15	1.00			
Int'l Equities	0.65	0.23	0.88	1.00		
Real Estate	(0.06)	(0.26)	(0.08)	(0.10)	1.00	
Infra.	0.26	(0.12)	0.12	0.16	0.53	1.00

Returns are through December 31, 2022.

Asset allocation targets

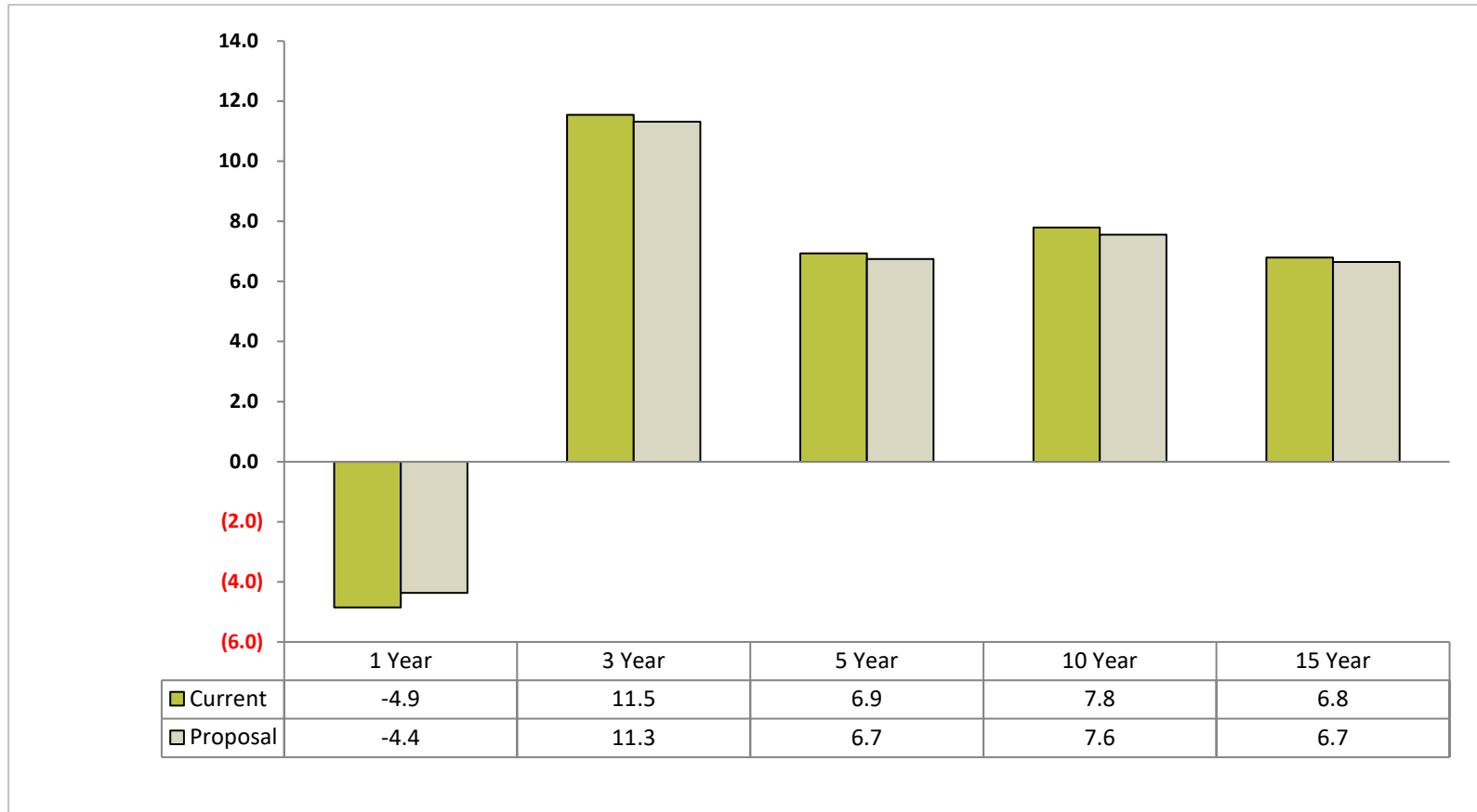
Current

Proposal



■	U.S. Equities	48.0%	↓	45.0%
■	Non-U.S. Equities	15.0%		15.0%
■	Core Real Estate	5.0%	↓	3.0%
■	Private Infrastructure	5.0%	↑	7.0%
■	Bank Loans	-	↑	3.0%
■	U.S. Fixed Income	26.0%		26.0%
■	Cash	1.0%		1.0%

Cumulative returns annualized (%)

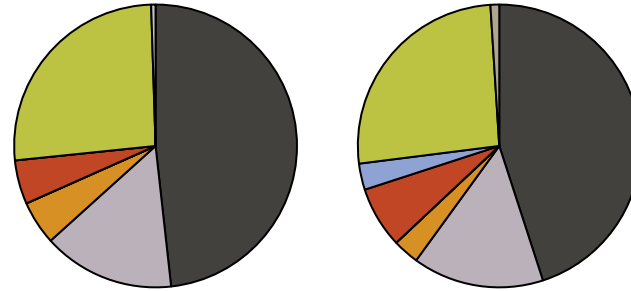


Returns are through December 31, 2022.

Future projections

Current

Proposal



■	U.S. Equities	48.0%	↓	45.0%
■	Non-U.S. Equities	15.0%		15.0%
■	Core Real Estate	5.0%	↓	3.0%
■	Private Infrastructure	5.0%	↑	7.0%
■	Bank Loans	-	↑	3.0%
■	U.S. Fixed Income	26.0%		26.0%
■	Cash	1.0%		1.0%
		<u>Current</u>		<u>Proposal</u>
Avg. Annualized Net Return		6.7%		6.8%
Avg. Annualized Volatility		11.2%		10.9%
Avg. Net Return/Avg. Volatility		0.60		0.62

Source: Marquette Associates Asset Allocation Software – March 31, 2023.

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Sussex County
DELAWARE
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PENSION FUND COMMITTEE

Minutes of Meeting

May 18, 2023

The Sussex County Pension Fund Committee met on May 18, 2023, at 10:00 a.m. by teleconference. Those present included members: Gina Jennings, Todd Lawson, Karen Brewington, Kathy Roth, Robin Griffith, Mitch Rogers and Kathleen Ryan as well as Pat Wing, Managing Partner of Marquette Associates, the County's Pension Investment Consultant.

Ms. Jennings called the meeting to order.

1. **Approval of Minutes**

The minutes of the February 2, 2023, meeting were approved by consent.

2. **Public Comment**

There was no public comment.

3. **Performance Reports of the Pension and OPEB Funds**

Prior to today's meeting, Committee members were emailed copies of Marquette Associates' report entitled, "Sussex County Quarterly Performance Report as of March 31, 2023", as well as portfolio updates. All reports were posted to the website prior to the meeting.

The Quarterly Performance Report includes information regarding the market environment for 2023, as well as quarterly performances of the Pension and OPEB Plans. The report should be referenced for a detailed analysis.

Mr. Wing directed members to the Pension Fund Performance Report.

Observations as of March 31, 2023, included:

- The market value was \$144.4 million. The portfolio had a net investment change in the first quarter of \$5.8 million, returning 4.2% (net) vs. policy index of 5.0%.
- One year return of -4.2% (net) vs. policy index of -4.7%
- Positive attribution for the quarter resulted from fixed income.
- Negative attribution for the quarter resulted from asset allocation, equity structure and underperformance by Clarion.
- Looking Ahead/Recommendations: Asset Allocation and Wilmington Trust portfolio manager change.



Mr. Wing directed members to the OPEB Fund Portfolio Overview.

Observations as of March 31, 2023 included:

- The market value was \$58.6 million. The portfolio had a net investment change in the first quarter of \$2.4 million, returning 4.2% (net), vs. policy index of 5.0%
- 1-Year return of -4.3% (net) vs. policy index of -4.7%
- Positive attribution for the quarter resulted from fixed income
- Negative attribution for the quarter resulted from asset allocation, equity structure and underperformance by Clarion
- Looking Ahead Asset Allocation and Wilmington Trust portfolio manager change

4. Asset Allocation

Mr. Wing gave background information, provided an asset class overview as well as an asset allocation analysis. Mr. Wing explained the difference between bank loans, high yield bonds and private debt and the risk that comes with each option. There was discussion about the different options and the risk involved.

A motion was made by Ms. Ryan, seconded by Mr. Lawson, for the Pension Committee to recommend to County Council to change the Investment Policy Statements of the Pension and OPEB funds to increase fixed income through bank loans by 3 percentage points, lower U.S. equities by 3 percentage points, lower real estate by 2 percentage points, and in return increase global infrastructure by 2 percentage points.

Motion Adopted: 6 Yeas.

Vote by Roll Call: Mr. Rogers, Yea; Ms. Roth, Yea; Ms. Griffith, Yea;
Ms. Brewington, Yea; Ms. Ryan, Yea; Mr. Lawson, Yea
Ms. Jennings, Yea

6. Adjourn

At 11:41 a.m., a Motion was made by Mr. Rogers, seconded by Ms. Ryan, to adjourn. Motion Adopted by Voice Vote.

The next meeting of the Pension Committee is scheduled for August 17, 2023 at 10:00 a.m.

Respectfully submitted,

Bobbi L. Albright
Executive Administrative Assistant



Sussex County, Delaware

Employee Pension Plan OPEB Plan

Quarterly Performance Report
as of March 31, 2023



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Marquette Update



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Marquette Update

2Q 2023



Save the date!

Our Symposium will be held as a hybrid event again this year, with an in-person option in Chicago at the Union League Club and a virtual livestream online. We're excited to welcome Frank Kelly and Ben Mezrich as featured speakers and our research team will also present several flash talks. All clients are invited — full invitation coming in July!

Friday, September 15TH

IN THE INDUSTRY

- ▶ Amy Miller was named to Kayo Conference Series' 23 in '23 Women in Endowments & Foundations list ([link](#))
- ▶ Tom Latzke presented at Opal Group's Public Funds Summit 2023 1/12 ([link](#))
- ▶ Catherine Callaghan presented at DePaul University's Females in Finance Initiative 1/18 ([link](#))
- ▶ Dave Smith presented at the Community Foundation of Northeast Iowa's Professional Advisor Education Series 1/18 ([link](#))
- ▶ Kweku Obed presented at the National Association of Securities Professionals' (NASP) Diverse Manager Forum 1/19 ([link](#))
- ▶ Glenn E. Ross presented at the 2023 College Savings Plan Network Prepaid Mini Conference 2/28 ([link](#))
- ▶ Evan Frazier and Frank Valle presented at the Ohio Institutional Forum 3/2 ([link](#))
- ▶ Kweku Obed presented at the Georgia Association of Public Pension Trustees (GAPPT) Annual Conference 3/21 ([link](#))
- ▶ Jessica Noviskis presented at the OCIO Central Summit 3/22 ([link](#))

\$337B
assets under advisement

99%
client retention rate

37th
year in business

▾
QUARTERLY RESEARCH
▶ **April 20**
1Q Market Insights
Webinar: 4/20
YouTube: 4/21

100%
employee-owned¹

25
partners

130+
employees

✉ **April 25**
Letter from the Director of Research

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Client data as of December 31, 2022; firm data as of April 2023. Client retention rate calculated as the average annual retention rate trailing ten years. ¹By current and former employees. Marquette is an independent investment adviser registered under the Investment Advisers Act of 1940, as amended. Registration does not imply a certain level of skill or training. More information about Marquette including our investment strategies, fees and objectives can be found in our ADV Part 2, which is available upon request and on our website.

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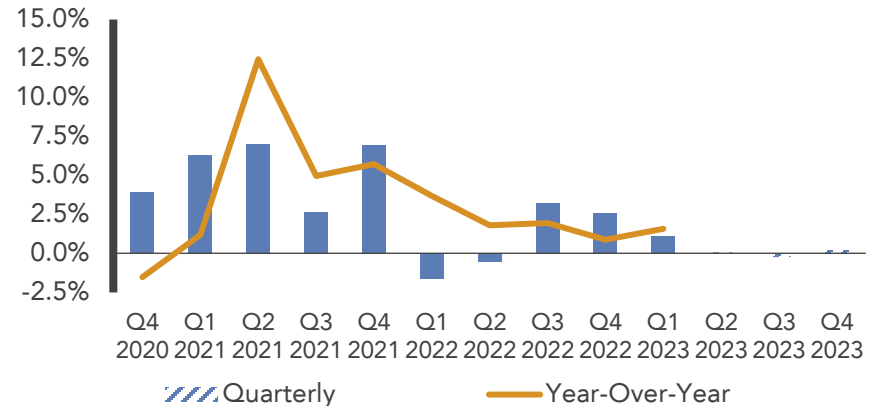
Market Environment



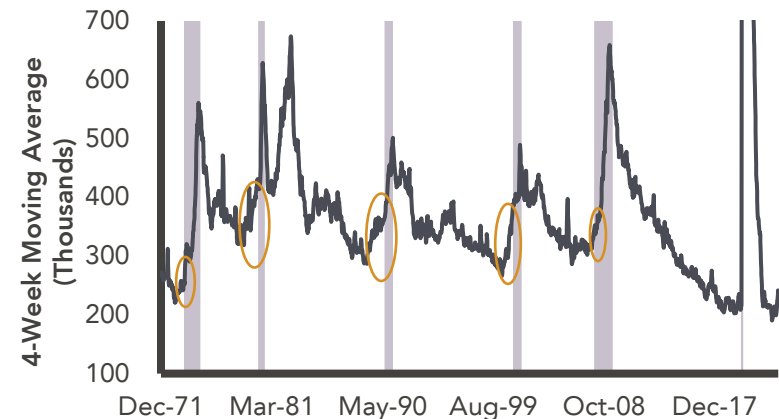
U.S. Economy

- U.S. economic activity continued to decelerate in Q1 as real GDP grew at an annualized rate of just 1.1%. While consumer spending picked up compared to Q4, a slowdown in private inventory investment was a strong headwind to economic growth to begin the year.
- Economic data have generally come in better-than-expected in the first few months of the year. Still, according to an April survey conducted by *The Wall Street Journal*, economists saw a recession more likely than not in the coming 12 months.
- Recently, initial jobless claims have increased slightly. Outside of the pandemic, initial jobless claims have notably increased prior to every recession since the late 1970s.
- Further, the U.S. Manufacturing PMI declined to 46.3 in March from 47.7 in February. All subcomponents were below 50.0, which separates growth from contraction, for the first time since 2009.

U.S. Real GDP Growth



4-Week Moving Average of Initial Jobless Claims and Recessions



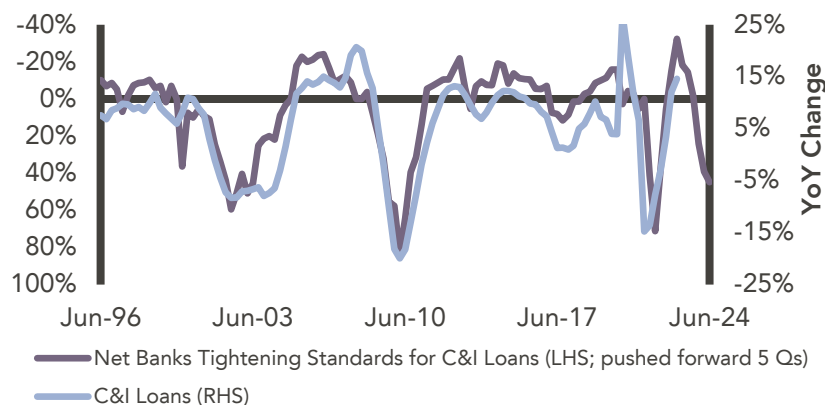
Source: Refinitiv, The Wall Street Journal

Note: In the "Real GDP Growth" chart, striped bars reflect economist estimates from *The Wall Street Journal Economic Forecasting Survey*.

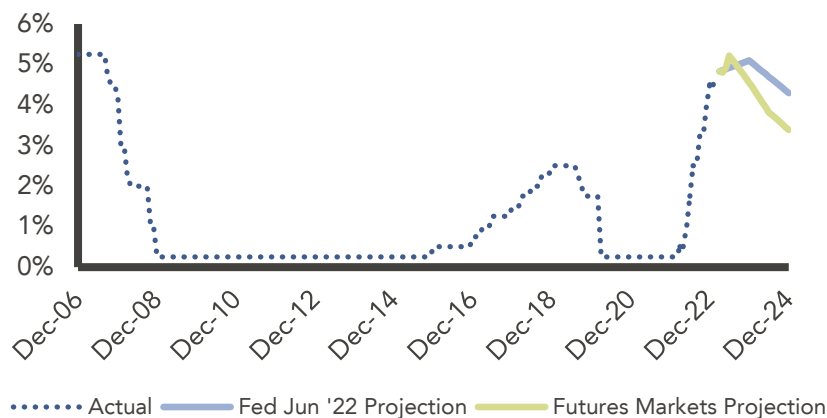
U.S. Economy

- The economic outlook remains on shaky ground as the impact of tighter monetary policy is rippling through the banking sector.
- Even prior to the failures of Silicon Valley Bank and Signature Bank, many banks were reporting tighter lending standards for commercial and industrial loans. This has historically led to negative loan growth over the next 4-5 quarters.
- With small- and medium-sized banks now under pressure to shore up their deposit base and strengthen their balance sheets, loan growth will likely come under additional pressure.
- While the Federal Reserve acknowledged the potential economic impacts from stress in the banking sector at its March meeting, the Board projects that it will raise short-term interest rates one more time this year, before leaving rates at that level through 2023. The market, on the other hand, is now pricing in 2-3 rate cuts before the end of the year.

Banks Tightening Standards of C&I Loans vs. C&I Loan Growth



Short-Term Interest Rates

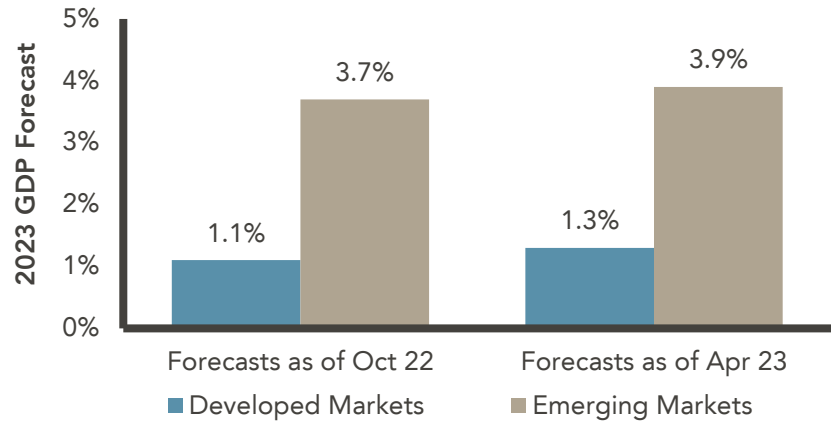


Source: Federal Reserve Bank of San Francisco, Refinitiv

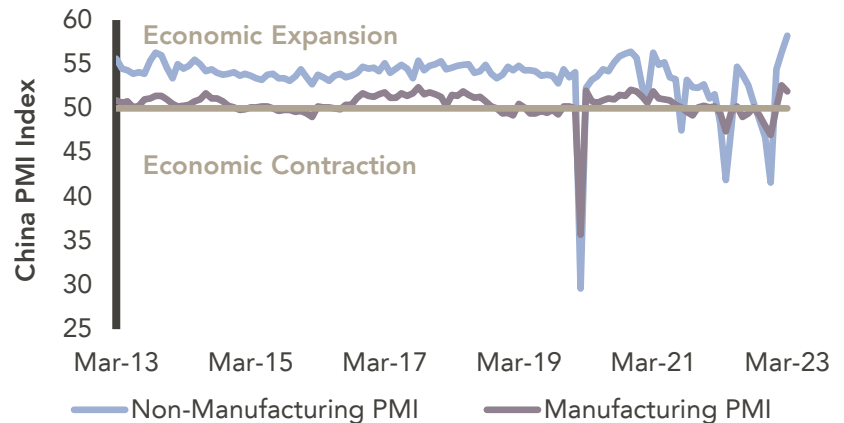
Global Economy

- While the recent bout of instability in the U.S. banking sector has added additional uncertainty to the global economic growth outlook, the IMF has increased its 2023 economic growth forecasts for both developed and emerging market economies.
- Underneath the surface, however, there is notable dispersion across economies, with the eurozone and the United Kingdom expected to slow materially.
- At the other end of the spectrum, economic activity in China appears to be gaining momentum. The official non-manufacturing Purchasing Managers' Index (PMI) soared to 58.2 in March from 56.3 in February, marking the best level since 2011.

2023 Global Economic Growth Forecast



China PMI Data

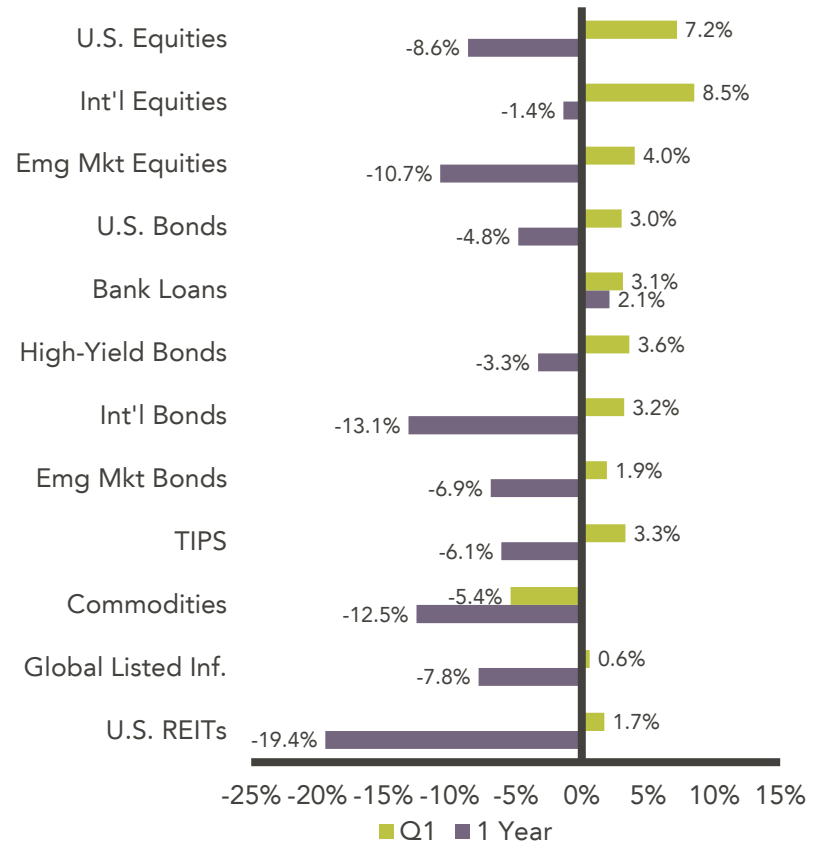


Source: Bloomberg, IMF

Global Asset Class Performance

- Global equities rallied in Q1, continuing their rebound from the end of 2022. U.S equities lagged their international developed counterparts but topped emerging market equities. Stronger-than-expected economic growth, falling interest rates, and seasonal tailwinds drove equity market strength.
- Fixed income markets also saw another strong quarter in Q1. After rising to begin the year, intermediate- and long-term treasury yields ended the quarter 30-40 basis points lower thanks to a dramatic decline amid the last few weeks of March in the wake of two notable bank failures.
- Inflation-sensitive assets performance had mixed performance in Q1. TIPS were firmly in the black, outperforming their nominal government bond counterparts due to rising inflation expectations. Global listed infrastructure and REITs, however, underperformed broad global and U.S. equity markets, respectively. REITs came under heavy pressure due to concerns over the office sector as small- and mid-sized regional banks are a large lender to the asset class. Commodities, meanwhile, were in the red largely due to falling energy prices.

Asset Class Returns: Select Asset Class Performance

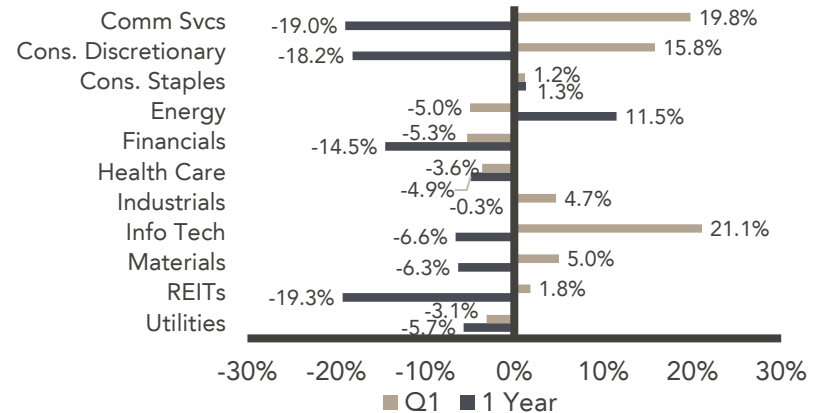


Source: Markov Processes International

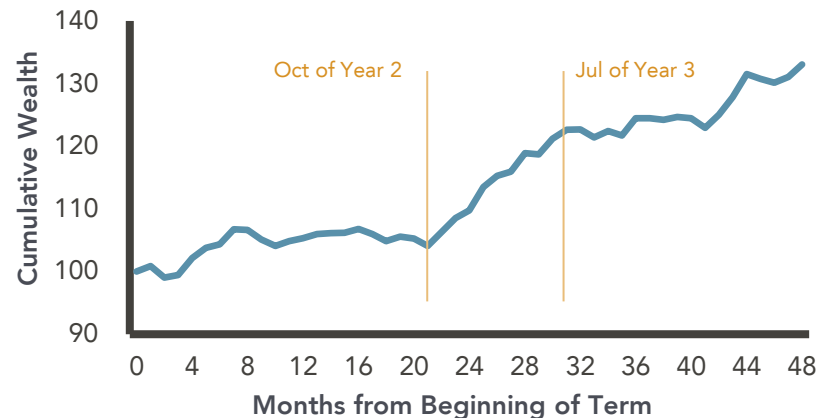
U.S. Equity Markets

- Economic sector performance was mixed in Q1, with seven of eleven sectors posting gains. More defensive sectors lagged the broad markets as Health Care and Utilities were in the red, while Consumer Staples generated a marginal gain. At the other end of the spectrum, Information Technology and Communication Services led the way.
- From a style perspective, growth stocks topped value stocks handily during Q1. Value suffered from the underperformance of Energy and Financials. The latter lagged due to concerns over small- and mid-sized banks, lower interest rates, and the prospect of increased regulatory scrutiny following the failures of Silicon Valley Bank and Signature Bank.
- In addition to decent economic data and falling interest rates, the calendar was quite favorable for equity markets. Since 1900, more than half of the return for the S&P 500 Index has been generated from October in Year two of a President's term through July in Year 3. In the current term, this period began in October 2022, when the market bottomed before beginning its current rally.

Sector Returns



Presidential Cycle and Equity Returns

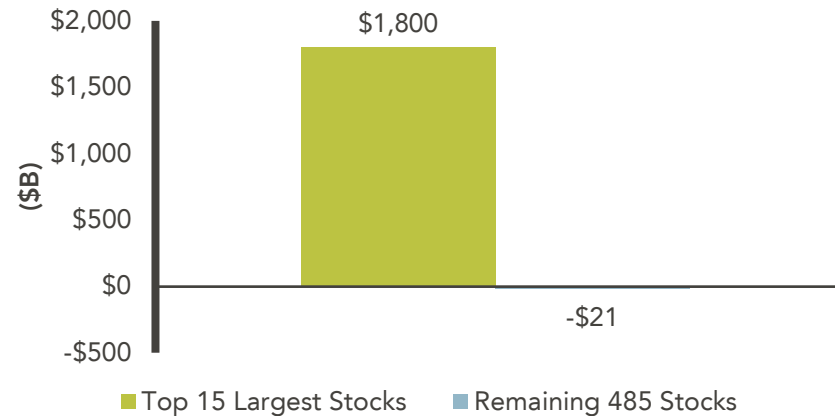


Source: Federal Reserve Bank of St. Louis, Markov Processes International, Refinitiv

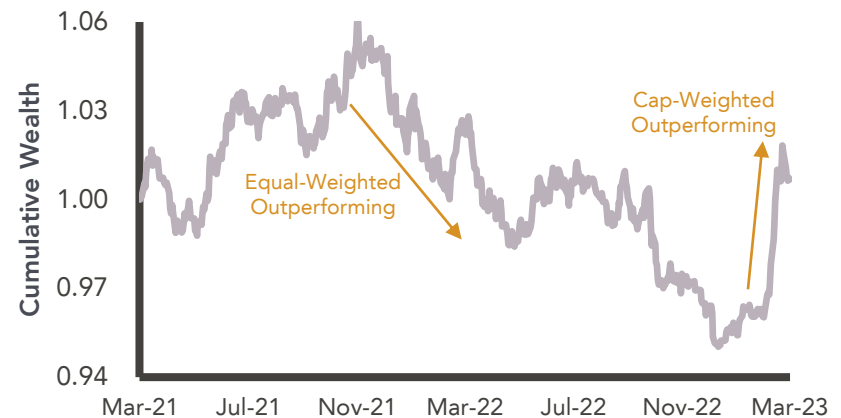
U.S. Equity Markets

- Another notable feature of the market's gains in Q1 was the dramatic outperformance of a handful of the largest stocks. According to Crescat Capital, the top 15 stocks in the S&P 500 Index saw their cumulative market capitalization increase by \$1.8 trillion in the first quarter, compared to a decline of \$21 billion for the remaining 485 stocks.
- The outperformance of the largest stocks is also evident in the relative performance of the S&P 500 Index vs. the S&P 500 Equal-Weighted Index. The former outperformed its equal-weighted counterpart by more than 450 basis points in Q1—the widest outperformance since Q1 2020.
- This was also evident further down the capitalization spectrum as well. The Russell 2000, which has a large exposure to Financials, particularly banks, posted a gain of 2.7%, underperforming the Russell Top 200 by nearly six percentage points in Q1.

S&P 500 Market Capitalization Change in Q1



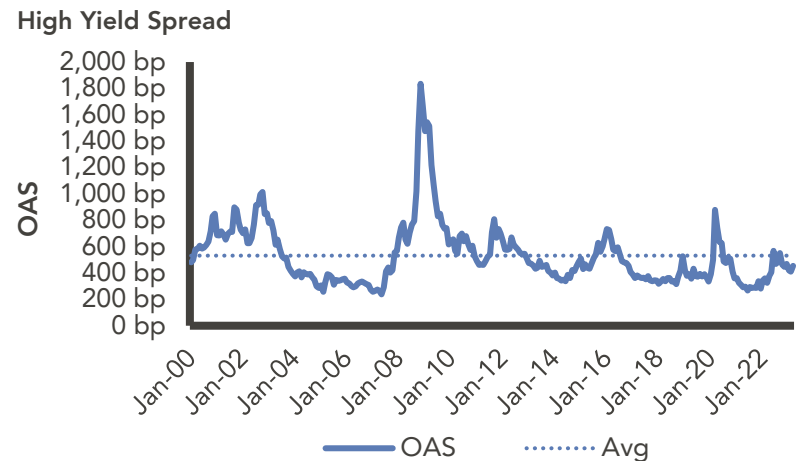
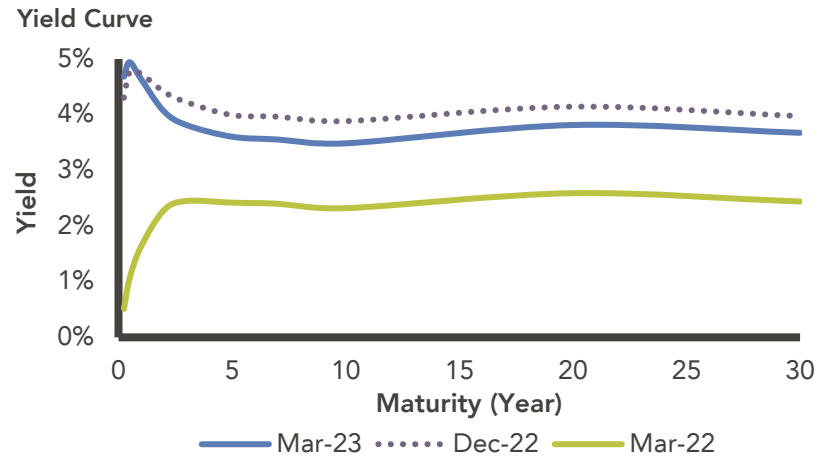
S&P 500 Index vs. the S&P 500 Equal-Weighted Index



Source: Crescat Capital, FactSet, Refinitiv

U.S. Fixed Income

- While T-Bill yields rose in sympathy with the Federal Reserve hiking short-term interest rates, all maturities one-year and longer saw yields decline in Q1 amid the stress in the banking sector.
- The yield curve saw a dramatic bull steepening in the second half of March with the spread between the 2-year note and the 30-year bond falling from -117 basis points in early March to -39 basis points at the end of the quarter.
- The broad investment-grade bond market saw its second straight quarterly gain in Q1, with the Bloomberg Aggregate Index returning 3.0%.
- Sub-investment grade debt marginally outperformed their investment-grade counterparts. Bank Loans slightly outperformed as tighter spreads offset the lack of meaningful duration amid falling rates. High yield also outperformed amid tighter spreads relative to treasuries.



Source: Refinitiv

Global Index Returns

DOMESTIC EQUITY	QTR	YTD	1 Year	3 Year	5 Year	10 Year
S&P 500 Index	7.5	7.5	(7.7)	18.6	11.2	12.2
Russell 3000 Index	7.2	7.2	(8.6)	18.5	10.5	11.7
Russell 3000 Growth Index	13.9	13.9	(10.9)	18.2	13.0	14.2
Russell 3000 Value Index	0.9	0.9	(6.3)	18.1	7.3	9.0
Russell TOP 200 Index	8.7	8.7	(8.3)	18.4	11.9	12.8
Russell TOP 200 Growth Index	15.6	15.6	(11.4)	19.3	14.8	15.6
Russell TOP 200 Value Index	0.8	0.8	(4.2)	16.6	8.0	9.3
Russell 1000 Index	7.5	7.5	(8.4)	18.6	10.9	12.0
Russell 1000 Growth Index	14.4	14.4	(10.9)	18.6	13.7	14.6
Russell 1000 Value Index	1.0	1.0	(5.9)	17.9	7.5	9.1
Russell Mid-Cap Index	4.1	4.1	(8.8)	19.2	8.1	10.1
Russell Mid-Cap Growth Index	9.1	9.1	(8.5)	15.2	9.1	11.2
Russell Mid-Cap Value Index	1.3	1.3	(9.2)	20.7	6.5	8.8
Russell 2000 Index	2.7	2.7	(11.6)	17.5	4.7	8.0
Russell 2000 Growth Index	6.1	6.1	(10.6)	13.4	4.3	8.5
Russell 2000 Value Index	(0.7)	(0.7)	(13.0)	21.0	4.5	7.2
DOMESTIC EQUITY BY SECTOR (MSCI)						
Communication Services	19.8	19.8	(19.0)	9.0	7.4	6.1
Consumer Discretionary	15.8	15.8	(18.2)	19.2	10.5	12.7
Consumer Staples	1.2	1.2	1.3	14.9	10.4	9.5
Energy	(5.0)	(5.0)	11.5	50.3	8.6	3.4
Financials	(5.3)	(5.3)	(14.5)	18.1	4.8	9.8
Health Care	(3.6)	(3.6)	(4.9)	14.4	10.9	12.8
Industrials	4.7	4.7	(0.3)	21.8	8.3	11.0
Information Technology	21.1	21.1	(6.6)	23.1	18.3	19.3
Materials	5.0	5.0	(6.3)	25.1	8.8	9.4
Real Estate	1.8	1.8	(19.3)	10.2	6.3	6.2
Utilities	(3.1)	(3.1)	(5.7)	10.0	9.1	9.3

Source: Markov Processes International

Global Index Returns

INTERNATIONAL/GLOBAL EQUITY	QTR	YTD	1 Year	3 Year	5 Year	10 Year
MSCI EAFE (Net)	8.5	8.5	(1.4)	13.0	3.5	5.0
MSCI EAFE Growth (Net)	11.1	11.1	(2.8)	10.9	4.9	6.0
MSCI EAFE Value (Net)	5.9	5.9	(0.3)	14.6	1.7	3.7
MSCI EAFE Small Cap (Net)	4.9	4.9	(9.8)	12.1	0.9	5.9
MSCI AC World Index (Net)	7.3	7.3	(7.4)	15.4	6.9	8.1
MSCI AC World Index Growth (Net)	13.8	13.8	(10.0)	14.7	9.0	9.9
MSCI AC World Index Value (Net)	1.2	1.2	(5.5)	15.2	4.3	5.9
MSCI Europe ex UK (Net)	11.9	11.9	2.0	15.1	4.8	6.1
MSCI United Kingdom (Net)	6.1	6.1	(0.8)	14.6	3.0	3.4
MSCI Pacific ex Japan (Net)	2.2	2.2	(7.4)	14.0	3.4	3.3
MSCI Japan (Net)	6.2	6.2	(5.2)	7.4	1.3	5.0
MSCI Emerging Markets (Net)	4.0	4.0	(10.7)	7.8	(0.9)	2.0

Source: Markov Processes International

Global Index Returns

FIXED INCOME	QTR	YTD	1 Year	3 Year	5 Year	10 Year
Merrill Lynch 3-month T-Bill	1.1	1.1	2.5	0.9	1.4	0.9
Barclays Intermediate Gov't./Credit	2.3	2.3	(1.7)	(1.3)	1.4	1.3
Barclays Aggregate Bond	3.0	3.0	(4.8)	(2.8)	0.9	1.4
Barclays Short Government	1.3	1.3	1.1	0.0	1.3	0.9
Barclays Intermediate Government	2.3	2.3	(1.5)	(2.3)	1.1	0.9
Barclays Long Government	6.2	6.2	(15.9)	(11.2)	(0.4)	1.4
Barclays Investment Grade Corp.	3.5	3.5	(5.6)	(0.5)	1.6	2.3
Barclays High Yield Corp. Bond	3.6	3.6	(3.3)	5.9	3.2	4.1
Credit Suisse Leveraged Loan	3.1	3.1	2.1	8.4	3.5	3.9
JPMorgan Global ex US Bond	3.2	3.2	(13.1)	(6.5)	(4.4)	(1.5)
JPMorgan Emerging Market Bond	1.9	1.9	(6.9)	0.0	(0.6)	2.0
INFLATION SENSITIVE						
Consumer Price Index	1.7	1.7	5.0	5.4	3.9	2.6
BC TIPS	3.3	3.3	(6.1)	1.8	2.9	1.5
Commodities	(5.4)	(5.4)	(12.5)	20.8	5.4	(1.7)
Gold	8.1	8.1	0.7	5.9	7.1	1.3
REITs	1.7	1.7	(19.4)	10.2	6.3	6.5
FTSE EPRA/NAREIT Global REITs	1.4	1.4	(20.4)	8.6	1.8	2.9
NCREIF ODCE*	(3.3)	(3.3)	(3.9)	7.5	6.6	8.5
NCREIF Farmland**	3.3	9.6	9.6	6.8	6.4	8.8
NCREIF Timberland**	4.9	12.9	12.9	7.5	5.4	5.8

*Data are preliminary.

**Data are as of December 31, 2022.

Source: Markov Processes International.



PREPARED BY MARQUETTE ASSOCIATES

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CHICAGO BALTIMORE MILWAUKEE PHILADELPHIA ST. LOUIS WEB MarquetteAssociates.com

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Employee Pension Plan

Portfolio Overview



Observations

- Market Value as of March 31, 2023 was \$144.4 million
 - Q1-23 net investment change of \$5.8 million, returning 4.2% (net), vs. policy index of 5.0%
 - 1-Year return of -4.2% (net) vs. policy index of -4.7%
- Positive attribution for the quarter from:
 - Fixed Income
- Negative attribution for the quarter from:
 - Asset Allocation
 - Equity Structure
 - Underperformance by Clarion

Looking Ahead

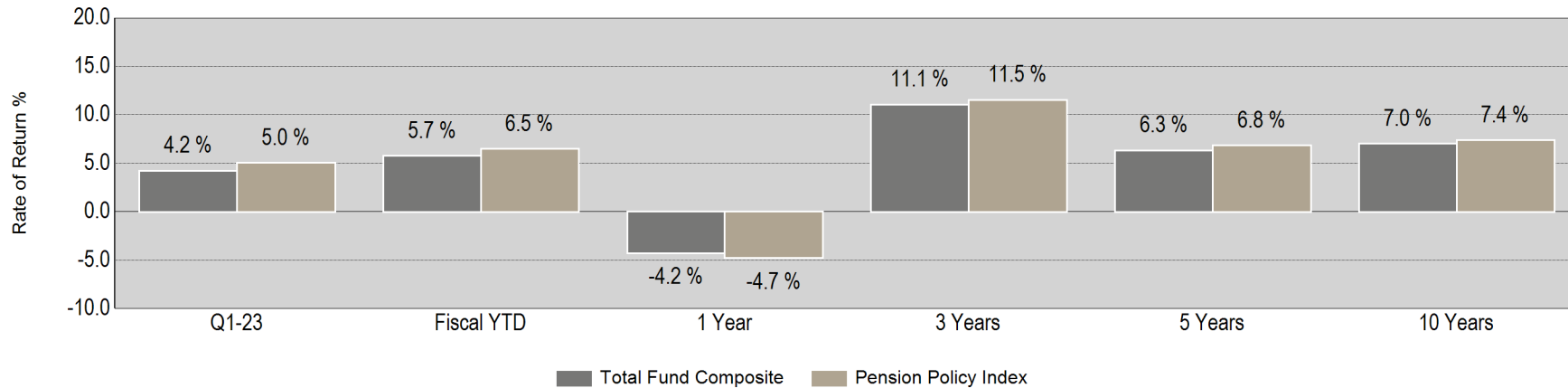
- Asset Allocation
- Wilmington Trust portfolio manager change

As of March 31, 2023

Summary of Cash Flows

	First Quarter	Fiscal Year-To-Date	One Year	Three Years	Five Years	Ten Years
Beginning Market Value	\$138,506,771	\$136,359,245	\$152,662,513	\$107,046,739	\$93,374,323	\$62,209,232
Contributions	\$72,205	\$318,251	\$435,800	\$1,014,740	\$16,400,079	\$26,098,325
Withdrawals	-\$14,208	-\$126,411	-\$2,144,927	-\$2,967,625	-\$3,354,938	-\$11,011,553
Net Cash Flow	\$57,997	\$191,840	-\$1,709,127	-\$1,952,885	\$13,045,141	\$15,086,772
Net Investment Change	\$5,824,246	\$7,837,929	-\$6,564,372	\$39,295,160	\$37,969,550	\$67,093,010
Ending Market Value	\$144,389,014	\$144,389,014	\$144,389,014	\$144,389,014	\$144,389,014	\$144,389,014

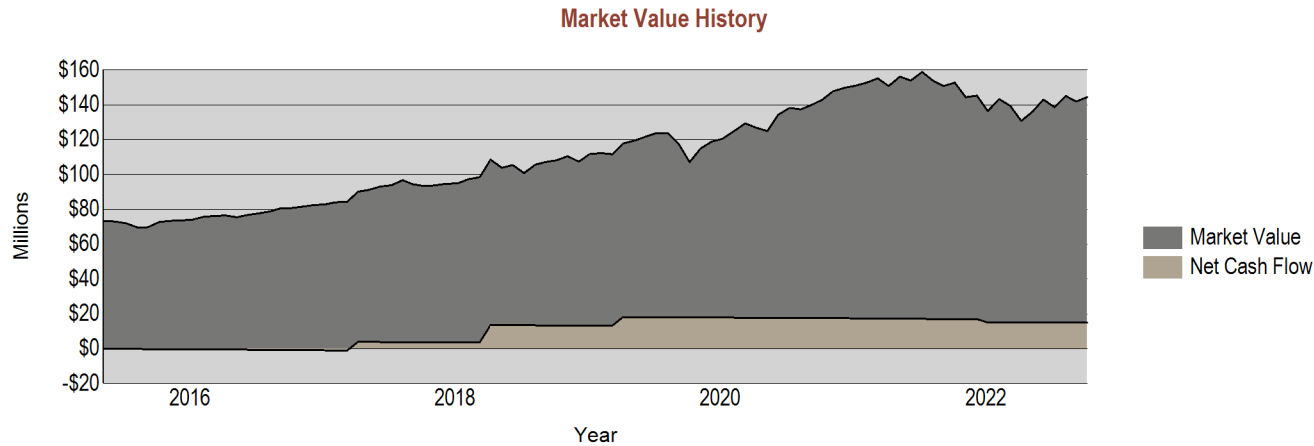
Return Summary (Net)



Asset Allocation vs. Target

	Current	Policy	Difference*	Policy Range	Within Range
U.S. Equity	38.6%	39.0%	-\$583,132	34.0% - 44.0%	Yes
Global Equity	15.2%	15.0%	\$271,507	10.0% - 20.0%	Yes
Non-U.S. Equity	9.2%	9.0%	\$328,248	4.0% - 14.0%	Yes
Real Estate	5.9%	5.0%	\$1,320,081	0.0% - 10.0%	Yes
Infrastructure	5.7%	5.0%	\$940,934	0.0% - 10.0%	Yes
U.S. Fixed Income	24.0%	26.0%	-\$2,885,012	21.0% - 31.0%	Yes
Cash Equivalent	1.4%	1.0%	\$607,374	0.0% - 5.0%	Yes
Total	100.0%	100.0%			

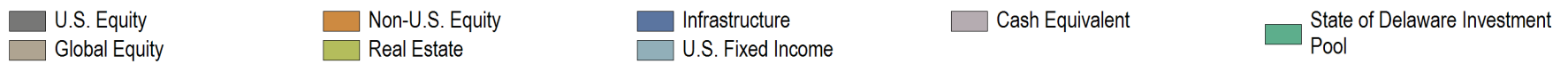
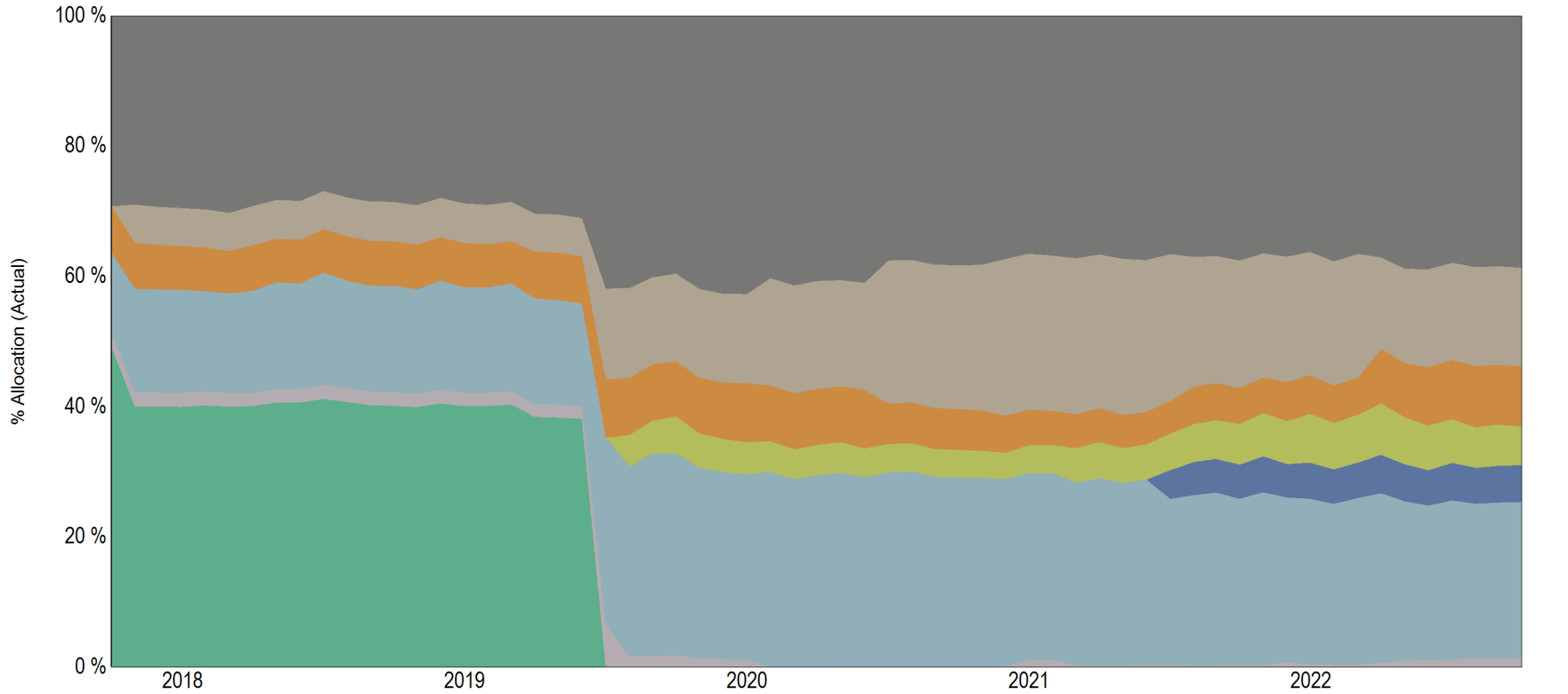
As of March 31, 2023



Cash Flow Summary by Manager for Quarter Ending March 31, 2023

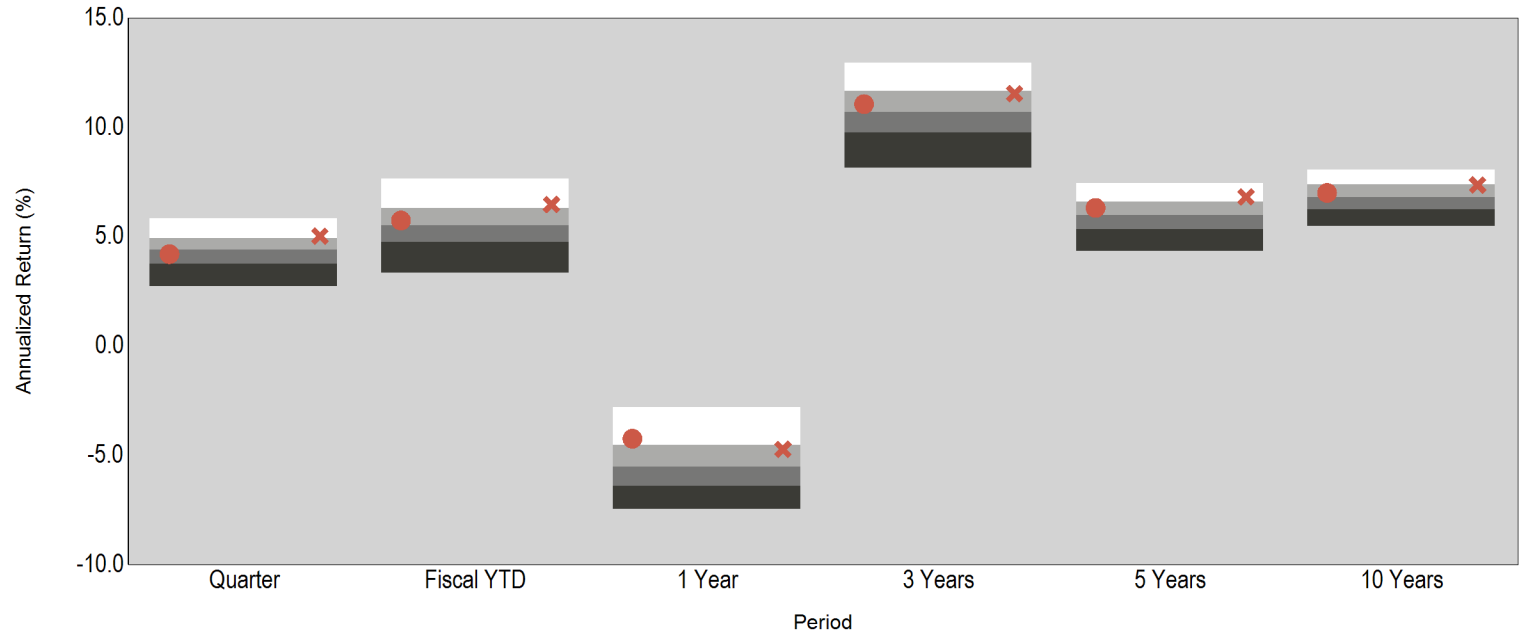
	Beginning Market Value	Net Cash Flow	Net Investment Change	Ending Market Value
Fidelity 500 Index	\$43,091,724	\$0	\$3,230,584	\$46,322,308
Eaton Vance Atlanta Capital SMID	\$4,297,535	\$0	\$42,340	\$4,339,875
Vanguard Small-Cap Value Index	\$5,033,992	\$0	\$32,408	\$5,066,400
Dodge & Cox Global Stock	\$6,887,322	\$0	\$349,555	\$7,236,877
Artisan Global Opportunities	\$6,457,147	\$0	\$586,791	\$7,043,938
MFS Low Volatility Global Equity	\$7,339,752	\$0	\$309,293	\$7,649,044
Schroder Int'l Multi-Cap Value Trust	\$2,010,891	\$0	\$112,229	\$2,123,120
Fidelity Total International Index	\$7,490,074	\$0	\$505,308	\$7,995,383
Harding Loevner Int'l Small Companies Portfolio	\$1,164,564	\$0	\$47,067	\$1,211,631
Wellington Emerging Markets Opportunities	\$1,928,914	\$0	\$64,212	\$1,993,125
Clarion Lion Properties Fund	\$9,303,426	-\$288,056	-\$475,838	\$8,539,532
JPMorgan IIF Hedged LP	\$7,675,846	\$0	\$165,616	\$7,841,462
Cohen & Steers Global Infrastructure Fund	\$316,301	\$0	\$2,621	\$318,922
Wilmington Trust Fixed Income	\$18,021,521	-\$6,680	\$428,059	\$18,442,900
Fidelity Intern. Treasury Bond Index	\$7,064,650	\$0	\$241,177	\$7,305,827
Lord Abbett Short Duration Income	\$8,382,185	\$0	\$159,347	\$8,541,532
Lord Abbett High Yield Fund	\$356,056	\$0	\$9,817	\$365,873
Wilmington U.S. Govt MM Fund - MF Acct	\$988,908	\$280,593	\$13,215	\$1,282,716
M&T Bank Municipal MM Savings	\$695,963	\$72,140	\$446	\$768,549
Total	\$138,506,771	\$57,997	\$5,824,246	\$144,389,014

Asset Allocation History
5 Years Ending March 31, 2023



As of March 31, 2023

InvMetrics Public DB Net Return Comparison

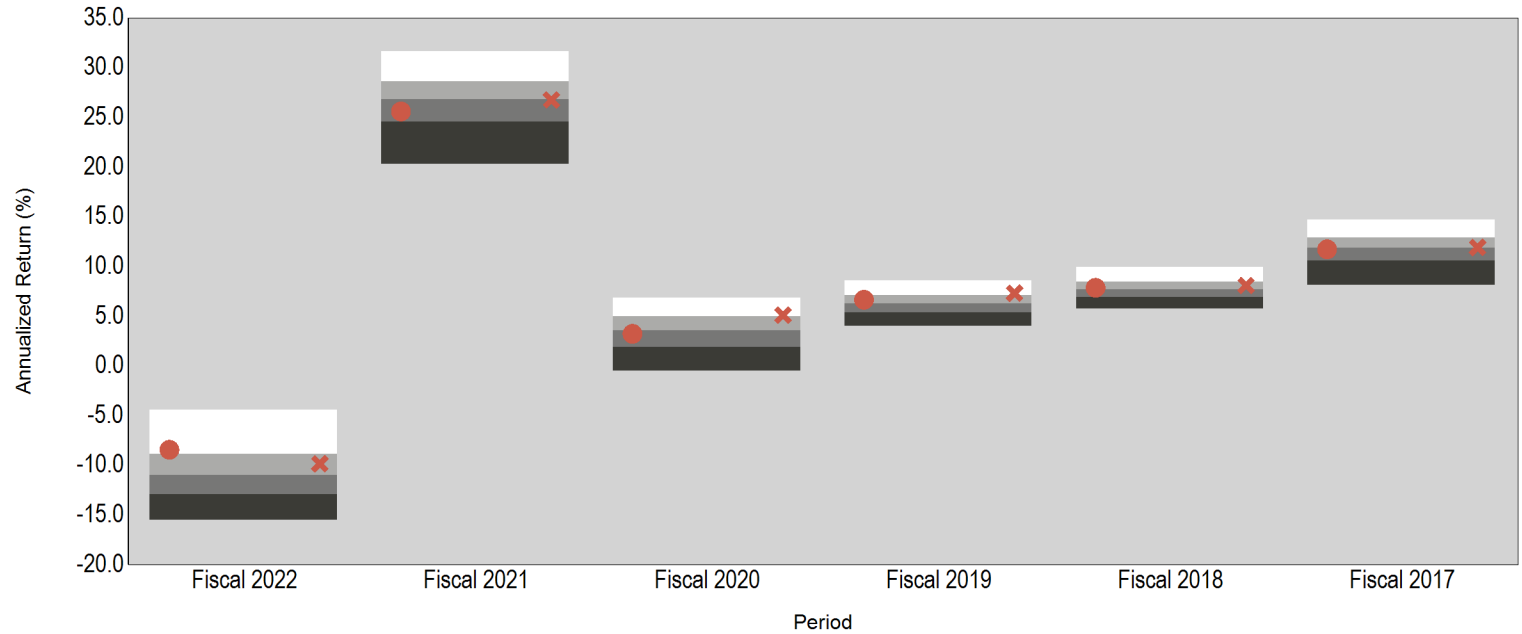


Return (Rank)

5th Percentile	5.8	7.7	-2.8	12.9	7.4	8.1						
25th Percentile	4.9	6.3	-4.5	11.7	6.6	7.4						
Median	4.4	5.5	-5.5	10.7	6.0	6.8						
75th Percentile	3.8	4.8	-6.4	9.8	5.3	6.3						
95th Percentile	2.7	3.4	-7.5	8.2	4.3	5.5						
# of Portfolios	543	542	541	526	514	427						
● Total Fund Composite	4.2	(60)	5.7	(42)	-4.2	(19)	11.1	(40)	6.3	(35)	7.0	(40)
✕ Pension Policy Index	5.0	(21)	6.5	(23)	-4.7	(28)	11.5	(29)	6.8	(16)	7.4	(26)

As of March 31, 2023

InvMetrics Public DB Net Return Comparison



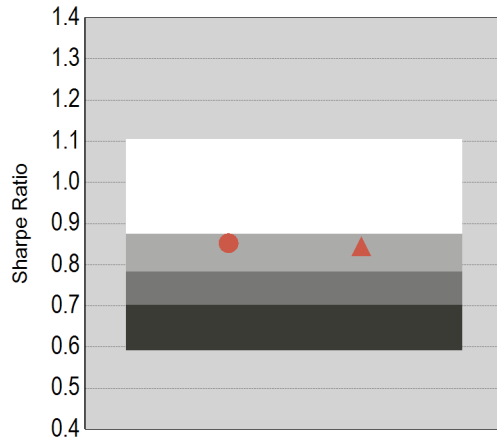
	Return (Rank)											
5th Percentile	-4.4		31.6		6.9		8.6		9.9		14.7	
25th Percentile	-8.9		28.6		5.0		7.1		8.5		12.9	
Median	-11.0		26.8		3.6		6.2		7.7		11.9	
75th Percentile	-12.9		24.6		1.9		5.4		6.9		10.6	
95th Percentile	-15.5		20.3		-0.5		4.0		5.7		8.1	
# of Portfolios	585		603		574		527		233		282	
● Total Fund Composite	-8.4	(21)	25.6	(64)	3.2	(56)	6.7	(36)	7.9	(46)	11.7	(53)
✕ Pension Policy Index	-9.8	(35)	26.8	(52)	5.1	(24)	7.3	(20)	8.1	(38)	11.9	(49)

Sussex County Employee Pension Plan

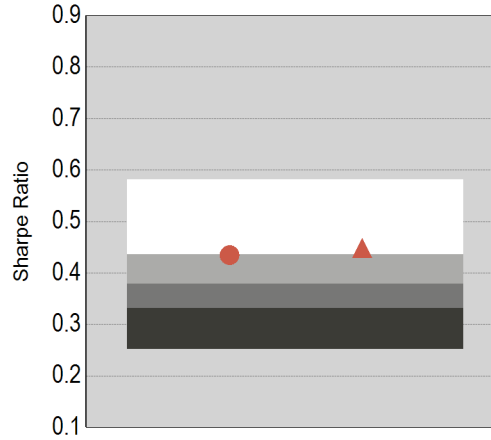
Peer Ranking (Net)

As of March 31, 2023

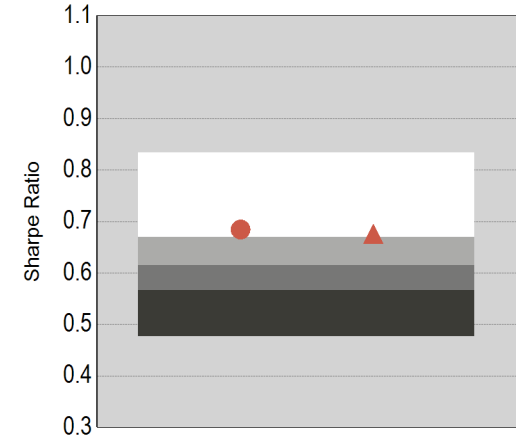
Sharpe Ratio vs. InvMetrics Public DB Net
3 Years Ending March 31, 2023



Sharpe Ratio vs. InvMetrics Public DB Net
5 Years Ending March 31, 2023



Sharpe Ratio vs. InvMetrics Public DB Net
10 Years Ending March 31, 2023



● Total Fund Composite	
Value	0.9
Rank	33
▲ Pension Policy Index	
Value	0.8
Rank	34
Universe	
5th %tile	1.1
25th %tile	0.9
Median	0.8
75th %tile	0.7
95th %tile	0.6

● Total Fund Composite	
Value	0.4
Rank	27
▲ Pension Policy Index	
Value	0.4
Rank	20
Universe	
5th %tile	0.6
25th %tile	0.4
Median	0.4
75th %tile	0.3
95th %tile	0.3

● Total Fund Composite	
Value	0.7
Rank	21
▲ Pension Policy Index	
Value	0.7
Rank	23
Universe	
5th %tile	0.8
25th %tile	0.7
Median	0.6
75th %tile	0.6
95th %tile	0.5

RISK RETURN STATISTICS
April 01, 2018 Through March 31, 2023

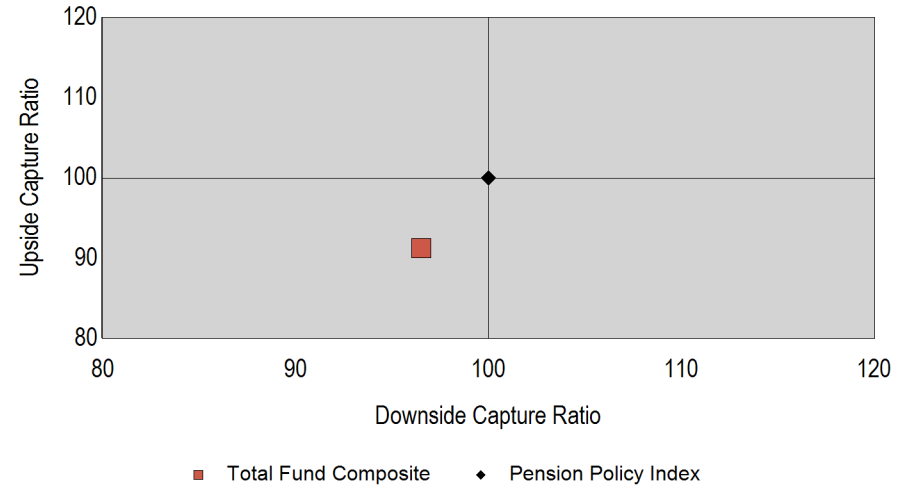
	Total Fund Composite	Pension Policy Index
RETURN SUMMARY STATISTICS		
Number of Periods	60	60
Maximum Return	7.47	8.27
Minimum Return	-9.16	-9.24
Annualized Return	6.32	6.82
Total Return	35.84	39.09
Annualized Excess Return Over Risk Free	4.99	5.50
Annualized Excess Return	-0.50	0.00

	Total Fund Composite	Pension Policy Index
RISK SUMMARY STATISTICS		
Beta	0.93	1.00
Upside Deviation	6.31	6.93
Downside Deviation	7.55	8.26

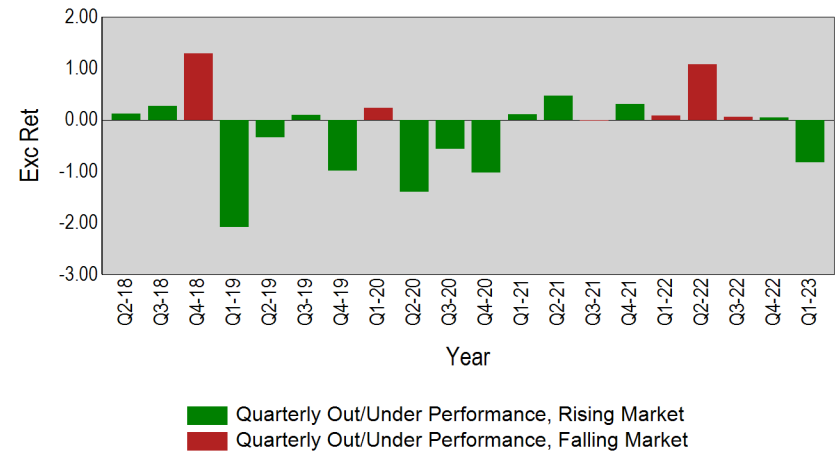
	Total Fund Composite	Pension Policy Index
RISK/RETURN SUMMARY STATISTICS		
Annualized Standard Deviation	11.49	12.26
Alpha	-0.01	0.00
Sharpe Ratio	0.43	0.45
Excess Return Over Market / Risk	-0.04	0.00
Tracking Error	1.37	0.00
Information Ratio	-0.37	--

	Total Fund Composite	Pension Policy Index
CORRELATION STATISTICS		
R-Squared	0.99	1.00
Correlation	1.00	1.00

Upside Capture Ratio vs. Downside Capture Ratio
5 Years Ending March 31, 2023



Quarterly Excess Performance
Total Fund Composite vs. Pension Policy Index



Sussex County Employee Pension Plan

Performance Summary (Net)

As of March 31, 2023

	3 Mo	Fiscal YTD	1 Yr	3 Yrs	5 Yrs	Market Value	% of Portfolio	Policy %	Inception	Inception Date
Total Fund Composite	4.2	5.7	-4.2	11.1	6.3	144,389,014	100.0	100.0	7.4	Nov-11
<i>Pension Policy Index</i>	5.0	6.5	-4.7	11.5	6.8				8.0	Nov-11
<i>InvMetrics Public DB Net Rank</i>	60	42	19	40	35				54	Nov-11
Total Equity Composite	6.2	9.3	-6.8	16.2	8.0	90,981,702	63.0	63.0	11.3	Nov-11
<i>Total Equity Policy Index</i>	7.0	9.9	-7.8	17.0	8.5				11.5	Nov-11
U.S. Equity Composite	6.3	9.4	-7.8	18.8	--	55,728,583	38.6	39.0	8.8	Jan-20
<i>Russell 3000</i>	7.2	9.7	-8.6	18.5	--				8.8	Jan-20
<i>Fidelity 500 Index</i>	7.5	10.0	-7.7	18.6	11.2	46,322,308	32.1	32.0	10.7	Jul-20
<i>S&P 500</i>	7.5	10.0	-7.7	18.6	11.2				10.7	Jul-20
<i>Large Cap MStar MF Rank</i>	35	37	53	34	20				43	Jul-20
<i>Eaton Vance Atlanta Capital SMID</i>	1.0	--	--	--	--	4,339,875	3.0	3.3	12.7	Sep-22
<i>Russell 2500</i>	3.4	--	--	--	--				11.1	Sep-22
<i>SMID Blend MStar MF Rank</i>	90	--	--	--	--				48	Sep-22
<i>Vanguard Small-Cap Value Index</i>	0.6	8.0	-7.6	23.9	6.4	5,066,400	3.5	3.8	17.1	Jul-20
<i>CRSP US Small Cap Value TR USD</i>	0.6	8.0	-7.6	23.8	6.4				17.1	Jul-20
<i>Small Value MStar MF Rank</i>	62	49	56	57	38				61	Jul-20
Global Equity Composite	6.0	8.4	-6.2	11.4	--	21,929,859	15.2	15.0	3.0	Jan-20
<i>MSCI ACWI IMI Net USD</i>	6.9	9.7	-7.7	15.6	--				5.8	Jan-20
<i>Dodge & Cox Global Stock</i>	5.1	7.2	-3.2	22.5	7.1	7,236,877	5.0	5.0	8.3	Dec-20
<i>MSCI ACWI Value NR USD</i>	1.2	6.8	-5.5	15.2	4.3				5.1	Dec-20
<i>Global Large Stock Value Mstar MF Rank</i>	37	66	64	10	21				19	Dec-20
<i>Artisan Global Opportunities</i>	9.1	10.9	-11.9	11.8	7.8	7,043,938	4.9	5.0	-6.1	Dec-20
<i>MSCI ACWI Growth</i>	13.8	12.7	-10.0	14.7	9.0				-2.2	Dec-20
<i>Global Large Stock Growth Mstar MF Rank</i>	48	61	80	70	47				72	Dec-20
<i>MFS Low Volatility Global Equity</i>	4.2	8.6	-1.1	13.3	--	7,649,044	5.3	5.0	7.5	May-18
<i>MSCI ACWI Minimum Volatility Index</i>	1.5	3.5	-6.1	8.2	--				5.1	May-18
<i>eV Global Low Volatility Equity Net Rank</i>	22	8	8	8	--				1	May-18

Sussex County Employee Pension Plan

Performance Summary (Net)

As of March 31, 2023

	3 Mo	Fiscal YTD	1 Yr	3 Yrs	5 Yrs	Market Value	% of Portfolio	Policy %	Inception	Inception Date
Non-U.S. Equity Composite	5.8	7.5	-6.3	12.2	--	13,323,259	9.2	9.0	2.7	Jan-20
MSCI ACWI ex USA IMI	6.6	9.9	-5.8	12.2	--				2.2	Jan-20
Schroder Int'l Multi-Cap Value Trust	5.6	7.3	-5.7	--	--	2,123,120	1.5	1.5	3.1	Dec-20
MSCI ACWI ex USA IMI Value (Net)	5.0	8.9	-4.6	--	--				2.5	Dec-20
eV Non-US Diversified Value Eq Net Rank	84	95	90	--	--				60	Dec-20
Fidelity Total International Index	6.7	9.7	-4.7	12.4	2.4	7,995,383	5.5	5.0	-1.4	Dec-20
MSCI ACWI ex USA IMI	6.6	9.9	-5.8	12.2	2.4				-1.6	Dec-20
Foreign Large Blend MStar MF Rank	78	83	80	69	71				72	Dec-20
Harding Loevner Int'l Small Companies Portfolio	4.0	10.4	-8.4	--	--	1,211,631	0.8	1.0	-11.3	Jan-22
MSCI ACWI ex US Small Cap Growth NR USD	5.6	8.6	-12.9	--	--				-11.8	Jan-22
eV ACWI ex-US Small Cap Growth Equity Net Rank	83	44	23	--	--				35	Jan-22
Wellington Emerging Markets Opportunities	3.3	-1.6	-11.3	--	--	1,993,125	1.4	1.5	-19.1	Jan-22
MSCI Emerging Markets	4.0	0.8	-10.7	--	--				-13.3	Jan-22
Diversified Emerging Mkts MStar MF Rank	84	90	76	--	--				86	Jan-22
Real Estate Composite						8,539,532	5.9	5.0		
Clarion Lion Properties Fund	-5.3	-10.0	-3.6	8.1	--	8,539,532	5.9	5.0	7.8	Jan-20
NFI-ODCE	-3.3	-8.0	-3.9	7.5	--				7.1	Jan-20
InvMetrics Public DB Real Estate Priv Net Rank	72	77	47	29	--				29	Jan-20
Infrastructure Composite	2.1	7.9	9.0	--	--	8,160,384	5.7	5.0	8.9	Dec-21
CPI +4%	2.7	4.9	9.2	--	--				10.8	Dec-21
JPMorgan IIF Hedged LP	2.2	8.2	10.1	--	--	7,841,462	5.4	5.0	9.5	Dec-21
CPI +4%	2.7	4.9	9.2	--	--				10.8	Dec-21
Cohen & Steers Global Infrastructure Fund	0.8	0.1	-6.8	--	--	318,922	0.2	0.0	-0.5	Jan-22
FTSE Global Core Infrastructure 50/50 Index (Net)	0.6	-0.3	-7.8	--	--				-1.2	Jan-22
Infrastructure Mstar MF Rank	81	64	47	--	--				38	Jan-22

Sussex County Employee Pension Plan

Performance Summary (Net)

As of March 31, 2023

	3 Mo	Fiscal YTD	1 Yr	3 Yrs	5 Yrs	Market Value	% of Portfolio	Policy %	Inception	Inception Date
Fixed Income Composite	2.5	1.0	-1.5	-0.8	1.5	34,656,131	24.0	26.0	1.3	Nov-11
<i>Bloomberg US Govt/Credit Int TR</i>	2.3	0.7	-1.7	-1.3	1.4				1.6	Nov-11
Wilmington Trust Fixed Income	2.4	1.0	-1.2	-0.9	1.5	18,442,900	12.8	13.0	1.4	Nov-11
<i>WT Fixed Income Policy Index</i>	2.3	0.7	-1.7	-1.3	1.4				1.3	Nov-11
<i>eV US Interm Duration Fixed Inc Net Rank</i>	45	30	8	53	35				85	Nov-11
Fidelity Interm. Treasury Bond Index	3.4	-0.6	-4.0	-4.3	--	7,305,827	5.1	6.0	-1.5	Dec-19
<i>Bloomberg US Treasury 5-10 Yr TR</i>	3.2	-0.7	-4.1	-4.2	--				-1.5	Dec-19
<i>Intermediate Government MStar MF Rank</i>	1	18	15	89	--				16	Dec-19
Lord Abbett Short Duration Income	1.9	1.5	-0.3	2.4	--	8,541,532	5.9	7.0	0.5	Dec-19
<i>ICE BofA 1-3 Yrs US Corporate TR</i>	1.3	1.4	0.4	1.0	--				0.5	Dec-19
<i>Short-Term Bond MStar MF Rank</i>	28	51	51	18	--				38	Dec-19
Lord Abbett High Yield Fund	2.8	5.7	--	--	--	365,873	0.3	0.0	5.7	Jun-22
<i>BofA ML US High Yield Constrained Index</i>	3.7	7.1	--	--	--				7.1	Jun-22
<i>High Yield Bond MStar MF Rank</i>	76	79	--	--	--				79	Jun-22
Cash & Equivalents						2,051,264	1.4	1.0		
Wilmington U.S. Govt MM Fund - MF Acct						1,282,716	0.9	1.0		
M&T Bank Municipal MM Savings						768,549	0.5	0.0		

As of March 31, 2023

Investment Manager Fees

Investment Name	Ticker	Market Value	Allocation	Estimated Annual Fee	Annual Expense Ratio
Fidelity 500 Index	FXAIX	\$46,322,308	32.1%	\$9,264	0.02%
Eaton Vance Atlanta Capital SMID	ERASX	\$4,339,875	3.0%	\$35,153	0.81%
Vanguard Small-Cap Value Index	VSIIIX	\$5,066,400	3.5%	\$3,040	0.06%
Dodge & Cox Global Stock	DODWX	\$7,236,877	5.0%	\$44,869	0.62%
Artisan Global Opportunities	APHRX	\$7,043,938	4.9%	\$63,395	0.90%
MFS Low Volatility Global Equity	-	\$7,649,044	5.3%	\$25,242	0.33%
Schroder Int'l Multi-Cap Value Trust	-	\$2,123,120	1.5%	\$11,677	0.55%
Fidelity Total International Index	FTIHX	\$7,995,383	5.5%	\$4,797	0.06%
Harding Loevner Int'l Small Companies Portfolio	HLMRX	\$1,211,631	0.8%	\$13,570	1.12%
Wellington Emerging Markets Opportunities	TEOOX	\$1,993,125	1.4%	\$17,540	0.88%
Clarion Lion Properties Fund	-	\$8,539,532	5.9%	\$72,586	0.85%
JPMorgan IIF Hedged LP	-	\$7,841,462	5.4%	\$61,163	0.78%
Cohen & Steers Global Infrastructure Fund	CSUIX	\$318,922	0.2%	\$2,838	0.89%
Wilmington Trust Fixed Income	-	\$18,442,900	12.8%	\$27,664	0.15%
Fidelity Interm. Treasury Bond Index	FUAMX	\$7,305,827	5.1%	\$2,192	0.03%
Lord Abbett Short Duration Income	LDLVX	\$8,541,532	5.9%	\$27,333	0.32%
Lord Abbett High Yield Fund	LHYVX	\$365,873	0.3%	\$2,159	0.59%
Wilmington U.S. Govt MM Fund - MF Acct	WGOXX	\$1,282,716	0.9%	\$3,976	0.31%
M&T Bank Municipal MM Savings	-	\$768,549	0.5%	\$0	0.00%
Totals:		\$144,389,014		\$428,459	0.30%

Management Fees

Description	Estimated Annual Fee	Annual Expense Ratio
Investment Consultant Fee Marquette Associates, Inc. 14 basis points on first \$100m, 9 basis thereafter*	\$165,516	0.11%
Totals:	\$165,516	0.11%
Total Fees	\$593,976	0.41%

*Investment Consultant Fee calculated on aggregate market value of the Employee Pension Plan & the OPEB Plan.

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OPEB Plan

Portfolio Overview



Observations

- Market Value as of March 31, 2023 was \$58.6 million
 - Q1-23 net investment change of \$2.4 million, returning 4.2% (net), vs. policy index of 5.0%
 - 1-Year return of -4.3% (net) vs. policy index of -4.7%
- Positive attribution for the quarter from:
 - Fixed Income
- Negative attribution for the quarter from:
 - Asset Allocation
 - Equity Structure
 - Underperformance by Clarion

Looking Ahead

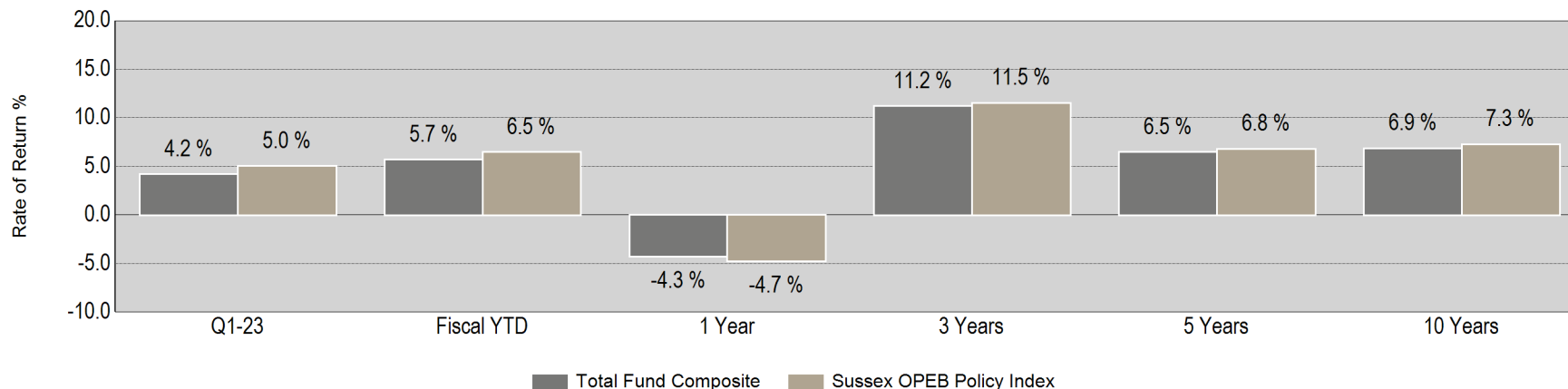
- Asset Allocation
- Wilmington Trust portfolio manager change

As of March 31, 2023

Summary of Cash Flows

	First Quarter	Fiscal Year-To-Date	One Year	Three Years	Five Years	Ten Years
Beginning Market Value	\$56,241,660	\$55,491,281	\$61,082,616	\$42,471,044	\$42,758,159	\$27,638,534
Contributions	\$23	\$23	\$170,033	\$581,476	\$639,509	\$9,586,335
Withdrawals	-\$6,426	-\$53,827	-\$61,948	-\$279,037	-\$402,911	-\$5,644,015
Net Cash Flow	-\$6,403	-\$53,804	\$108,085	\$302,439	\$236,599	\$3,942,320
Net Investment Change	\$2,360,974	\$3,158,753	-\$2,594,471	\$15,822,747	\$15,601,473	\$27,015,376
Ending Market Value	\$58,596,230	\$58,596,230	\$58,596,230	\$58,596,230	\$58,596,230	\$58,596,230

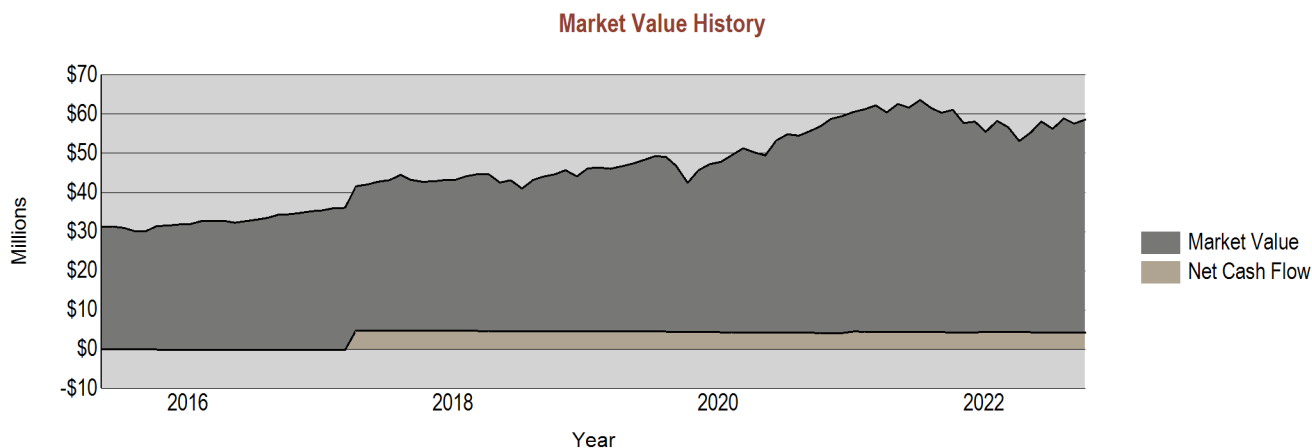
Return Summary (Net)



Asset Allocation vs. Target

	Current	Policy	Difference*	Policy Range	Within Range
U.S. Equity	38.9%	39.0%	-\$45,523	34.0% - 44.0%	Yes
Global Equity	14.9%	15.0%	-\$33,437	10.0% - 20.0%	Yes
Non-U.S. Equity	9.3%	9.0%	\$163,482	4.0% - 14.0%	Yes
Real Estate	5.9%	5.0%	\$512,985	0.0% - 10.0%	Yes
Infrastructure	5.5%	5.0%	\$280,963	0.0% - 10.0%	Yes
U.S. Fixed Income	24.5%	26.0%	-\$885,721	21.0% - 31.0%	Yes
Cash Equivalent	1.0%	1.0%	\$7,250	0.0% - 5.0%	Yes
Total	100.0%	100.0%			

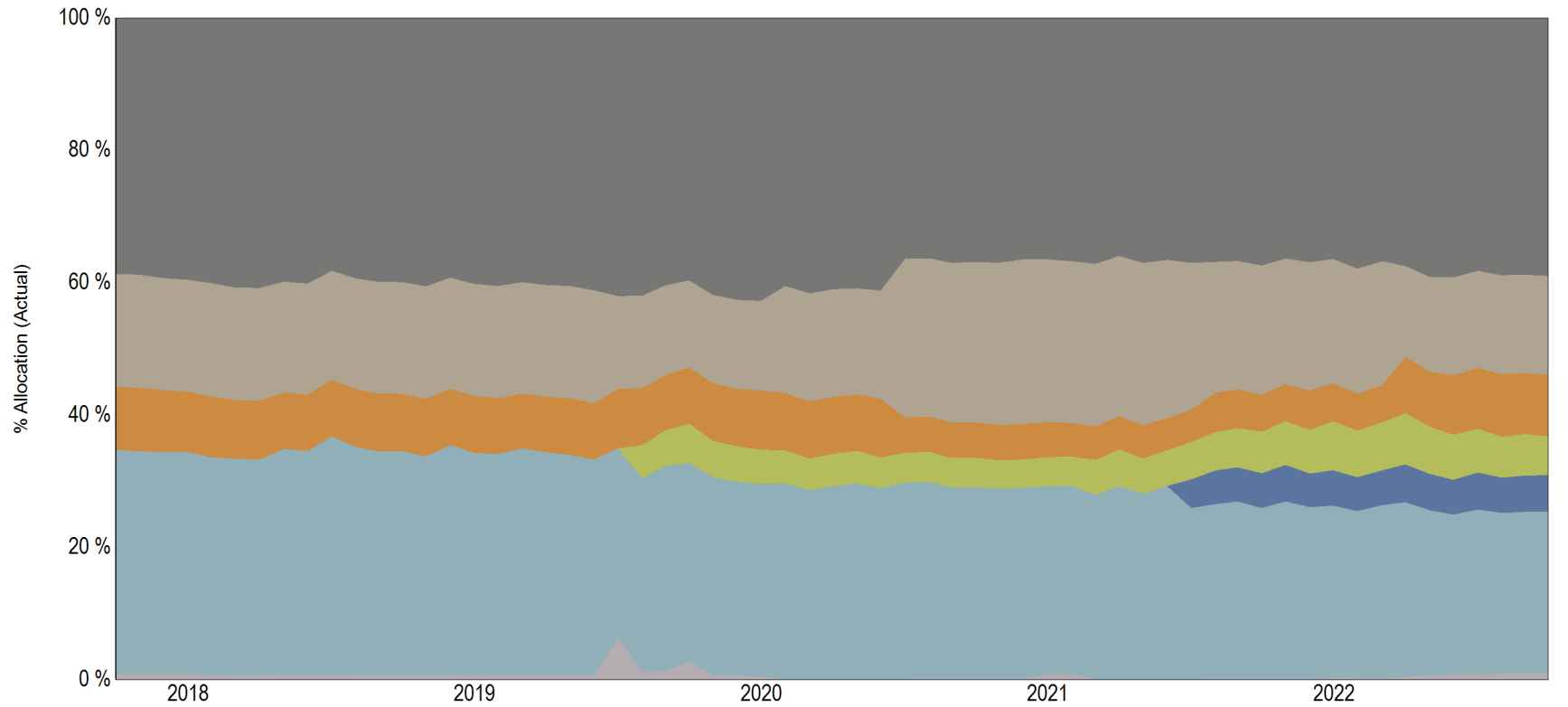
As of March 31, 2023



Cash Flow Summary by Manager for Quarter Ending March 31, 2023

	Beginning Market Value	Net Cash Flow	Net Investment Change	Ending Market Value
Fidelity 500 Index	\$17,592,618	\$0	\$1,318,918	\$18,911,535
Eaton Vance Atlanta Capital SMID	\$1,817,808	\$0	\$17,909	\$1,835,717
Vanguard Small-Cap Value Index	\$2,046,578	\$0	\$13,175	\$2,059,754
Dodge & Cox Global Stock	\$2,804,199	\$0	\$142,323	\$2,946,521
Artisan Global Opportunities	\$2,543,647	\$0	\$231,153	\$2,774,800
MFS Low Volatility Global Equity	\$2,917,346	\$0	\$117,331	\$3,034,676
Hartford Schroders Int'l Multi-Cap Value	\$792,769	\$0	\$48,034	\$840,803
Fidelity Total International Index	\$3,003,279	\$0	\$202,612	\$3,205,892
Harding Loevner Int'l Small Companies Portfolio	\$496,172	\$0	\$20,054	\$516,226
Wellington Emerging Markets Opportunities	\$846,058	\$0	\$28,164	\$874,223
Clarion Lion Properties Fund	\$3,743,195	-\$108,559	-\$191,839	\$3,442,797
JPMorgan IIF Hedged LP	\$3,015,511	\$0	\$65,063	\$3,080,575
Cohen & Steers Global Infrastructure Fund	\$129,130	\$0	\$1,070	\$130,200
Wilmington Trust Fixed Income	\$8,185,046	-\$3,028	\$191,493	\$8,373,511
Fidelity Intern. Treasury Bond Index	\$2,563,348	\$0	\$87,509	\$2,650,857
Lord Abbett Short Duration Income	\$3,116,813	\$0	\$59,251	\$3,176,064
Lord Abbett High Yield Fund	\$144,872	\$0	\$3,994	\$148,867
Wilmington U.S. Govt MM Fund - MF Acct	\$344,511	\$105,184	\$4,673	\$454,369
M&T Bank Municipal MM Savings	\$138,759	\$0	\$85	\$138,844
Total	\$56,241,660	-\$6,403	\$2,360,974	\$58,596,230

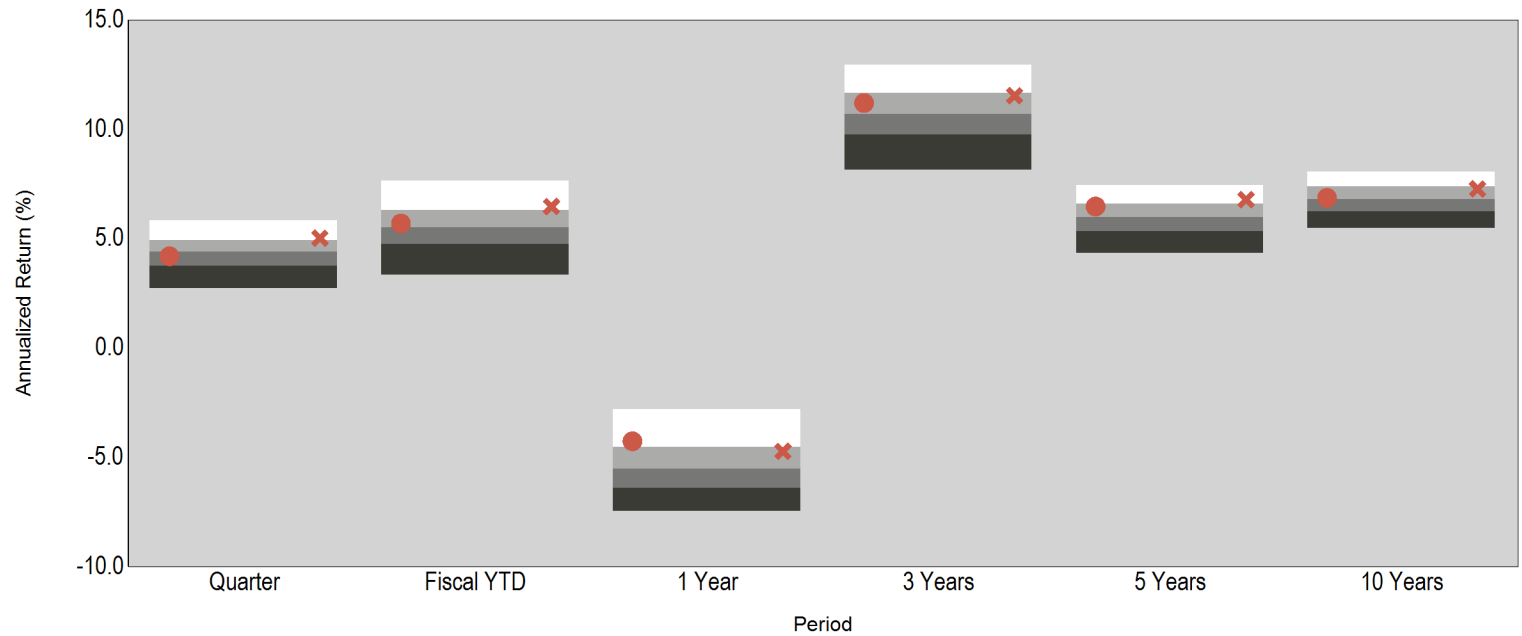
Asset Allocation History
5 Years Ending March 31, 2023



U.S. Equity
 Global Equity
 Non-U.S. Equity
 Real Estate
 Infrastructure
 U.S. Fixed Income
 Cash Equivalent

As of March 31, 2023

InvMetrics Public DB Net Return Comparison

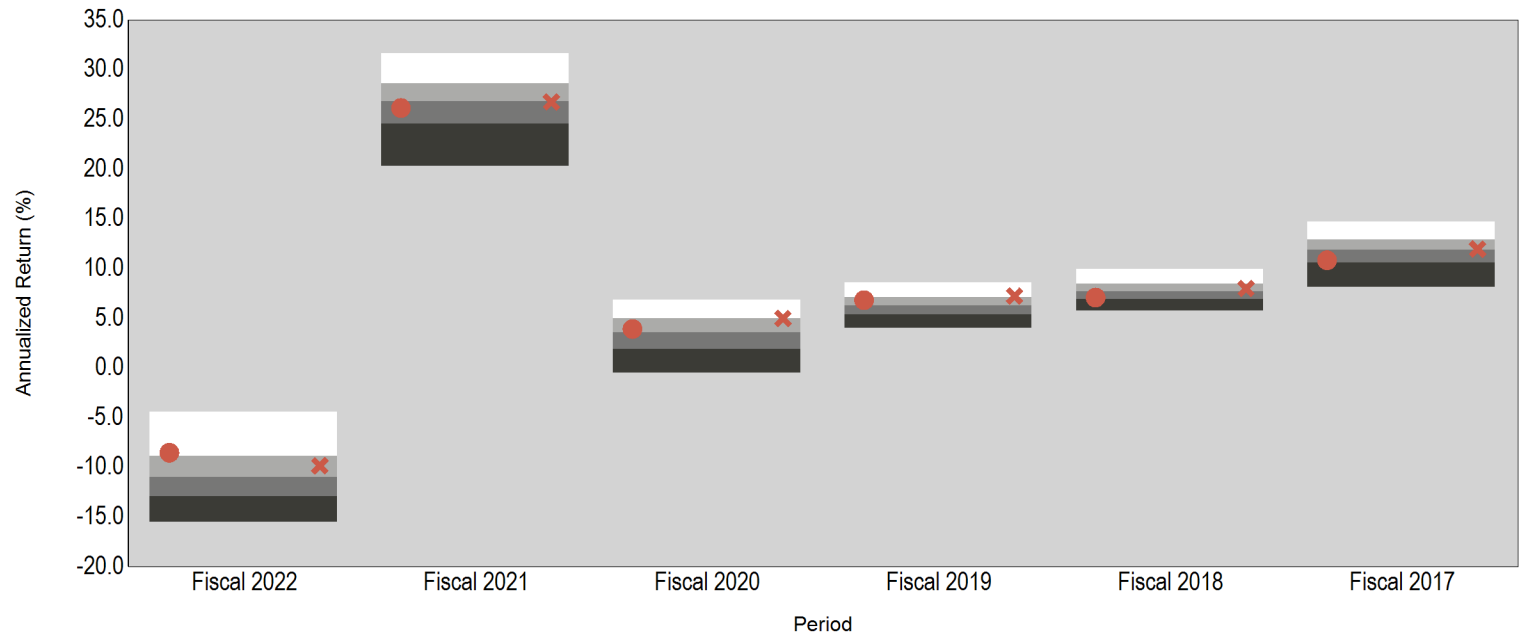


Return (Rank)

5th Percentile	5.8	7.7	-2.8	12.9	7.4	8.1						
25th Percentile	4.9	6.3	-4.5	11.7	6.6	7.4						
Median	4.4	5.5	-5.5	10.7	6.0	6.8						
75th Percentile	3.8	4.8	-6.4	9.8	5.3	6.3						
95th Percentile	2.7	3.4	-7.5	8.2	4.3	5.5						
# of Portfolios	543	542	541	526	514	427						
● Total Fund Composite	4.2	(60)	5.7	(45)	-4.3	(20)	11.2	(37)	6.5	(30)	6.9	(47)
✕ Sussex OPEB Policy Index	5.0	(21)	6.5	(23)	-4.7	(28)	11.5	(29)	6.8	(17)	7.3	(29)

As of March 31, 2023

InvMetrics Public DB Net Return Comparison

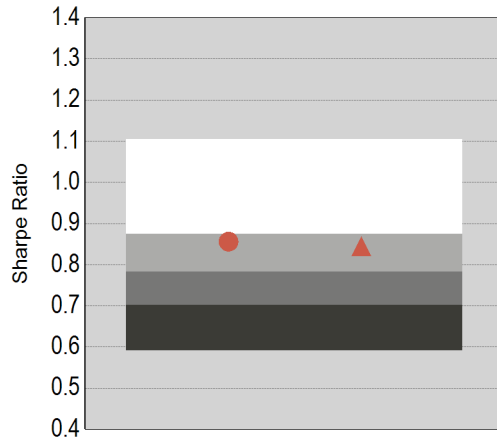


Return (Rank)

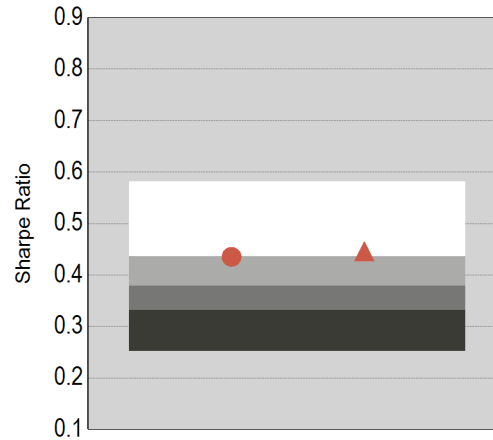
5th Percentile	-4.4	31.6	6.9	8.6	9.9	14.7						
25th Percentile	-8.9	28.6	5.0	7.1	8.5	12.9						
Median	-11.0	26.8	3.6	6.2	7.7	11.9						
75th Percentile	-12.9	24.6	1.9	5.4	6.9	10.6						
95th Percentile	-15.5	20.3	-0.5	4.0	5.7	8.1						
# of Portfolios	585	603	574	527	233	282						
● Total Fund Composite	-8.5	(22)	26.1	(59)	3.9	(43)	6.8	(33)	7.1	(69)	10.8	(67)
✕ Sussex OPEB Policy Index	-9.8	(35)	26.8	(52)	5.0	(26)	7.2	(21)	8.0	(41)	12.0	(48)

As of March 31, 2023

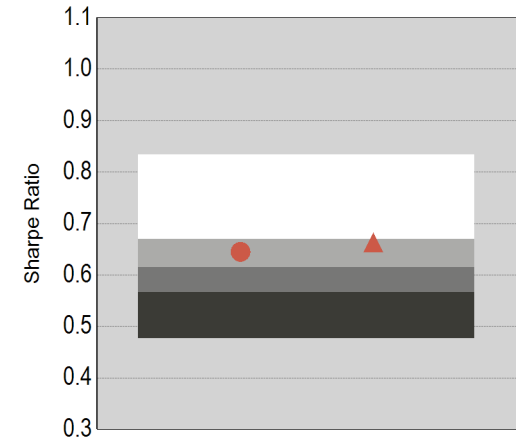
Sharpe Ratio vs. InvMetrics Public DB Net
3 Years Ending March 31, 2023



Sharpe Ratio vs. InvMetrics Public DB Net
5 Years Ending March 31, 2023



Sharpe Ratio vs. InvMetrics Public DB Net
10 Years Ending March 31, 2023



● Total Fund Composite	
Value	0.9
Rank	31
▲ Sussex OPEB Policy Index	
Value	0.8
Rank	34
Universe	
5th %tile	1.1
25th %tile	0.9
Median	0.8
75th %tile	0.7
95th %tile	0.6

● Total Fund Composite	
Value	0.4
Rank	26
▲ Sussex OPEB Policy Index	
Value	0.4
Rank	21
Universe	
5th %tile	0.6
25th %tile	0.4
Median	0.4
75th %tile	0.3
95th %tile	0.3

● Total Fund Composite	
Value	0.6
Rank	36
▲ Sussex OPEB Policy Index	
Value	0.7
Rank	29
Universe	
5th %tile	0.8
25th %tile	0.7
Median	0.6
75th %tile	0.6
95th %tile	0.5

Sussex County OPEB Plan

Performance Summary (Net)

As of March 31, 2023

	3 Mo	Fiscal YTD	1 Yr	3 Yrs	5 Yrs	Market Value	% of Portfolio	Policy %	Inception	Inception Date
Total Fund Composite	4.2	5.7	-4.3	11.2	6.5	58,596,230	100.0	100.0	7.0	Nov-11
<i>Sussex OPEB Policy Index</i>	5.0	6.5	-4.7	11.5	6.8				7.9	Nov-11
<i>InvMetrics Public DB Net Rank</i>	60	45	20	37	30				71	Nov-11
Total Equity Composite	6.1	9.2	-6.8	16.3	7.9	37,000,148	63.1	63.0	10.4	Nov-11
<i>Equity Policy Index</i>	7.0	9.9	-7.8	17.0	8.4				11.0	Nov-11
U.S. Equity Composite	6.3	9.4	-7.7	18.9	--	22,807,007	38.9	39.0	8.9	Jan-20
<i>Russell 3000</i>	7.2	9.7	-8.6	18.5	--				8.8	Jan-20
<i>Fidelity 500 Index</i>	7.5	10.0	-7.7	--	--	18,911,535	32.3	32.0	10.6	Jul-20
<i>S&P 500</i>	7.5	10.0	-7.7	--	--				10.7	Jul-20
<i>Large Cap MStar MF Rank</i>	35	37	53	--	--				43	Jul-20
<i>Eaton Vance Atlanta Capital SMID</i>	1.0	--	--	--	--	1,835,717	3.1	3.3	12.7	Sep-22
<i>Russell 2500</i>	3.4	--	--	--	--				11.1	Sep-22
<i>SMID Blend MStar MF Rank</i>	90	--	--	--	--				48	Sep-22
<i>Vanguard Small-Cap Value Index</i>	0.6	8.0	-7.6	--	--	2,059,754	3.5	3.8	17.1	Jul-20
<i>CRSP US Small Cap Value TR USD</i>	0.6	8.0	-7.6	--	--				17.1	Jul-20
<i>Small Value MStar MF Rank</i>	62	49	56	--	--				61	Jul-20
Global Equity Composite	5.9	8.2	-6.3	12.6	--	8,755,998	14.9	15.0	4.0	Jan-20
<i>MSCI ACWI IMI Net USD</i>	6.9	9.7	-7.7	15.6	--				5.8	Jan-20
<i>Dodge & Cox Global Stock</i>	5.1	7.2	-3.2	--	--	2,946,521	5.0	5.0	8.3	Dec-20
<i>MSCI ACWI Value NR USD</i>	1.2	6.8	-5.5	--	--				5.1	Dec-20
<i>Global Large Stock Value Mstar MF Rank</i>	37	66	64	--	--				19	Dec-20
<i>Artisan Global Opportunities</i>	9.1	10.9	-11.9	--	--	2,774,800	4.7	5.0	-6.1	Dec-20
<i>MSCI ACWI Growth</i>	13.8	12.7	-10.0	--	--				-2.2	Dec-20
<i>Global Large Stock Growth Mstar MF Rank</i>	48	61	80	--	--				72	Dec-20
<i>MFS Low Volatility Global Equity</i>	4.0	8.2	-1.7	12.9	7.2	3,034,676	5.2	5.0	7.2	Dec-14
<i>MSCI ACWI Minimum Volatility Index</i>	1.5	3.5	-6.1	8.2	5.0				6.3	Dec-14
<i>eV Global Low Volatility Equity Net Rank</i>	27	9	13	21	7				11	Dec-14

Sussex County OPEB Plan

Performance Summary (Net)

As of March 31, 2023

	3 Mo	Fiscal YTD	1 Yr	3 Yrs	5 Yrs	Market Value	% of Portfolio	Policy %	Inception	Inception Date
Non-U.S. Equity Composite	5.8	7.3	-6.2	10.4	--	5,437,143	9.3	9.0	-0.1	Jan-20
<i>MSCI ACWI ex USA IMI</i>	6.6	9.9	-5.8	12.2	--				2.2	Jan-20
Hartford Schroders Int'l Multi-Cap Value	6.1	7.3	-5.1	14.4	--	840,803	1.4	1.5	--	Dec-19
<i>MSCI ACWI ex USA IMI Value (Net)</i>	5.0	8.9	-4.6	14.1	--				--	Dec-19
<i>Foreign Large Value MStar MF Rank</i>	78	97	97	66	--				--	Dec-19
Fidelity Total International Index	6.7	9.7	-4.7	--	--	3,205,892	5.5	5.0	-1.4	Dec-20
<i>MSCI ACWI ex USA IMI</i>	6.6	9.9	-5.8	--	--				-1.6	Dec-20
<i>Foreign Large Blend MStar MF Rank</i>	78	83	80	--	--				72	Dec-20
Harding Loevner Int'l Small Companies Portfolio	4.0	10.4	-8.4	--	--	516,226	0.9	1.0	-11.3	Jan-22
<i>MSCI ACWI ex US Small Cap Growth NR USD</i>	5.6	8.6	-12.9	--	--				-11.8	Jan-22
<i>eV ACWI ex-US Small Cap Growth Equity Net Rank</i>	83	44	23	--	--				35	Jan-22
Wellington Emerging Markets Opportunities	3.3	-1.6	-11.3	--	--	874,223	1.5	1.5	-19.1	Jan-22
<i>MSCI Emerging Markets</i>	4.0	0.8	-10.7	--	--				-13.3	Jan-22
<i>Diversified Emerging Mkts MStar MF Rank</i>	84	90	76	--	--				86	Jan-22
Real Estate Composite						3,442,797	5.9	5.0		
Clarion Lion Properties Fund	-5.3	-10.0	-3.6	8.1	--	3,442,797	5.9	5.0	7.8	Jan-20
<i>NFI-ODCE</i>	-3.3	-8.0	-3.9	7.5	--				7.1	Jan-20
<i>InvMetrics Public DB Real Estate Priv Net Rank</i>	72	77	47	29	--				29	Jan-20
Infrastructure Composite	2.1	7.9	8.9	--	--	3,210,775	5.5	5.0	8.8	Dec-21
<i>CPI +4%</i>	2.7	4.9	9.2	--	--				10.8	Dec-21
JPMorgan IIF Hedged LP	2.2	8.2	10.1	--	--	3,080,575	5.3	5.0	9.5	Dec-21
<i>CPI +4%</i>	2.7	4.9	9.2	--	--				10.8	Dec-21
Cohen & Steers Global Infrastructure Fund	0.8	0.1	-6.8	--	--	130,200	0.2	0.0	-0.5	Jan-22
<i>FTSE Global Core Infrastructure 50/50 Index (Net)</i>	0.6	-0.3	-7.8	--	--				-1.2	Jan-22
<i>Infrastructure Mstar MF Rank</i>	81	64	47	--	--				38	Jan-22

Sussex County OPEB Plan

Performance Summary (Net)

As of March 31, 2023

	3 Mo	Fiscal YTD	1 Yr	3 Yrs	5 Yrs	Market Value	% of Portfolio	Policy %	Inception	Inception Date
Fixed Income Composite	2.4	0.9	-1.6	-0.4	1.7	14,349,299	24.5	26.0	1.3	Nov-11
<i>Bloomberg US Govt/Credit Int TR</i>	2.3	0.7	-1.7	-1.3	1.4				1.6	Nov-11
Wilmington Trust Fixed Income	2.3	0.9	-1.2	-0.8	1.5	8,373,511	14.3	15.0	1.3	Mar-12
<i>WT Fixed Income Policy Index</i>	2.3	0.7	-1.7	-1.3	1.4				1.3	Mar-12
<i>eV US Interm Duration Fixed Inc Net Rank</i>	50	35	7	46	40				84	Mar-12
Fidelity Interm. Treasury Bond Index	3.4	-0.6	-4.0	--	--	2,650,857	4.5	5.0	-5.3	May-21
<i>Bloomberg US Treasury 5-10 Yr TR</i>	3.2	-0.7	-4.1	--	--				-5.4	May-21
<i>Intermediate Government MStar MF Rank</i>	1	18	15	--	--				39	May-21
Lord Abbett Short Duration Income	1.9	1.5	-0.3	--	--	3,176,064	5.4	6.0	-1.5	May-21
<i>ICE BofA 1-3 Yrs US Corporate TR</i>	1.3	1.4	0.4	--	--				-1.8	May-21
<i>Short-Term Bond MStar MF Rank</i>	28	51	51	--	--				33	May-21
Lord Abbett High Yield Fund	2.8	5.7	--	--	--	148,867	0.3	0.0	5.7	Jun-22
<i>BofA ML US High Yield Constrained Index</i>	3.7	7.1	--	--	--				7.1	Jun-22
<i>High Yield Bond MStar MF Rank</i>	76	79	--	--	--				79	Jun-22
Cash & Equivalents						593,212	1.0	1.0		
Wilmington U.S. Govt MM Fund - MF Acct						454,369	0.8	1.0		
M&T Bank Municipal MM Savings						138,844	0.2	0.0		

As of March 31, 2023

Investment Manager Fees

Investment Name	Ticker	Market Value	Allocation	Estimated Annual Fee	Annual Expense Ratio
Fidelity 500 Index	FXAIX	\$18,911,535	32.3%	\$3,782	0.02%
Eaton Vance Atlanta Capital SMID	ERASX	\$1,835,717	3.1%	\$14,869	0.81%
Vanguard Small-Cap Value Index	VSIX	\$2,059,754	3.5%	\$1,236	0.06%
Dodge & Cox Global Stock	DODWX	\$2,946,521	5.0%	\$18,268	0.62%
Artisan Global Opportunities	APHRX	\$2,774,800	4.7%	\$24,973	0.90%
MFS Low Volatility Global Equity	MVGNX	\$3,034,676	5.2%	\$20,636	0.68%
Hartford Schroders Int'l Multi-Cap Value	SIDRX	\$840,803	1.4%	\$6,306	0.75%
Fidelity Total International Index	FTIHX	\$3,205,892	5.5%	\$1,924	0.06%
Harding Loevner Int'l Small Companies Portfolio	HLMRX	\$516,226	0.9%	\$5,782	1.12%
Wellington Emerging Markets Opportunities	TEOOX	\$874,223	1.5%	\$7,693	0.88%
Clarion Lion Properties Fund	-	\$3,442,797	5.9%	\$29,264	0.85%
JPMorgan IIF Hedged LP	-	\$3,080,575	5.3%	\$24,028	0.78%
Cohen & Steers Global Infrastructure Fund	CSUIX	\$130,200	0.2%	\$1,159	0.89%
Wilmington Trust Fixed Income	-	\$8,373,511	14.3%	\$12,560	0.15%
Fidelity Interm. Treasury Bond Index	FUAMX	\$2,650,857	4.5%	\$795	0.03%
Lord Abbett Short Duration Income	LDLVX	\$3,176,064	5.4%	\$10,163	0.32%
Lord Abbett High Yield Fund	LHYVX	\$148,867	0.3%	\$878	0.59%
Wilmington U.S. Govt MM Fund - MF Acct	WGOXX	\$454,369	0.8%	\$1,409	0.31%
M&T Bank Municipal MM Savings	-	\$138,844	0.2%	\$0	0.00%
Totals:		\$58,596,230		\$185,726	0.32%

Management Fees

Description	Estimated Annual Fee	Annual Expense Ratio
Investment Consultant Fee Marquette Associates, Inc. 14 basis points on first \$100m, 9 basis thereafter*	\$67,170	0.11%
Totals:	\$67,170	0.11%
Total Fees	\$252,896	0.43%

*Investment Consultant Fee calculated on aggregate market value of the Employee Pension Plan & the OPEB Plan.

Sussex County, Delaware

Composite Information



RISK RETURN STATISTICS
April 01, 2018 Through March 31, 2023

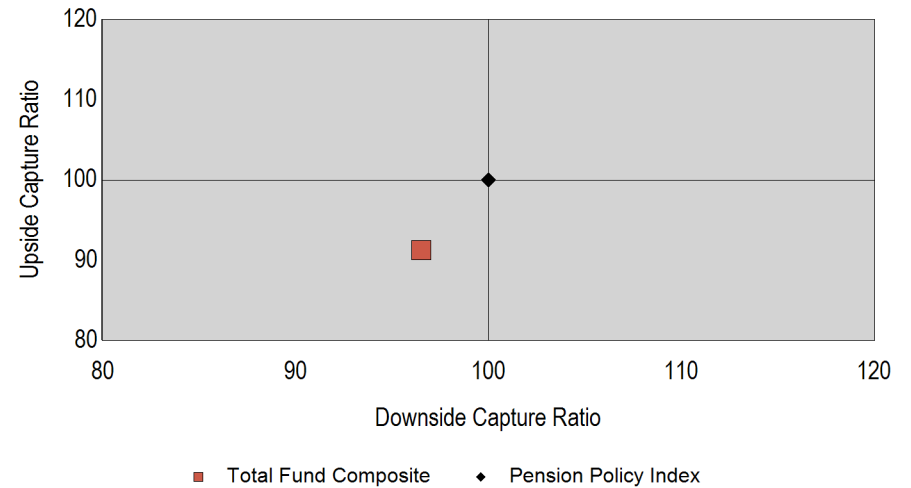
	Total Fund Composite	Pension Policy Index
RETURN SUMMARY STATISTICS		
Number of Periods	60	60
Maximum Return	7.47	8.27
Minimum Return	-9.16	-9.24
Annualized Return	6.32	6.82
Total Return	35.84	39.09
Annualized Excess Return Over Risk Free	4.99	5.50
Annualized Excess Return	-0.50	0.00

	Total Fund Composite	Pension Policy Index
RISK SUMMARY STATISTICS		
Beta	0.93	1.00
Upside Deviation	6.31	6.93
Downside Deviation	7.55	8.26

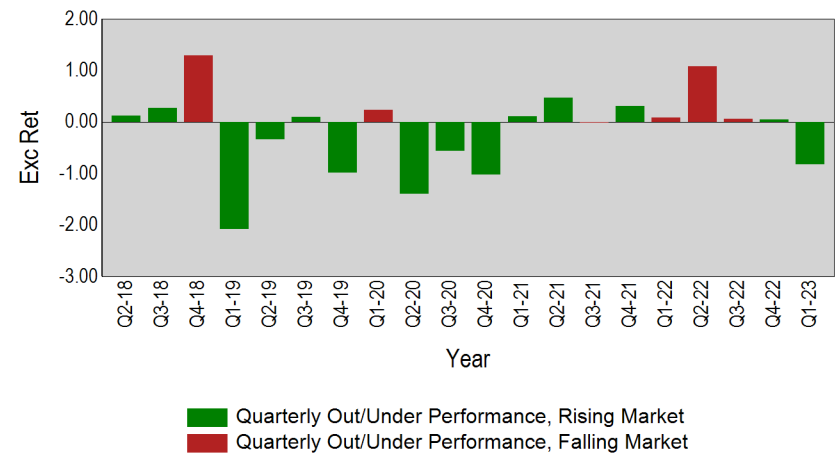
	Total Fund Composite	Pension Policy Index
RISK/RETURN SUMMARY STATISTICS		
Annualized Standard Deviation	11.49	12.26
Alpha	-0.01	0.00
Sharpe Ratio	0.43	0.45
Excess Return Over Market / Risk	-0.04	0.00
Tracking Error	1.37	0.00
Information Ratio	-0.37	--

	Total Fund Composite	Pension Policy Index
CORRELATION STATISTICS		
R-Squared	0.99	1.00
Correlation	1.00	1.00

Upside Capture Ratio vs. Downside Capture Ratio
5 Years Ending March 31, 2023



Quarterly Excess Performance
Total Fund Composite vs. Pension Policy Index



As of March 31, 2023

RISK RETURN STATISTICS
April 01, 2018 Through March 31, 2023

Total Equity Composite Total Equity Policy Index

RETURN SUMMARY STATISTICS

Number of Periods	60	60
Maximum Return	11.23	12.50
Minimum Return	-13.99	-14.09
Annualized Return	7.99	8.51
Total Return	46.89	50.44
Annualized Excess Return Over Risk Free	6.67	7.19
Annualized Excess Return	-0.52	0.00

RISK SUMMARY STATISTICS

Beta	0.96	1.00
Upside Deviation	9.64	10.35
Downside Deviation	11.68	12.17

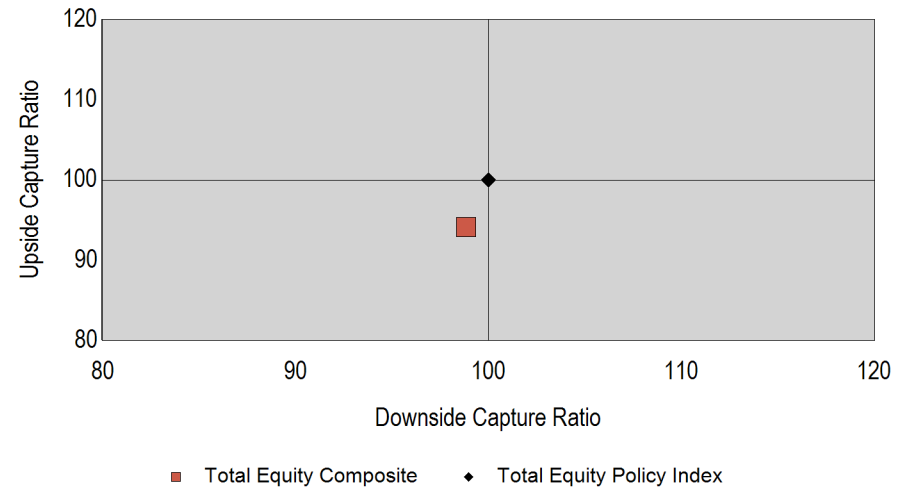
RISK/RETURN SUMMARY STATISTICS

Annualized Standard Deviation	17.81	18.47
Alpha	-0.02	0.00
Sharpe Ratio	0.37	0.39
Excess Return Over Market / Risk	-0.03	0.00
Tracking Error	1.48	0.00
Information Ratio	-0.35	--

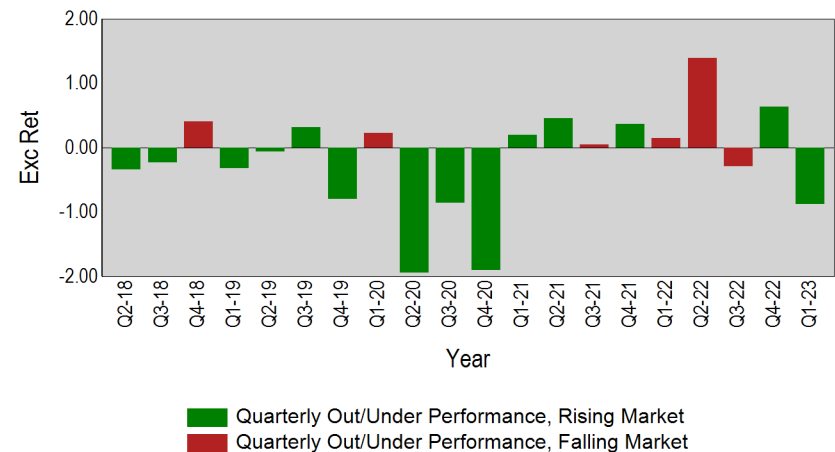
CORRELATION STATISTICS

R-Squared	0.99	1.00
Correlation	1.00	1.00

Upside Capture Ratio vs. Downside Capture Ratio
5 Years Ending March 31, 2023



Quarterly Excess Performance
Total Equity Composite vs. Total Equity Policy Index



Characteristics

	Portfolio	MSCI ACWI IMI Net USD
Number of Holdings	5,835	9,106
Weighted Avg. Market Cap. (\$B)	329.7	313.7
Median Market Cap. (\$B)	3.9	1.9
Price To Earnings	17.8	16.8
Price To Book	3.3	3.2
Price To Sales	1.7	1.6
Return on Equity (%)	19.9	18.4
Yield (%)	2.0	2.3

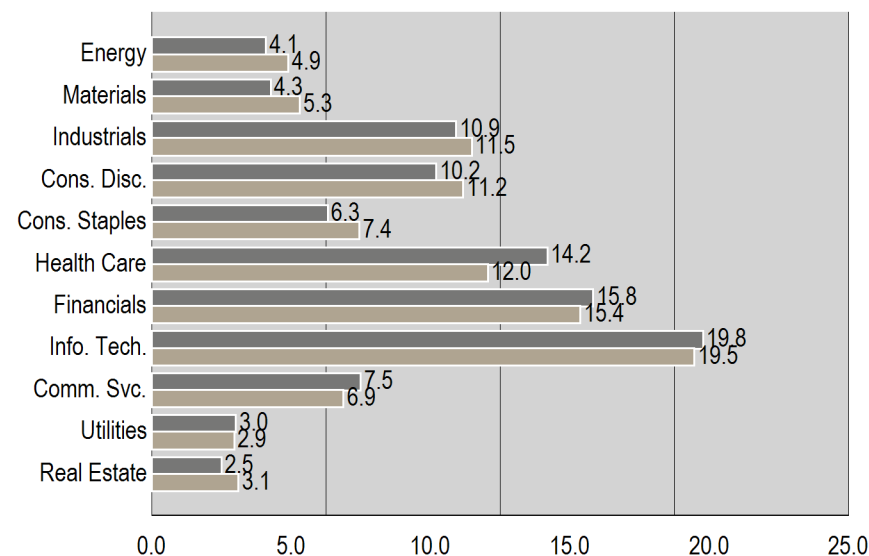
Top Holdings

APPLE INC	3.7%
MICROSOFT CORP	3.6%
AMAZON.COM INC	1.6%
ALPHABET INC	1.2%
ALPHABET INC	1.1%
NVIDIA CORPORATION	1.0%
TESLA INC	0.8%
BERKSHIRE HATHAWAY INC	0.8%
JOHNSON & JOHNSON	0.8%
META PLATFORMS INC	0.8%
Total	15.4%

Market Capitalization

	Small Cap	Mid Cap	Large Cap	Unclassified
Total Equity Composite	10.8%	16.7%	69.6%	2.9%
MSCI ACWI IMI Net USD	16.0%	15.5%	68.5%	0.0%
<i>Weight Over/Under</i>	<i>-5.2%</i>	<i>1.3%</i>	<i>1.1%</i>	<i>2.9%</i>

Sector Allocation (%) vs MSCI ACWI IMI Net USD



Region Allocation Summary

Region	% of Total	% of Bench	% Diff
North America ex U.S.	1.9%	3.0%	-1.1%
United States	71.8%	59.5%	12.3%
Europe Ex U.K.	10.0%	13.0%	-3.0%
United Kingdom	3.6%	3.9%	-0.3%
Pacific Basin Ex Japan	2.3%	3.2%	-0.9%
Japan	3.3%	6.0%	-2.7%
Emerging Markets	6.3%	11.0%	-4.7%
Other	0.8%	0.3%	0.5%
Total	100.0%	100.0%	0.0%

Characteristics

	Portfolio	Russell 3000
Number of Holdings	1,325	2,923
Weighted Avg. Market Cap. (\$B)	452.0	470.5
Median Market Cap. (\$B)	6.4	2.5
Price To Earnings	19.7	20.2
Price To Book	3.8	3.9
Price To Sales	2.0	2.2
Return on Equity (%)	25.1	22.4
Yield (%)	1.7	1.6

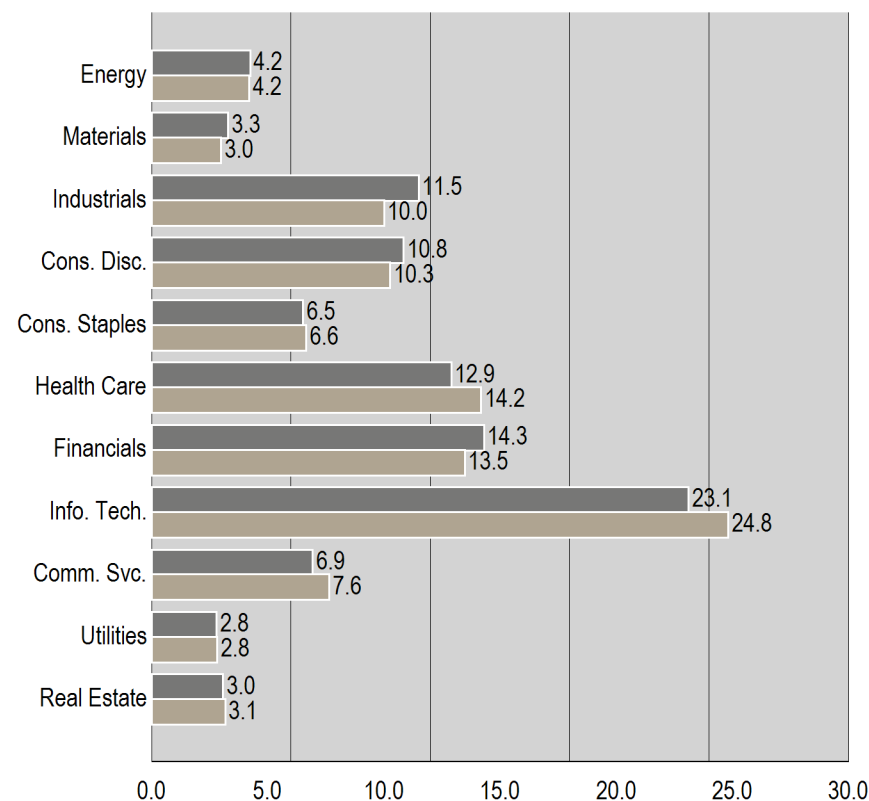
Top Holdings

APPLE INC	6.0%
MICROSOFT CORP	5.2%
AMAZON.COM INC	2.2%
NVIDIA CORPORATION	1.7%
ALPHABET INC	1.5%
TESLA INC	1.4%
BERKSHIRE HATHAWAY INC	1.4%
ALPHABET INC	1.3%
META PLATFORMS INC	1.1%
EXXON MOBIL CORP	1.1%
Total	22.8%

Market Capitalization

	Small Cap	Mid Cap	Large Cap	Unclassified
U.S. Equity Composite	2.5%	26.7%	69.7%	1.1%
Russell 3000	5.5%	22.0%	72.5%	0.0%
<i>Weight Over/Under</i>	<i>-3.0%</i>	<i>4.7%</i>	<i>-2.8%</i>	<i>1.1%</i>

Sector Allocation (%) vs Russell 3000



Common Holdings Matrix

	<i>Fidelity 500 Index</i>		<i>Eaton Vance Atlanta Capital SMID</i>		<i>Vanguard Small-Cap Value Index</i>	
	#	%	#	%	#	%
Fidelity 500 Index	--	--	17	29	44	12
Eaton Vance Atlanta Capital SMID	17	1	--	--	19	6
Vanguard Small-Cap Value Index	44	1	19	39	--	--

Characteristics

	Portfolio	MSCI ACWI IMI Net USD
Number of Holdings	209	9,106
Weighted Avg. Market Cap. (\$B)	159.2	313.7
Median Market Cap. (\$B)	47.4	1.9
Price To Earnings	18.5	16.8
Price To Book	3.0	3.2
Price To Sales	1.7	1.6
Return on Equity (%)	17.2	18.4
Yield (%)	2.0	2.3

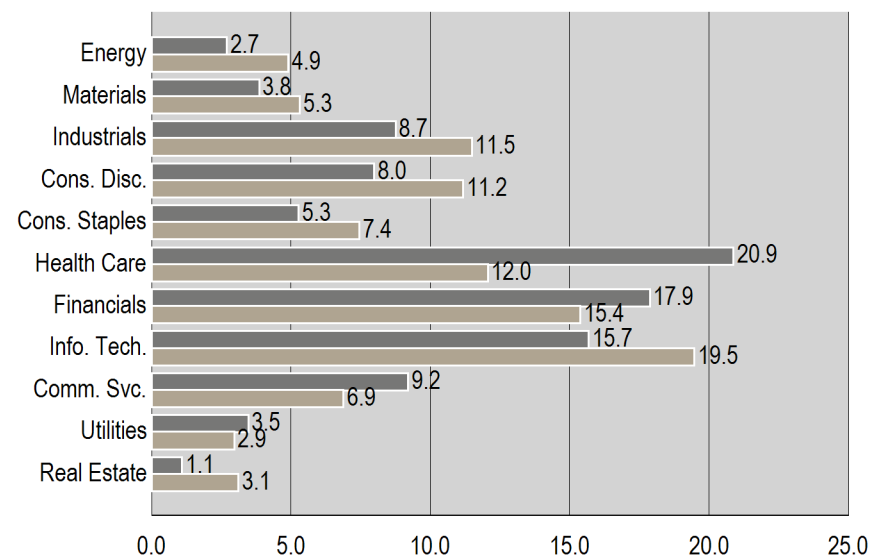
Top Holdings

NOVO NORDISK 'B'	1.9%
VEEVA SYSTEMS INC	1.9%
ADVANCED MICRO DEVICES INC	1.8%
MICROSOFT CORP	1.5%
SANOFI	1.5%
BOSTON SCIENTIFIC CORP	1.5%
LONZA GROUP AG	1.4%
TECHTRONIC INDUSTRIES CO LTD	1.3%
UBS GROUP AG	1.3%
ALPHABET INC	1.2%
Total	15.1%

Market Capitalization

	Small Cap	Mid Cap	Large Cap	Unclassified
Global Equity Composite	3.8%	19.8%	71.2%	5.2%
MSCI ACWI IMI Net USD	16.0%	15.5%	68.5%	0.0%
<i>Weight Over/Under</i>	-12.3%	4.4%	2.7%	5.2%

Sector Allocation (%) vs MSCI ACWI IMI Net USD



Region Allocation Summary

Region	% of Total	% of Bench	% Diff
North America ex U.S.	4.2%	3.0%	1.2%
United States	48.9%	59.5%	-10.6%
Europe Ex U.K.	20.0%	13.0%	7.1%
United Kingdom	7.4%	3.9%	3.5%
Pacific Basin Ex Japan	5.0%	3.2%	1.7%
Japan	6.3%	6.0%	0.3%
Emerging Markets	6.5%	11.0%	-4.5%
Other	1.7%	0.3%	1.4%
Total	100.0%	100.0%	0.0%

Common Holdings Matrix

	<i>Dodge & Cox Global Stock</i>		<i>Artisan Global Opportunities</i>		<i>MFS Low Volatility Global Equity</i>	
	#	%	#	%	#	%
Dodge & Cox Global Stock	--	--	3	3	11	10
Artisan Global Opportunities	3	5	--	--	3	4
MFS Low Volatility Global Equity	11	17	3	7	--	--

Characteristics

	Portfolio	MSCI ACWI ex USA IMI
Number of Holdings	4,481	6,584
Weighted Avg. Market Cap. (\$B)	73.4	78.0
Median Market Cap. (\$B)	3.2	1.7
Price To Earnings	12.6	13.4
Price To Book	2.4	2.4
Price To Sales	1.1	1.1
Return on Equity (%)	14.7	14.1
Yield (%)	3.4	3.3

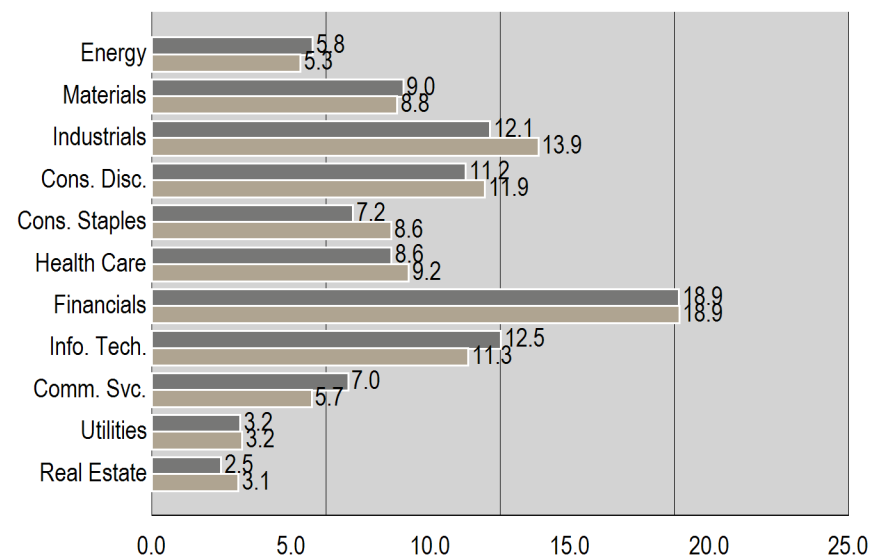
Top Holdings

TAIWAN SEMICONDUCTOR MANUFACTURING CO LTD	2.2%
TENCENT HOLDINGS LTD	1.7%
SAMSUNG ELECTRONICS CO LTD	1.2%
ALIBABA GROUP HOLDING LTD	1.0%
NESTLE SA, CHAM UND VEVEY	0.8%
ASTRAZENECA PLC	0.7%
NOVARTIS AG	0.6%
ROCHE HOLDING AG	0.6%
NOVO NORDISK 'B'	0.6%
ASML HOLDING NV	0.6%
Total	10.0%

Market Capitalization

	Small Cap	Mid Cap	Large Cap	Unclassified
Non-U.S. Equity Composite	27.9%	21.7%	44.3%	6.2%
MSCI ACWI ex USA IMI	25.1%	21.7%	53.2%	0.0%
<i>Weight Over/Under</i>	2.8%	-0.1%	-8.9%	6.2%

Sector Allocation (%) vs MSCI ACWI ex USA IMI



Region Allocation Summary

Region	% of Total	% of Bench	% Diff
North America ex U.S.	6.0%	7.5%	-1.5%
United States	1.6%	0.0%	1.6%
Europe Ex U.K.	28.3%	32.0%	-3.7%
United Kingdom	8.9%	9.6%	-0.7%
Pacific Basin Ex Japan	7.8%	8.0%	-0.2%
Japan	12.7%	14.9%	-2.2%
Emerging Markets	33.0%	27.2%	5.8%
Other	1.7%	0.8%	0.8%
Total	100.0%	100.0%	0.0%

Common Holdings Matrix

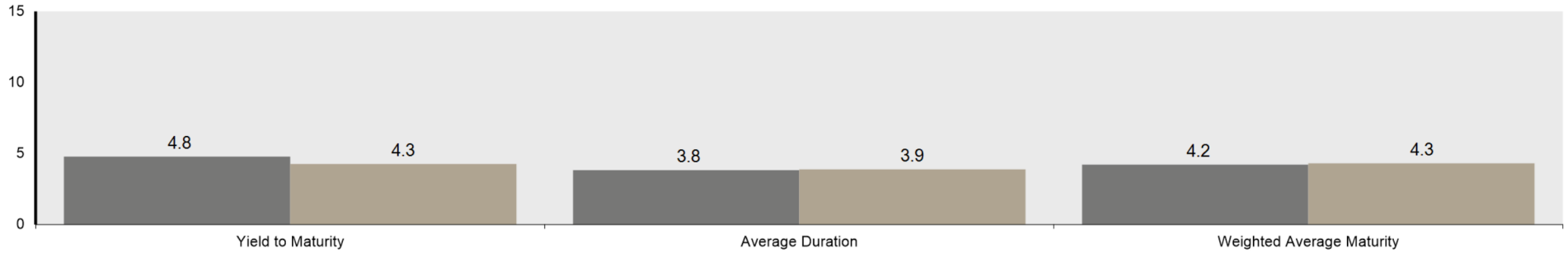
	<i>Schroder Int'l Multi-Cap Value Trust</i>		<i>Fidelity Total International Index</i>		<i>Harding Loevner Int'l Small Companies Portfolio</i>		<i>Wellington Emerging Markets Opportunities</i>	
	#	%	#	%	#	%	#	%
Schroder Int'l Multi-Cap Value Trust	--	--	415	27	2	2	19	35
Fidelity Total International Index	415	91	--	--	58	68	86	71
Harding Loevner Int'l Small Companies Portfolio	2	0	58	1	--	--	1	0
Wellington Emerging Markets Opportunities	19	7	86	8	1	0	--	--

Sussex County Employee Pension Plan

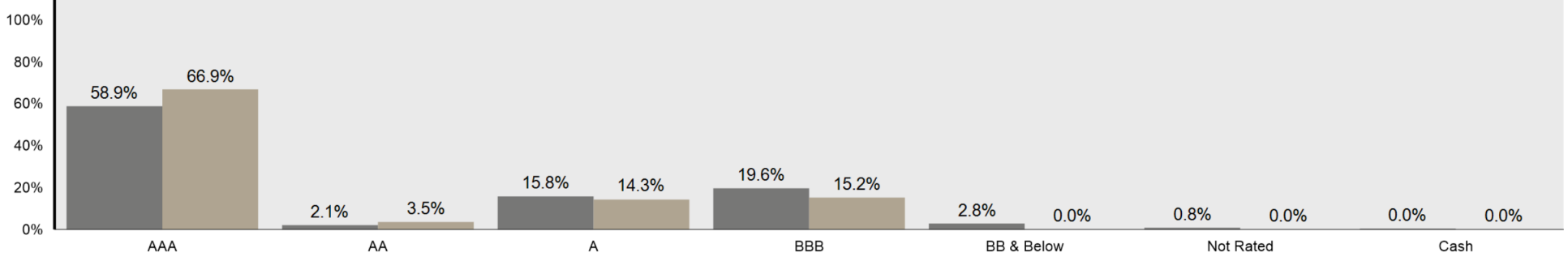
Fixed Income Composite

As of March 31, 2023

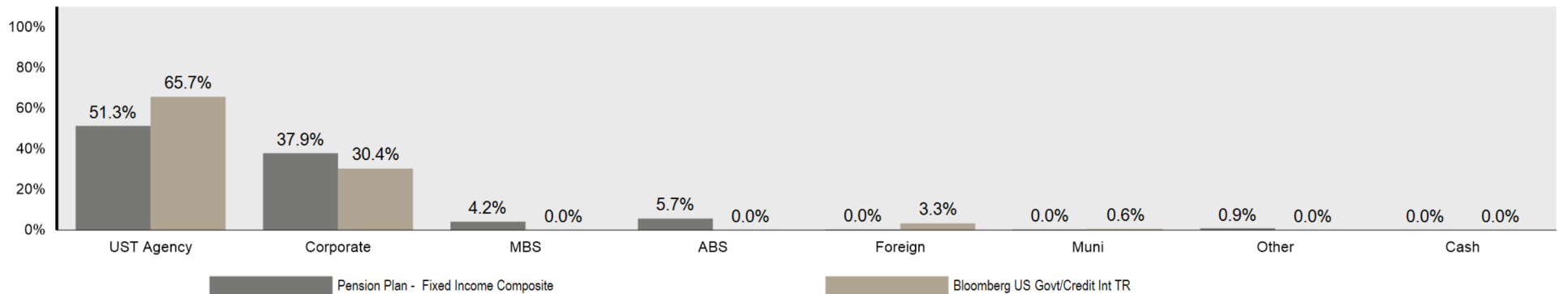
Yield to Maturity



Credit Quality



US Sector



RISK RETURN STATISTICS
April 01, 2018 Through March 31, 2023

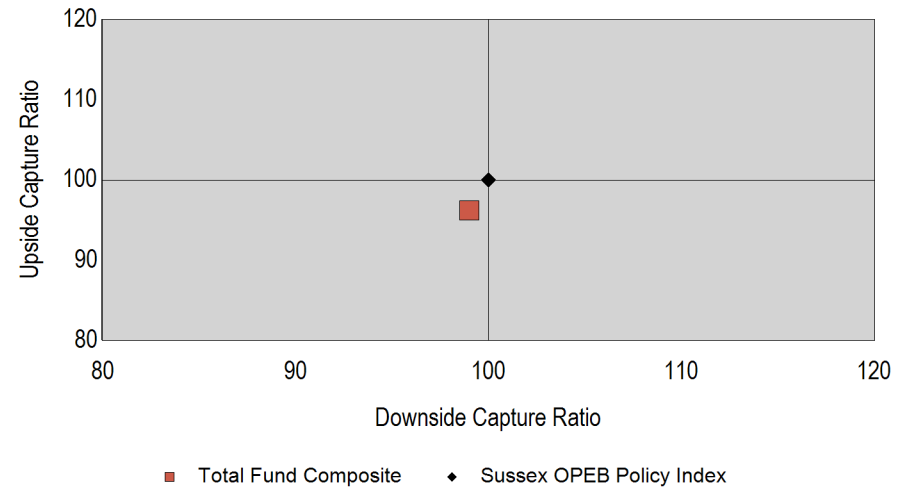
	Total Fund Composite	Sussex OPEB Policy Index
RETURN SUMMARY STATISTICS		
Number of Periods	60	60
Maximum Return	7.67	8.27
Minimum Return	-9.24	-9.24
Annualized Return	6.47	6.78
Total Return	36.83	38.84
Annualized Excess Return Over Risk Free	5.15	5.46
Annualized Excess Return	-0.31	0.00

	Total Fund Composite	Sussex OPEB Policy Index
RISK SUMMARY STATISTICS		
Beta	0.96	1.00
Upside Deviation	6.50	6.92
Downside Deviation	7.64	8.24

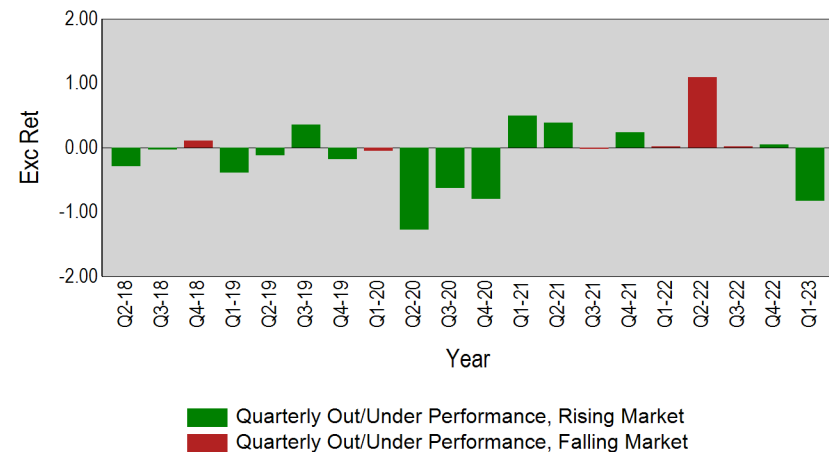
	Total Fund Composite	Sussex OPEB Policy Index
RISK/RETURN SUMMARY STATISTICS		
Annualized Standard Deviation	11.83	12.23
Alpha	-0.01	0.00
Sharpe Ratio	0.44	0.45
Excess Return Over Market / Risk	-0.03	0.00
Tracking Error	1.00	0.00
Information Ratio	-0.31	--

	Total Fund Composite	Sussex OPEB Policy Index
CORRELATION STATISTICS		
R-Squared	0.99	1.00
Correlation	1.00	1.00

Upside Capture Ratio vs. Downside Capture Ratio
5 Years Ending March 31, 2023



Quarterly Excess Performance
Total Fund Composite vs. Sussex OPEB Policy Index



RISK RETURN STATISTICS
April 01, 2018 Through March 31, 2023

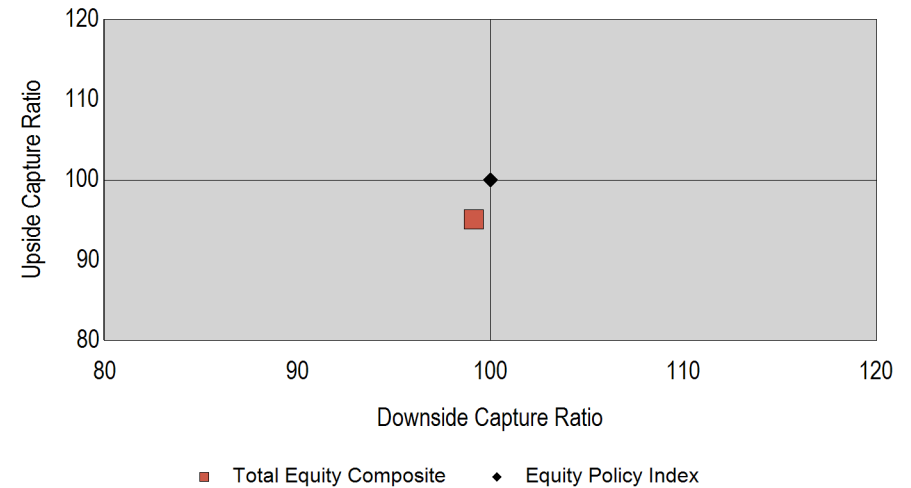
	Total Equity Composite	Equity Policy Index
RETURN SUMMARY STATISTICS		
Number of Periods	60	60
Maximum Return	11.54	12.50
Minimum Return	-14.13	-14.09
Annualized Return	7.90	8.37
Total Return	46.28	49.44
Annualized Excess Return Over Risk Free	6.58	7.04
Annualized Excess Return	-0.46	0.00

	Total Equity Composite	Equity Policy Index
RISK SUMMARY STATISTICS		
Beta	0.97	1.00
Upside Deviation	9.81	10.29
Downside Deviation	11.69	12.46

	Total Equity Composite	Equity Policy Index
RISK/RETURN SUMMARY STATISTICS		
Annualized Standard Deviation	17.91	18.44
Alpha	-0.02	0.00
Sharpe Ratio	0.37	0.38
Excess Return Over Market / Risk	-0.03	0.00
Tracking Error	1.47	0.00
Information Ratio	-0.32	--

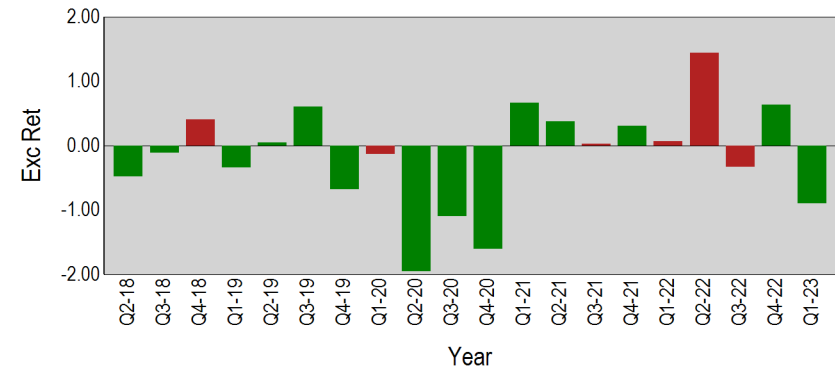
	Total Equity Composite	Equity Policy Index
CORRELATION STATISTICS		
R-Squared	0.99	1.00
Correlation	1.00	1.00

Upside Capture Ratio vs. Downside Capture Ratio
5 Years Ending March 31, 2023



■ Total Equity Composite ◆ Equity Policy Index

Quarterly Excess Performance
Total Equity Composite vs. Equity Policy Index



■ Quarterly Out/Under Performance, Rising Market
■ Quarterly Out/Under Performance, Falling Market

Characteristics

	Portfolio	MSCI ACWI IMI Net USD
Number of Holdings	5,831	9,106
Weighted Avg. Market Cap. (\$B)	329.9	313.7
Median Market Cap. (\$B)	3.9	1.9
Price To Earnings	17.9	16.8
Price To Book	3.3	3.2
Price To Sales	1.7	1.6
Return on Equity (%)	20.0	18.4
Yield (%)	2.0	2.3

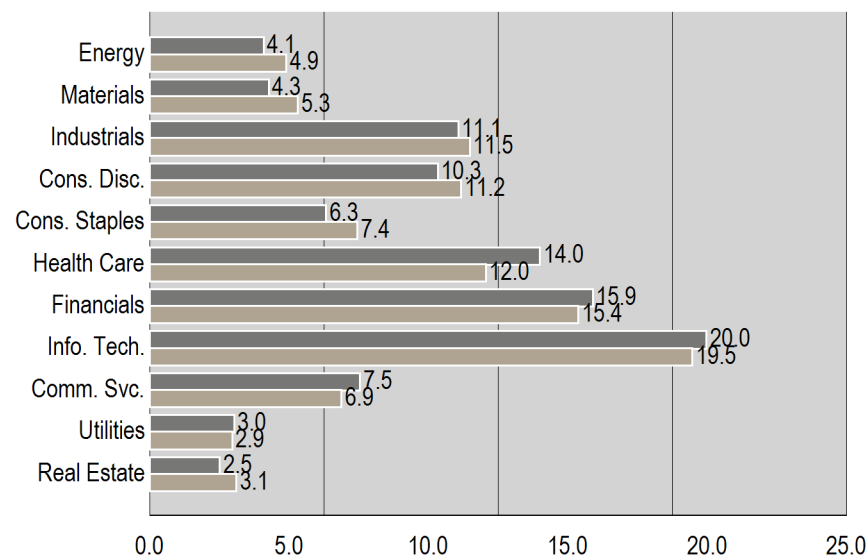
Top Holdings

APPLE INC	3.7%
MICROSOFT CORP	3.6%
AMAZON.COM INC	1.6%
ALPHABET INC	1.2%
ALPHABET INC	1.1%
NVIDIA CORPORATION	1.0%
TESLA INC	0.8%
BERKSHIRE HATHAWAY INC	0.8%
JOHNSON & JOHNSON	0.8%
META PLATFORMS INC	0.8%
Total	15.4%

Market Capitalization

	Small Cap	Mid Cap	Large Cap	Unclassified
Total Equity Composite	11.0%	16.9%	69.7%	2.4%
MSCI ACWI IMI Net USD	16.0%	15.5%	68.5%	0.0%
<i>Weight Over/Under</i>	-5.1%	1.4%	1.2%	2.4%

Sector Allocation (%) vs MSCI ACWI IMI Net USD



Region Allocation Summary

Region	% of Total	% of Bench	% Diff
North America ex U.S.	1.9%	3.0%	-1.2%
United States	72.1%	59.5%	12.6%
Europe Ex U.K.	9.9%	13.0%	-3.0%
United Kingdom	3.2%	3.9%	-0.7%
Pacific Basin Ex Japan	2.3%	3.2%	-0.9%
Japan	3.3%	6.0%	-2.7%
Emerging Markets	6.5%	11.0%	-4.5%
Other	0.8%	0.3%	0.5%
Total	100.0%	100.0%	0.0%

Characteristics

	Portfolio	Russell 3000
Number of Holdings	1,325	2,923
Weighted Avg. Market Cap. (\$B)	450.5	470.5
Median Market Cap. (\$B)	6.4	2.5
Price To Earnings	19.7	20.2
Price To Book	3.8	3.9
Price To Sales	2.0	2.2
Return on Equity (%)	25.1	22.4
Yield (%)	1.7	1.6

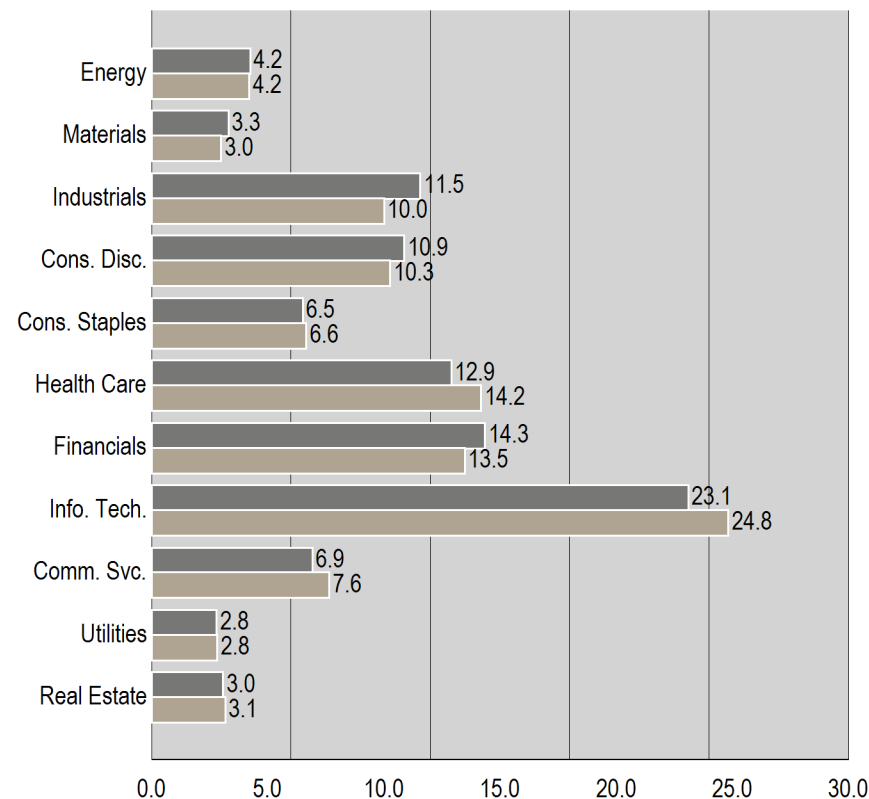
Top Holdings

APPLE INC	5.9%
MICROSOFT CORP	5.2%
AMAZON.COM INC	2.2%
NVIDIA CORPORATION	1.7%
ALPHABET INC	1.5%
TESLA INC	1.4%
BERKSHIRE HATHAWAY INC	1.3%
ALPHABET INC	1.3%
META PLATFORMS INC	1.1%
EXXON MOBIL CORP	1.1%
Total	22.8%

Market Capitalization

	Small Cap	Mid Cap	Large Cap	Unclassified
U.S. Equity Composite	2.5%	27.0%	69.5%	1.1%
Russell 3000	5.5%	22.0%	72.5%	0.0%
<i>Weight Over/Under</i>	<i>-3.0%</i>	<i>4.9%</i>	<i>-3.0%</i>	<i>1.1%</i>

Sector Allocation (%) vs Russell 3000



Common Holdings Matrix

	<i>Fidelity 500 Index</i>		<i>Eaton Vance Atlanta Capital SMID</i>		<i>Vanguard Small-Cap Value Index</i>	
	#	%	#	%	#	%
Fidelity 500 Index	--	--	17	29	44	12
Eaton Vance Atlanta Capital SMID	17	1	--	--	19	6
Vanguard Small-Cap Value Index	44	1	19	39	--	--

Characteristics

	Portfolio	MSCI ACWI IMI Net USD
Number of Holdings	208	9,106
Weighted Avg. Market Cap. (\$B)	158.2	313.7
Median Market Cap. (\$B)	47.2	1.9
Price To Earnings	18.4	16.8
Price To Book	3.0	3.2
Price To Sales	1.7	1.6
Return on Equity (%)	17.2	18.4
Yield (%)	2.0	2.3

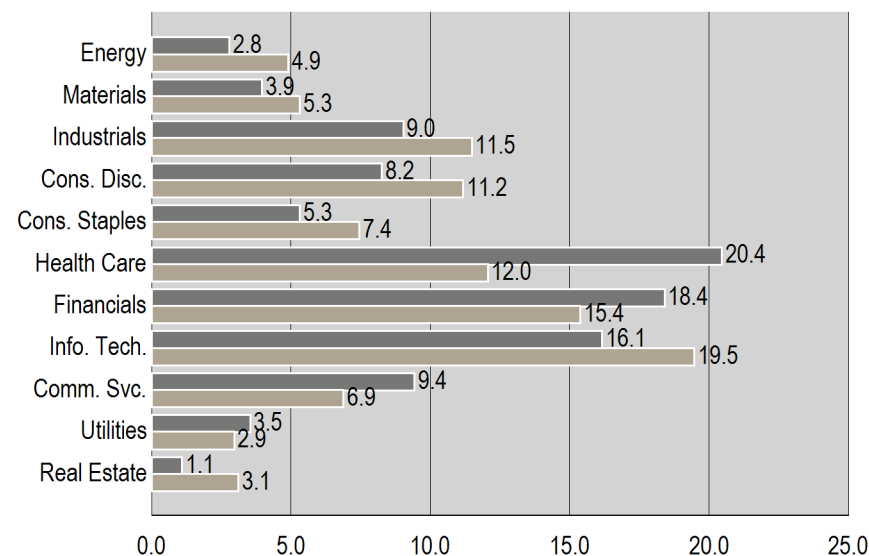
Top Holdings

VEEVA SYSTEMS INC	1.9%
NOVO NORDISK 'B'	1.9%
ADVANCED MICRO DEVICES INC	1.8%
BOSTON SCIENTIFIC CORP	1.5%
SANOFI	1.5%
MICROSOFT CORP	1.5%
LONZA GROUP AG	1.4%
TECHTRONIC INDUSTRIES CO LTD	1.3%
UBS GROUP AG	1.3%
ALPHABET INC	1.3%
Total	15.5%

Market Capitalization

	Small Cap	Mid Cap	Large Cap	Unclassified
Global Equity Composite	3.8%	20.4%	72.2%	3.6%
MSCI ACWI IMI Net USD	16.0%	15.5%	68.5%	0.0%
<i>Weight Over/Under</i>	-12.2%	4.9%	3.7%	3.6%

Sector Allocation (%) vs MSCI ACWI IMI Net USD



Region Allocation Summary

Region	% of Total	% of Bench	% Diff
North America ex U.S.	4.2%	3.0%	1.2%
United States	49.4%	59.5%	-10.0%
Europe Ex U.K.	20.3%	13.0%	7.4%
United Kingdom	6.5%	3.9%	2.6%
Pacific Basin Ex Japan	5.1%	3.2%	1.8%
Japan	6.3%	6.0%	0.3%
Emerging Markets	6.5%	11.0%	-4.5%
Other	1.7%	0.3%	1.4%
Total	100.0%	100.0%	0.0%

Common Holdings Matrix

	<i>Dodge & Cox Global Stock</i>		<i>Artisan Global Opportunities</i>		<i>MFS Low Volatility Global Equity</i>	
	#	%	#	%	#	%
Dodge & Cox Global Stock	--	--	3	3	11	10
Artisan Global Opportunities	3	5	--	--	3	4
MFS Low Volatility Global Equity	11	17	3	8	--	--

Characteristics

	Portfolio	MSCI ACWI ex USA IMI
Number of Holdings	4,477	6,584
Weighted Avg. Market Cap. (\$B)	73.9	78.0
Median Market Cap. (\$B)	3.2	1.7
Price To Earnings	12.7	13.4
Price To Book	2.4	2.4
Price To Sales	1.1	1.1
Return on Equity (%)	14.7	14.1
Yield (%)	3.3	3.3

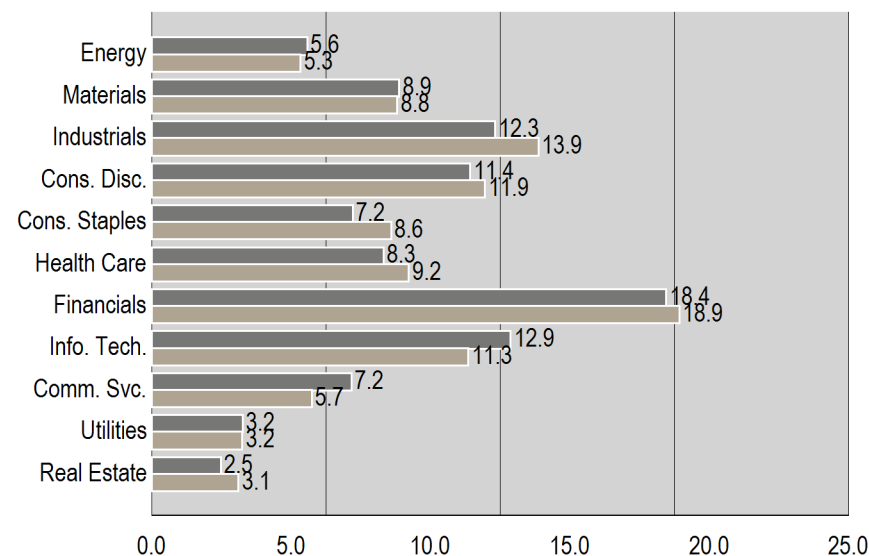
Top Holdings

TAIWAN SEMICONDUCTOR MANUFACTURING CO LTD	2.3%
TENCENT HOLDINGS LTD	1.8%
SAMSUNG ELECTRONICS CO LTD	1.3%
ALIBABA GROUP HOLDING LTD	1.0%
NESTLE SA, CHAM UND VEVEY	0.7%
NOVARTIS AG	0.6%
ROCHE HOLDING AG	0.6%
SHELL PLC	0.6%
NOVO NORDISK 'B'	0.6%
ASML HOLDING NV	0.6%
Total	10.3%

Market Capitalization

	Small Cap	Mid Cap	Large Cap	Unclassified
Non-U.S. Equity Composite	28.2%	21.5%	44.0%	6.3%
MSCI ACWI ex USA IMI	25.1%	21.7%	53.2%	0.0%
<i>Weight Over/Under</i>	3.1%	-0.2%	-9.2%	6.3%

Sector Allocation (%) vs MSCI ACWI ex USA IMI



Region Allocation Summary

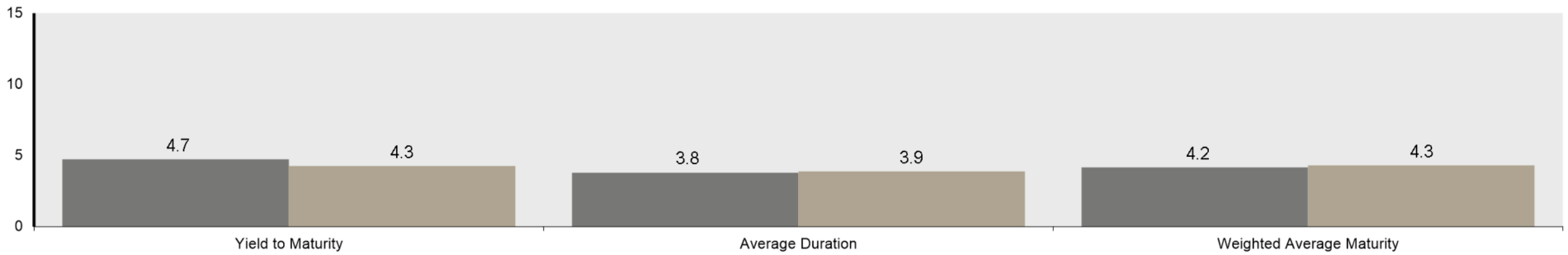
Region	% of Total	% of Bench	% Diff
North America ex U.S.	5.9%	7.5%	-1.6%
United States	1.8%	0.0%	1.8%
Europe Ex U.K.	28.0%	32.0%	-3.9%
United Kingdom	8.1%	9.6%	-1.6%
Pacific Basin Ex Japan	7.8%	8.0%	-0.2%
Japan	12.6%	14.9%	-2.2%
Emerging Markets	34.0%	27.2%	6.9%
Other	1.7%	0.8%	0.9%
Total	100.0%	100.0%	0.0%

Common Holdings Matrix

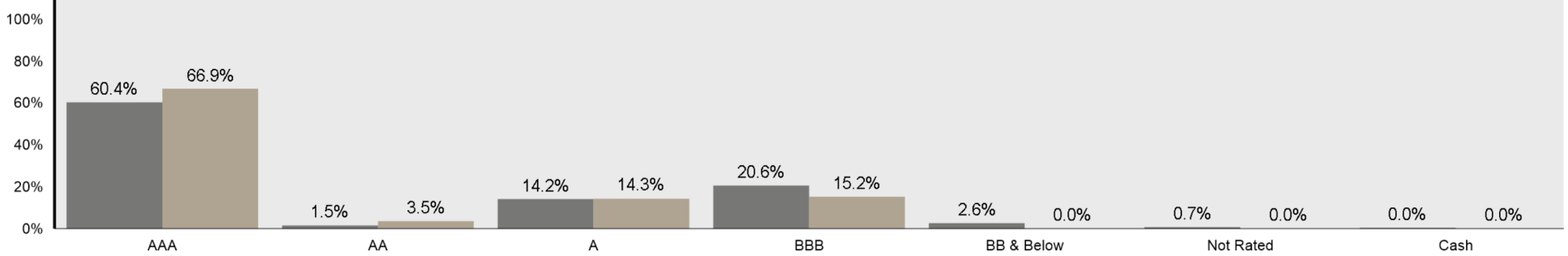
	<i>Hartford Schroders Int'l Multi-Cap Value</i>		<i>Fidelity Total International Index</i>		<i>Harding Loevner Int'l Small Companies Portfolio</i>		<i>Wellington Emerging Markets Opportunities</i>	
	#	%	#	%	#	%	#	%
Hartford Schroders Int'l Multi-Cap Value	--	--	404	25	0	0	18	32
Fidelity Total International Index	404	92	--	--	58	68	86	71
Harding Loevner Int'l Small Companies Portfolio	0	0	58	1	--	--	1	0
Wellington Emerging Markets Opportunities	18	9	86	8	1	0	--	--

As of March 31, 2023

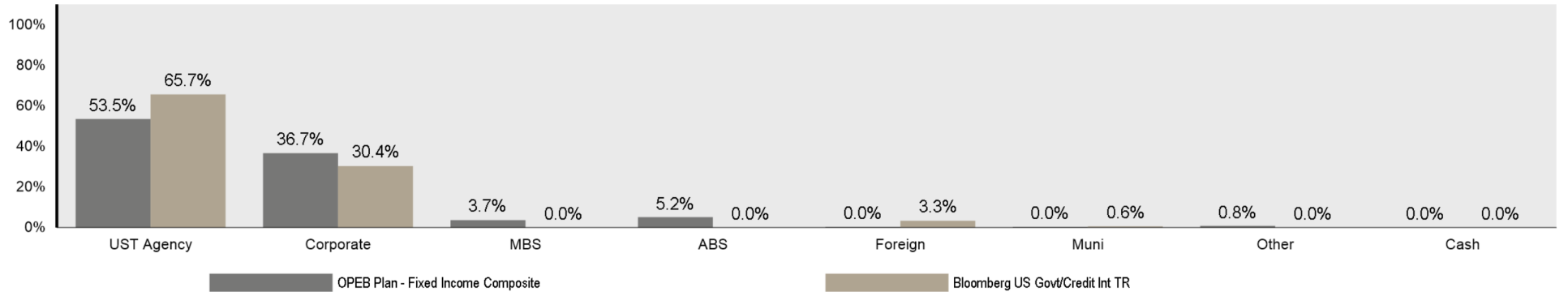
Yield to Maturity



Credit Quality



US Sector



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Sussex County, Delaware

Investment Managers



Manager Summary: Passively-managed. Seeks to provide investment results that correspond to the total return performance of common stocks publicly traded in the United States. Normally investing at least 80% of assets in common stocks included in the S&P 500 Index, which broadly represents the performance of common stocks publicly traded in the United States.

Characteristics

	Portfolio	S&P 500
Number of Holdings	504	503
Weighted Avg. Market Cap. (\$B)	537.6	539.2
Median Market Cap. (\$B)	30.4	30.4
Price To Earnings	21.1	21.2
Price To Book	4.2	4.2
Price To Sales	2.5	2.5
Return on Equity (%)	28.7	28.5
Yield (%)	1.7	1.7

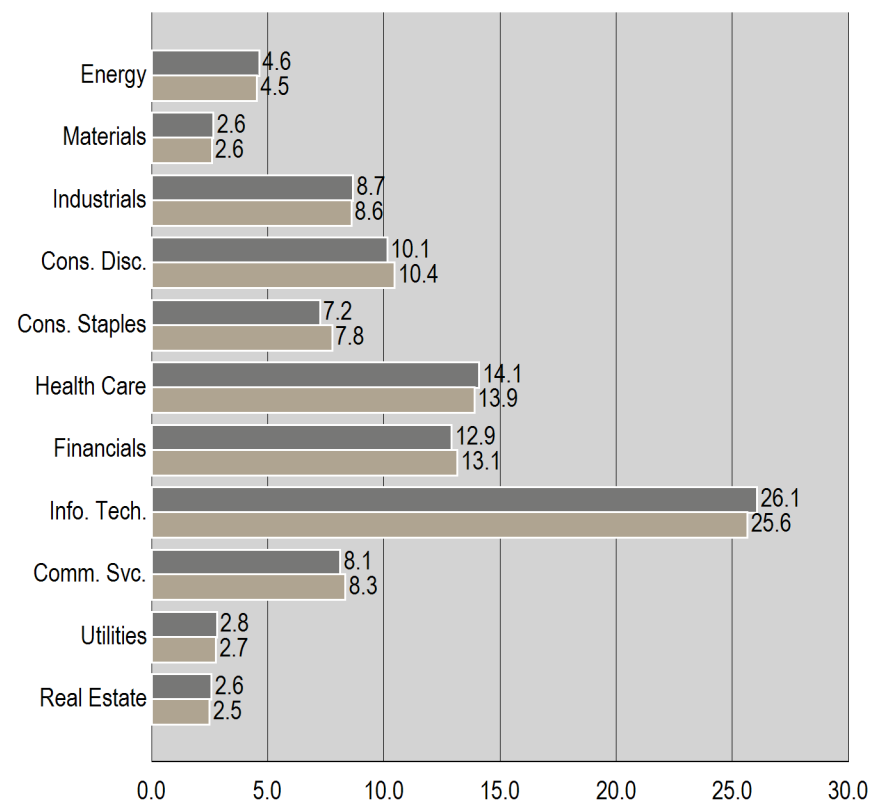
Top Holdings

APPLE INC	7.1%
MICROSOFT CORP	6.2%
AMAZON.COM INC	2.7%
NVIDIA CORPORATION	2.0%
ALPHABET INC	1.8%
TESLA INC	1.6%
BERKSHIRE HATHAWAY INC	1.6%
ALPHABET INC	1.6%
META PLATFORMS INC	1.4%
EXXON MOBIL CORP	1.3%
Total	27.4%

Market Capitalization

	Small Cap	Mid Cap	Large Cap
Fidelity 500 Index	0.0%	15.9%	84.1%
S&P 500	0.2%	15.7%	84.1%
<i>Weight Over/Under</i>	<i>-0.2%</i>	<i>0.3%</i>	<i>-0.1%</i>

Sector Allocation (%) vs S&P 500



Manager Summary: Focus on investing in high-quality companies with a history of stable and consistent earnings. Emphasize innovative business models, shareholder-friendly managements and companies with limited Wall Street coverage. Seek high levels of free cash flow with low volatility over time. Portfolio comprised of companies with high credit ratings - tends to outperform when quality is in favor.

Characteristics

	Portfolio	Russell 2500
Number of Holdings	54	2,411
Weighted Avg. Market Cap. (\$B)	10.8	6.5
Median Market Cap. (\$B)	10.6	1.6
Price To Earnings	22.3	14.1
Price To Book	3.4	2.6
Price To Sales	1.9	1.2
Return on Equity (%)	20.8	10.4
Yield (%)	0.8	1.7

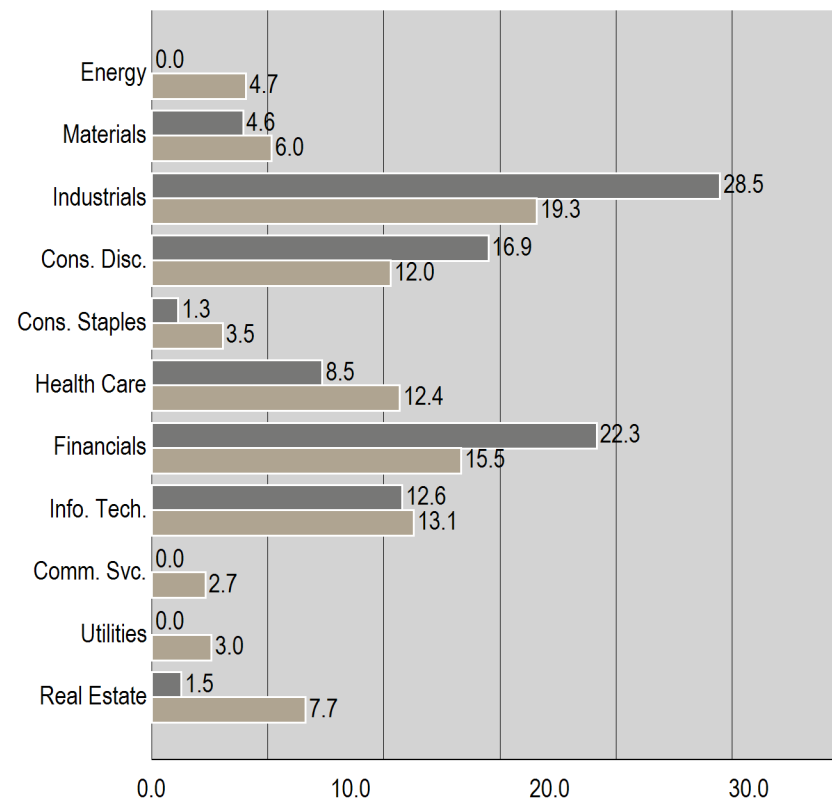
Top Holdings

BERKLEY (W.R.) CORP	4.6%
CARLISLE COS INC	3.6%
ENVISTA HOLDINGS CORP	3.6%
ARAMARK	3.4%
TELEFLEX INC	3.4%
DOLBY LABORATORIES INC	2.9%
MARKEL CORP	2.8%
LANDSTAR SYSTEM INC	2.8%
SEI INVESTMENTS CO	2.7%
CACI INTERNATIONAL INC	2.6%
Total	32.3%

Market Capitalization

	Small Cap	Mid Cap	Large Cap
Eaton Vance Atlanta Capital SMID	0.0%	100.0%	0.0%
Russell 2500	36.0%	64.0%	0.0%
<i>Weight Over/Under</i>	<i>-36.0%</i>	<i>36.0%</i>	<i>0.0%</i>

Sector Allocation (%) vs Russell 2500



Manager Summary: Passively managed to track the performance of the CRSP US Small Cap Value Index. Follows a full-replication approach whereby the fund attempts to hold the same securities at the same weights as the benchmark. Low expense ratio means the returns will also track the benchmark closely on a net-of-fees basis.

Characteristics

	Portfolio	CRSP US Small Cap Value TR USD
Number of Holdings	846	841
Weighted Avg. Market Cap. (\$B)	6.1	6.1
Median Market Cap. (\$B)	2.7	2.8
Price To Earnings	11.8	11.8
Price To Book	2.1	2.1
Price To Sales	0.9	0.9
Return on Equity (%)	14.2	14.2
Yield (%)	2.4	2.4

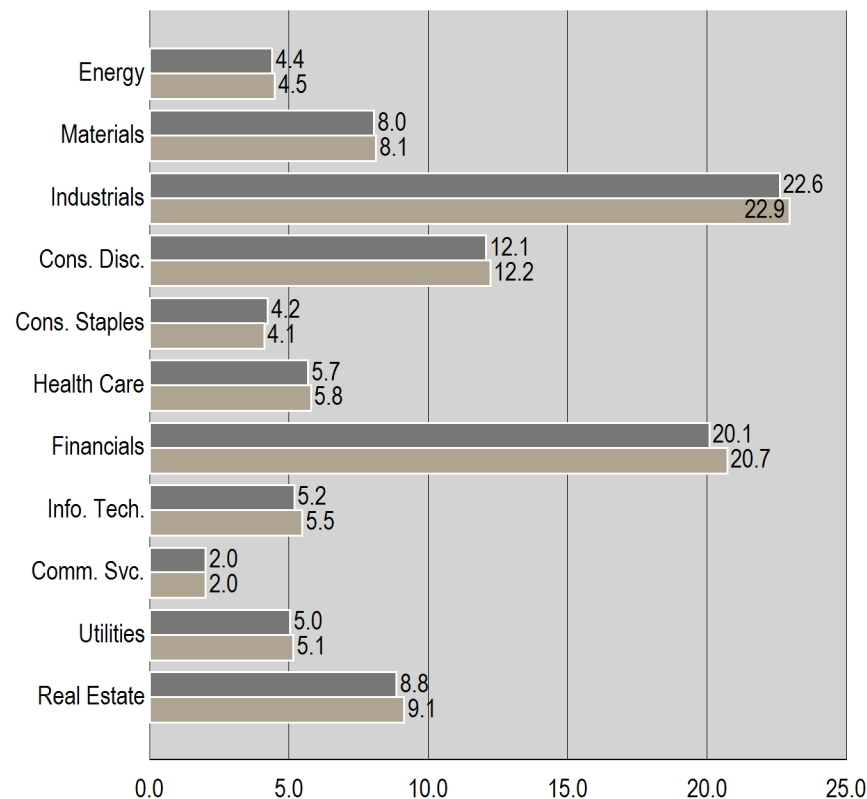
Top Holdings

IDEX CORP	0.7%
RELIANCE STEEL & ALUMINUM CO	0.6%
ATMOS ENERGY CORP	0.6%
BUNGE LTD	0.6%
BUILDERS FIRSTSOURCE INC	0.5%
GAMING AND LEISURE PROPERTIES INC	0.5%
BOOZ ALLEN HAMILTON HOLDING CORPORATION	0.5%
KIMCO REALTY CORP	0.5%
CARLISLE COS INC	0.5%
RPM INTERNATIONAL INC	0.4%
Total	5.3%

Market Capitalization

	Small Cap	Mid Cap	Large Cap
Vanguard Small-Cap Value Index	74.5%	25.5%	0.0%
CRSP US Small Cap Value TR USD	75.8%	24.2%	0.0%
<i>Weight Over/Under</i>	<i>-1.2%</i>	<i>1.2%</i>	<i>0.0%</i>

Sector Allocation (%) vs CRSP US Small Cap Value TR USD



Manager Summary: Focuses on identifying large, well-established companies across the globe that trade at a discount to their long-term profit opportunities. Emphasize fundamental research, attempting to understand risks facing businesses over a 3-5-year time horizon. Seeks companies with solid management teams and strong, competitive franchises. Strategy tends to hold deep value stocks that may be out-of-favor in the short-term but offer good value for the long-term investor.

Characteristics

	Portfolio	MSCI ACWI
Number of Holdings	86	2,884
Weighted Avg. Market Cap. (\$B)	172.3	351.6
Median Market Cap. (\$B)	44.1	12.3
Price To Earnings	12.5	17.3
Price To Book	2.3	3.4
Price To Sales	1.1	1.8
Return on Equity (%)	17.7	20.7
Yield (%)	2.6	2.3

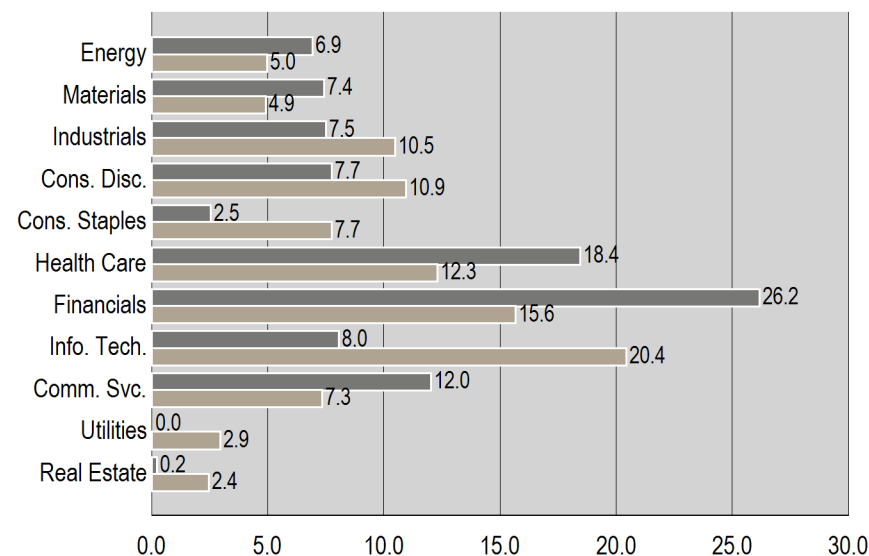
Top Holdings

SANOFI	3.8%
ALPHABET INC	3.5%
GSK PLC	2.9%
OCCIDENTAL PETROLEUM CORP	2.8%
BANCO SANTANDER SA	2.5%
SUNCOR ENERGY INC.	2.4%
VMWARE INC	2.3%
COMCAST CORP	2.3%
CHARTER COMMUNICATIONS INC	2.2%
UBS GROUP AG	2.2%
Total	26.9%

Market Capitalization

	Small Cap	Mid Cap	Large Cap	Unclassified
Dodge & Cox Global Stock	2.4%	17.0%	75.9%	4.6%
MSCI ACWI	5.9%	16.8%	77.3%	0.0%
<i>Weight Over/Under</i>	-3.5%	0.2%	-1.4%	4.6%

Sector Allocation (%) vs MSCI ACWI



Region Allocation Summary

Region	% of Total	% of Bench	% Diff
North America ex U.S.	4.3%	3.0%	1.4%
United States	48.3%	60.6%	-12.2%
Europe Ex U.K.	25.1%	13.1%	12.1%
United Kingdom	9.0%	3.8%	5.2%
Pacific Basin Ex Japan	0.0%	3.0%	-3.0%
Japan	3.1%	5.5%	-2.4%
Emerging Markets	10.1%	10.8%	-0.7%
Other	0.0%	0.3%	-0.3%
Total	100.0%	100.0%	0.0%

Manager Summary: Targets high-quality companies with above-average and sustainable earnings growth. Holdings tend to be global franchises with strong industry positioning. Portfolio will typically include 50-70 stocks and tends to have low turnover. Relatively unconstrained with respect to country, sector & position weights.

Characteristics

	Portfolio	MSCI ACWI
Number of Holdings	45	2,884
Weighted Avg. Market Cap. (\$B)	132.4	351.6
Median Market Cap. (\$B)	62.2	12.3
Price To Earnings	33.5	17.3
Price To Book	4.4	3.4
Price To Sales	5.0	1.8
Return on Equity (%)	11.4	20.7
Yield (%)	0.7	2.3

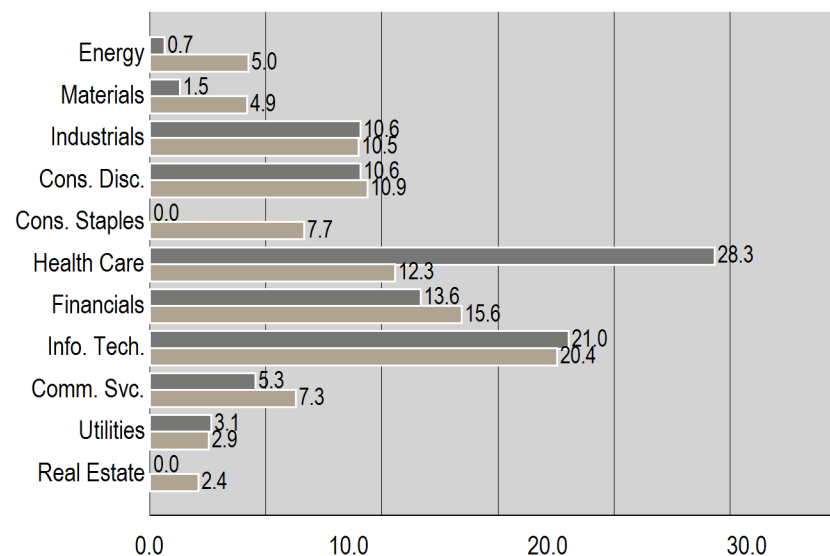
Top Holdings

VEEVA SYSTEMS INC	5.9%
ADVANCED MICRO DEVICES INC	5.7%
BOSTON SCIENTIFIC CORP	4.7%
LONZA GROUP AG	4.4%
NOVO NORDISK 'B'	4.3%
TECHTRONIC INDUSTRIES CO LTD	4.1%
ASTRAZENECA PLC	3.5%
NEXTERA ENERGY INC	3.3%
ATLASSIAN CORP	3.1%
KEYENCE CORP	3.0%
Total	42.0%

Market Capitalization

	Small Cap	Mid Cap	Large Cap	Unclassified
Artisan Global Opportunities	0.0%	18.7%	73.0%	8.3%
MSCI ACWI	5.9%	16.8%	77.3%	0.0%
<i>Weight Over/Under</i>	<i>-5.9%</i>	<i>1.9%</i>	<i>-4.3%</i>	<i>8.3%</i>

Sector Allocation (%) vs MSCI ACWI



Region Allocation Summary

Region	% of Total	% of Bench	% Diff
North America ex U.S.	1.8%	3.0%	-1.2%
United States	50.5%	60.6%	-10.1%
Europe Ex U.K.	20.1%	13.1%	7.0%
United Kingdom	11.3%	3.8%	7.5%
Pacific Basin Ex Japan	9.3%	3.0%	6.3%
Japan	4.7%	5.5%	-0.8%
Emerging Markets	2.3%	10.8%	-8.5%
Other	0.0%	0.3%	-0.3%
Total	100.0%	100.0%	0.0%

Manager Summary: Strategy seeks to produce long-term excess market returns with less volatility than the market. Investment process combines quantitative inputs and fundamental analysis. Only stocks that exhibit low volatility are considered for further analysis. Fundamental inputs include analyst expectations for earnings and valuation. Stocks are then rated buy, hold, or sell. Strategy typically holds 80-120 names with a maximum position limit of 4%.

Characteristics

	Portfolio	MSCI ACWI
Number of Holdings	97	2,884
Weighted Avg. Market Cap. (\$B)	170.2	351.6
Median Market Cap. (\$B)	47.1	12.3
Price To Earnings	19.0	17.3
Price To Book	2.8	3.4
Price To Sales	1.7	1.8
Return on Equity (%)	20.7	20.7
Yield (%)	2.5	2.3

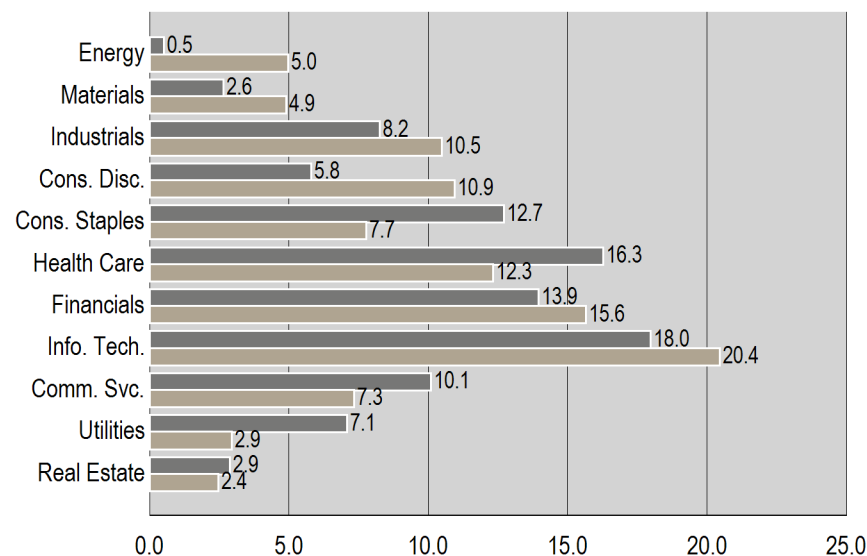
Top Holdings

AMDOCS LTD	3.1%
DBS GROUP HOLDINGS LTD	2.9%
JOHNSON & JOHNSON	2.6%
MICROSOFT CORP	2.5%
EVEREST RE GROUP LTD	2.4%
MCKESSON CORP	2.3%
KDDI CORP	2.3%
MERCK & CO INC	2.2%
ROCHE HOLDING AG	2.1%
FRANCO-NEVADA CORP	2.1%
Total	24.6%

Market Capitalization

	Small Cap	Mid Cap	Large Cap	Unclassified
MFS Low Volatility Global Equity	8.5%	23.5%	65.1%	2.9%
MSCI ACWI	5.9%	16.8%	77.3%	0.0%
<i>Weight Over/Under</i>	2.6%	6.7%	-12.2%	2.9%

Sector Allocation (%) vs MSCI ACWI



Region Allocation Summary

Region	% of Total	% of Bench	% Diff
North America ex U.S.	6.3%	3.0%	3.3%
United States	48.0%	60.6%	-12.6%
Europe Ex U.K.	15.1%	13.1%	2.0%
United Kingdom	2.5%	3.8%	-1.3%
Pacific Basin Ex Japan	5.8%	3.0%	2.8%
Japan	10.8%	5.5%	5.3%
Emerging Markets	6.7%	10.8%	-4.1%
Other	4.9%	0.3%	4.6%
Total	100.0%	100.0%	0.0%

Manager Summary: Quantitative process leads to a diversified, all-cap portfolio with developed and emerging market exposure. The team seeks stocks trading at attractive valuations with higher quality fundamentals than industry peers. Weighting scheme favors higher-quality and more liquid securities. Portfolio tends to hold more than 500 stocks

Characteristics

	Portfolio	MSCI ACWI ex USA Value
Number of Holdings	513	1,340
Weighted Avg. Market Cap. (\$B)	51.6	63.2
Median Market Cap. (\$B)	5.6	8.7
Price To Earnings	9.5	9.9
Price To Book	2.1	1.7
Price To Sales	0.9	0.8
Return on Equity (%)	18.3	11.1
Yield (%)	4.0	4.9

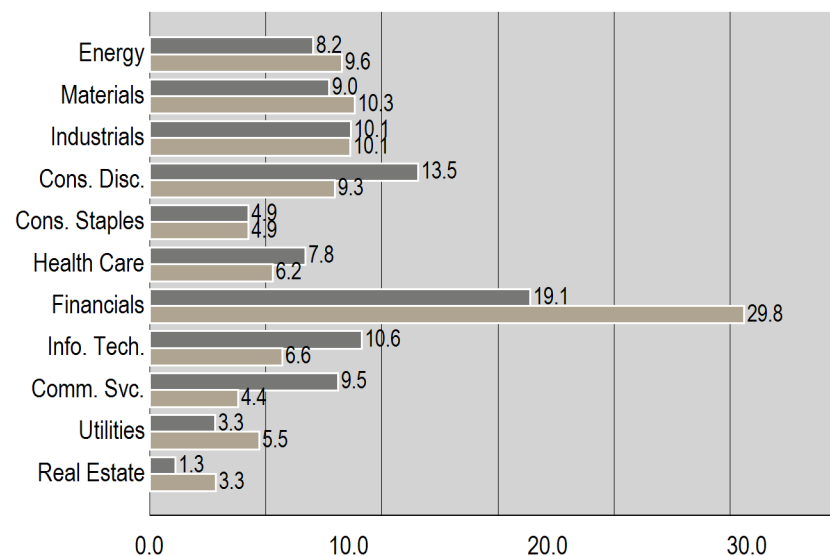
Top Holdings

NOVARTIS AG	1.3%
TAIWAN SEMICONDUCTOR MANUFACTURING CO LTD	1.3%
UNILEVER PLC	1.3%
SANOFI	1.1%
GSK PLC	1.1%
ROCHE HOLDING AG	1.1%
SHELL PLC	1.0%
ALIBABA GROUP HOLDING LTD	1.0%
TENCENT HOLDINGS LTD	1.0%
KDDI CORP	1.0%
Total	11.2%

Market Capitalization

	Small Cap	Mid Cap	Large Cap	Unclassified
Hartford Schrodgers Int'l Multi-Cap Value	28.5%	28.2%	38.0%	5.4%
MSCI ACWI ex USA Value	14.6%	27.7%	57.7%	0.0%
<i>Weight Over/Under</i>	<i>13.8%</i>	<i>0.4%</i>	<i>-19.6%</i>	<i>5.4%</i>

Sector Allocation (%) vs MSCI ACWI ex USA Value



Region Allocation Summary

Region	% of Total	% of Bench	% Diff
North America ex U.S.	8.4%	7.4%	0.9%
United States	1.4%	0.0%	1.4%
Europe Ex U.K.	30.2%	30.3%	-0.1%
United Kingdom	9.3%	12.4%	-3.1%
Pacific Basin Ex Japan	7.7%	7.8%	-0.1%
Japan	17.8%	14.3%	3.5%
Emerging Markets	23.5%	27.1%	-3.5%
Other	1.6%	0.6%	1.0%
Total	100.0%	100.0%	0.0%

As of March 31, 2023

Manager Summary: The investment seeks to provide investment results that correspond to the total return of foreign developed and emerging stock markets. The fund normally invests at least 80% of assets in securities included in the MSCI ACWI (All Country World Index) ex USA Investable Market Index and in depository receipts representing securities included in the index. The MSCI ACWI (All Country World Index) ex USA Investable Market Index is a market capitalization-weighted index designed to measure the investable equity market performance for global investors of large, mid, and small-cap stocks in developed and emerging markets, excluding the U.S.

Characteristics

	Portfolio	MSCI ACWI ex USA IMI
Number of Holdings	4,300	6,584
Weighted Avg. Market Cap. (\$B)	77.3	78.0
Median Market Cap. (\$B)	2.9	1.7
Price To Earnings	13.5	13.4
Price To Book	2.4	2.4
Price To Sales	1.1	1.1
Return on Equity (%)	14.1	14.1
Yield (%)	3.3	3.3

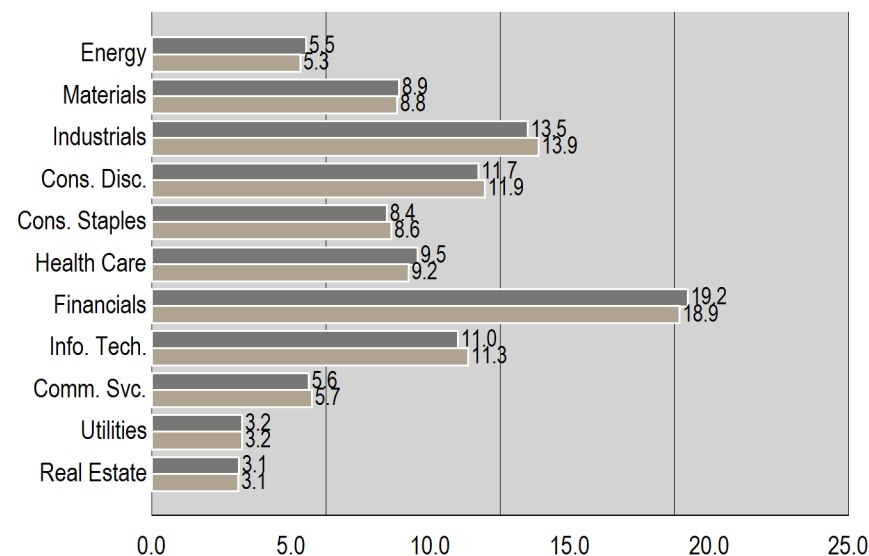
Top Holdings

TAIWAN SEMICONDUCTOR MANUFACTURING CO LTD	1.5%
NESTLE SA, CHAM UND VEVEY	1.2%
TENCENT HOLDINGS LTD	1.0%
NOVO NORDISK 'B'	1.0%
ASML HOLDING NV	1.0%
LVMH MOET HENNESSY LOUIS VUITTON SE	1.0%
SAMSUNG ELECTRONICS CO LTD	0.8%
ASTRAZENECA PLC	0.8%
SHELL PLC	0.8%
ROCHE HOLDING AG	0.8%
Total	9.9%

Market Capitalization

	Small Cap	Mid Cap	Large Cap	Unclassified
Fidelity Total International Index	21.9%	21.6%	51.2%	5.4%
MSCI ACWI ex USA IMI	25.1%	21.7%	53.2%	0.0%
<i>Weight Over/Under</i>	-3.2%	-0.1%	-2.0%	5.4%

Sector Allocation (%) vs MSCI ACWI ex USA IMI



Region Allocation Summary

Region	% of Total	% of Bench	% Diff
North America ex U.S.	7.5%	7.5%	0.0%
United States	1.2%	0.0%	1.2%
Europe Ex U.K.	33.6%	32.0%	1.6%
United Kingdom	8.0%	9.6%	-1.6%
Pacific Basin Ex Japan	9.2%	8.0%	1.2%
Japan	14.7%	14.9%	-0.2%
Emerging Markets	24.6%	27.2%	-2.6%
Other	1.3%	0.8%	0.5%
Total	100.0%	100.0%	0.0%

Manager Summary: Employs a fundamental bottom-up investing approach with a focus on growth at a reasonable price. Fundamental research is employed to identify investments with four key criteria: competitive advantage, quality management, financial strength, and sustainable growth. The strategy generally holds 75-150 names and will include emerging markets and frontier markets, with the total of the two capped at 30%.

Characteristics

	Portfolio	MSCI ACWI ex US Small Cap Growth NR USD
Number of Holdings	87	2,463
Weighted Avg. Market Cap. (\$B)	3.2	2.5
Median Market Cap. (\$B)	2.9	1.1
Price To Earnings	18.0	17.4
Price To Book	2.7	2.7
Price To Sales	1.5	1.4
Return on Equity (%)	14.8	13.2
Yield (%)	2.6	2.0

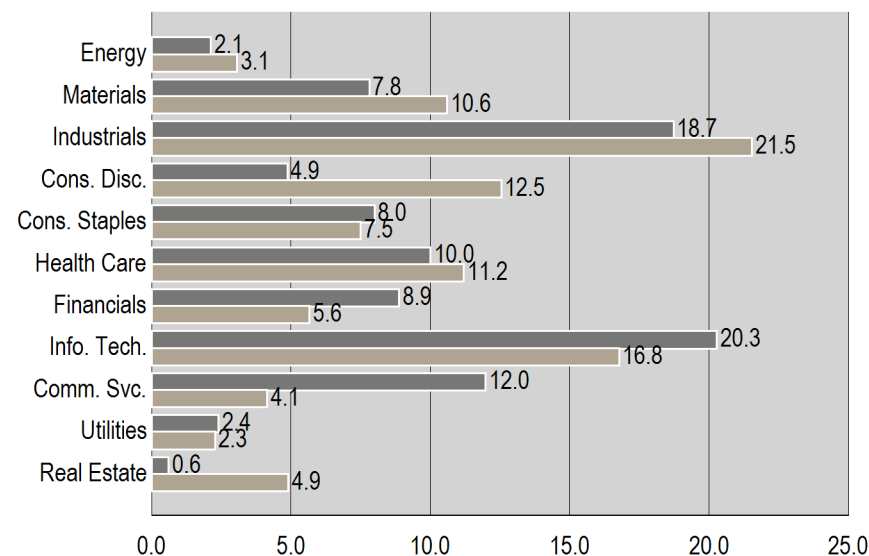
Top Holdings

RUBIS SA, PARIS	2.4%
MEGACABLE HOLDINGS SAB DE	2.3%
KEYWORDS STUDIOS PLC	2.3%
REPLY SPA, TORINO	2.2%
DIPLOMA	2.2%
ALTEN	2.1%
SENIOR PLC	2.1%
HOA PHAT GROUP JOINT STOCK CO	2.1%
SIAULIU BANKAS AB	2.0%
ABCAM PLC ADR	2.0%
Total	21.7%

Market Capitalization

	Small Cap	Mid Cap	Large Cap	Unclassified
Harding Loevner Int'l Small Companies Portfolio	87.7%	3.9%	0.0%	8.4%
MSCI ACWI ex US Small Cap Growth NR USD	99.0%	1.0%	0.0%	0.0%
<i>Weight Over/Under</i>	<i>-11.3%</i>	<i>2.9%</i>	<i>0.0%</i>	<i>8.4%</i>

Sector Allocation (%) vs MSCI ACWI ex US Small Cap Growth NR USD



Region Allocation Summary

Region	% of Total	% of Bench	% Diff
North America ex U.S.	2.0%	7.4%	-5.4%
United States	4.3%	0.0%	4.3%
Europe Ex U.K.	33.9%	24.3%	9.6%
United Kingdom	16.5%	9.7%	6.8%
Pacific Basin Ex Japan	2.3%	10.0%	-7.6%
Japan	12.1%	20.3%	-8.2%
Emerging Markets	23.0%	26.4%	-3.4%
Other	6.0%	1.9%	4.1%
Total	100.0%	100.0%	0.0%

Manager Summary: Strategy employs a fundamental investment approach centered on industry focused bottom-up analysis. Invest in companies with a market capitalization in the largest 95% of the MSCI Emerging Markets Index by weight. Portfolio typically has 80-200 holdings.

Characteristics

	Portfolio	MSCI Emerging Markets
Number of Holdings	128	1,375
Weighted Avg. Market Cap. (\$B)	125.3	112.4
Median Market Cap. (\$B)	14.3	6.6
Price To Earnings	12.3	11.7
Price To Book	2.4	2.4
Price To Sales	1.0	1.0
Return on Equity (%)	14.5	15.2
Yield (%)	2.9	3.5

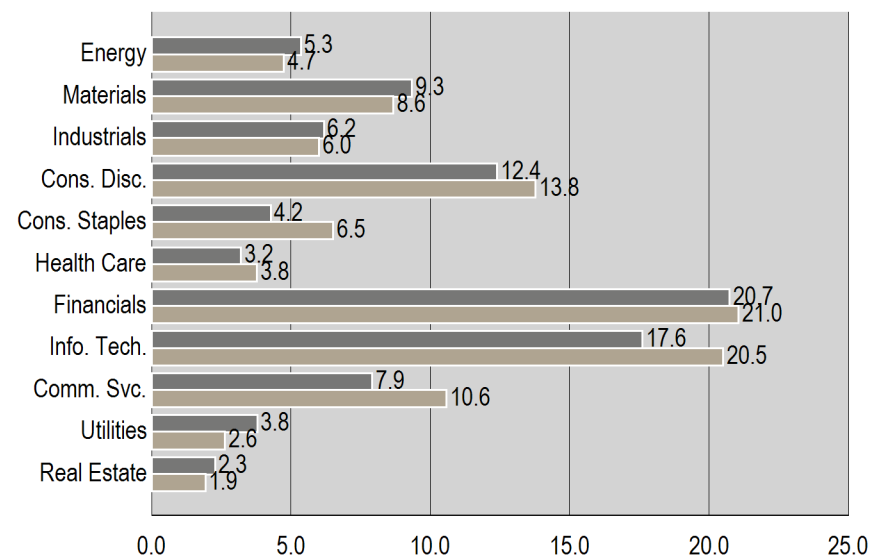
Top Holdings

TAIWAN SEMICONDUCTOR MANUFACTURING CO LTD	7.7%
TENCENT HOLDINGS LTD	6.9%
SAMSUNG ELECTRONICS CO LTD	4.5%
ALIBABA GROUP HOLDING LTD	3.4%
PT BANK RAKYAT INDONESIA TBK	2.4%
CONTEMPORARY AMPEREX TECHNOLOGY CO LTD	2.3%
RELIANCE INDUSTRIES LTD	2.1%
HON HAI PRECISION INDUSTRY CO LTD	1.9%
CHINA MERCHANTS BANK CO LTD	1.9%
BANCO BRADESCO SA BRAD	1.8%
Total	34.8%

Market Capitalization

	Small Cap	Mid Cap	Large Cap	Unclassified
Wellington Emerging Markets Opportunities	5.2%	21.2%	63.9%	9.7%
MSCI Emerging Markets	14.4%	24.3%	61.3%	0.0%
<i>Weight Over/Under</i>	<i>-9.2%</i>	<i>-3.1%</i>	<i>2.6%</i>	<i>9.7%</i>

Sector Allocation (%) vs MSCI Emerging Markets



Region Allocation Summary

Region	% of Total	% of Bench	% Diff
North America ex U.S.	0.0%	0.0%	0.0%
United States	2.8%	0.0%	2.8%
Europe Ex U.K.	0.2%	0.4%	-0.2%
United Kingdom	1.9%	0.0%	1.9%
Pacific Basin Ex Japan	5.7%	0.0%	5.7%
Japan	0.0%	0.0%	0.0%
Emerging Markets	88.8%	98.7%	-10.0%
Other	0.6%	0.9%	-0.3%
Total	100.0%	100.0%	0.0%

Characteristics

Fund GAV (\$MM)	\$22,213.0
Fund NAV (\$MM)	\$16,433.7
Cash (% of NAV)	2.0%
# of Investments	189
% in Top 10 by NAV	20.6%
Leverage %	21.8%
Occupancy	91.4%
# of MSAs	36
1-Year Dividend Yield	3.3%
As of Date	31-Mar-23

Strategy Breakdown

	% of Portfolio
Pre-Development	5.2%
Development	4.2%
Initial Leasing	2.8%
Operating	84.4%
Re-Development	
Other	3.4%

Top Five Metro Areas	% of NAV
Los Angeles-Long Beach-Santa Ana	12.1%
Boston-Cambridge-Quincy, MA	11.6%
San Francisco-Oakland-Fremont	10.2%
Seattle-Tacoma-Bellevue, WA	8.7%
New York-Northern New Jersey	5.7%

Queue In:

Contribution Queue (\$MM)	\$0.00
Anticipated Drawdown (Months)	0

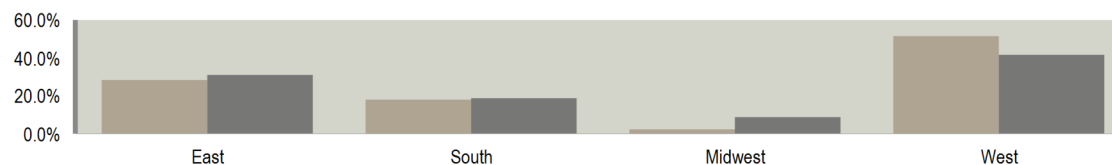
Queue Out:

Redemption Queue (\$MM)	\$2,571.23
Anticipated Payout (Months)	0

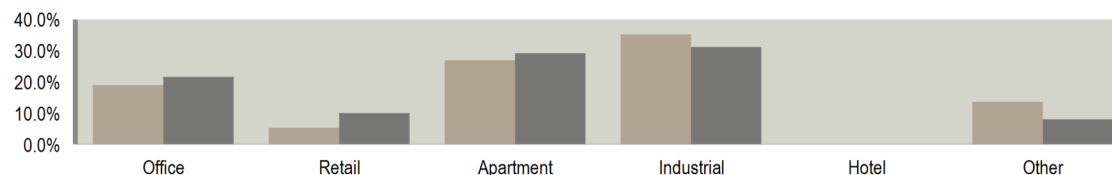
Top Ten Holdings Investment Detail

#	Property	Type	Location	% of Fund NAV
1	245 First Street	Other	Cambridge, MA	3.1%
2	75-125 Binney Street	Other	Cambridge, MA	2.6%
3	Mansfield Logistics Park	Industrial	Mansfield, NJ	2.4%
4	Silver State Commerce Center	Industrial	North Las Vegas, NV	2.0%
5	Savoy	Apartment	Sunnyvale, CA	2.0%
6	213 East Grand Ave	Other	South San Francisco, CA	1.8%
7	Cranbury Station	Industrial	Cranbury, NJ	1.7%
8	Eastlake Life Science Campus	Other	Seattle, WA	1.7%
9	215 Fremont Street	Office	San Francisco, CA	1.7%
10	One Marina Park Drive	Office	Boston, MA	1.6%
Total				20.6%

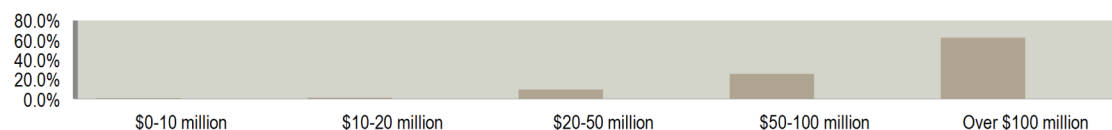
Regional Breakdown by NAV (Excluding Cash & Debt)



Property Type Breakdown by NAV (Excluding Cash & Debt)



Property Size Breakdown by NAV (Excluding Cash & Debt)



■ Clarion Lion Properties Fund ■ NCREIF-ODCE

Characteristics

JPMorgan	
Fund Inception/Vintage Year	2007
Total Fund GAV (\$M)	\$55,850.1
Total Fund NAV (\$M)	\$29,488.0
Cash Balance % of NAV	0.0%
% in Top 10 by NAV	76.5%

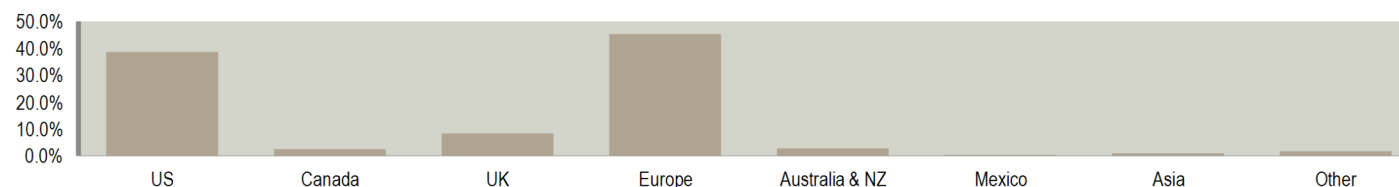
Strategy Breakdown

# of Investments	20		
# of Investors	1217		
# OECD Countries	28		
Trailing 12-month Dividend Yield	6.3%		
Queue Out:	\$810.9	Queue In:	\$4,457.8

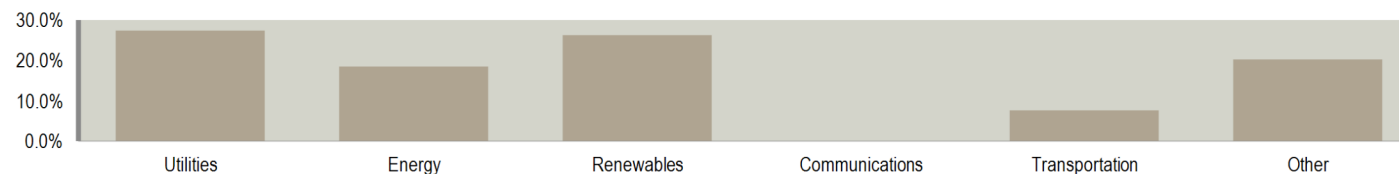
Top 10 Fund investments by NAV

Investment	Sector	Location	Investment (\$M)	Fair Mkt Val (\$M)	% of Portfolio
GETEC	Other	Europe		\$3,755.7	12.8%
Renantis	Wind	UK/Europe/United States		\$2,682.7	9.1%
El Paso Electric	Electric	United States		\$2,681.7	9.1%
Summit Utilities	Gas	United States		\$2,552.6	8.7%
Onward Energy	Wind	United States		\$2,277.6	7.7%
Koole Terminals	Storage	Netherlands		\$2,080.0	7.1%
Sonnedix Power Holdings	Solar	Various OECD		\$1,872.2	6.4%
Ventient Energy Limited	Wind	UK/Europe		\$1,805.4	6.1%
Adven	Other	Finland/Sweden		\$1,558.8	5.3%
BWC Terminals	Storage	United States		\$1,259.4	4.3%
Total			\$0.0	\$22,526.1	76.5%

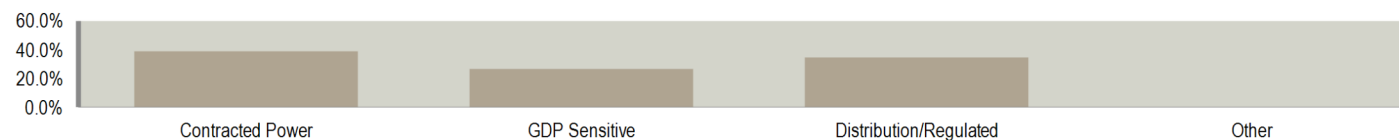
Country Breakdown of Active Assets



Sector Breakdown of Active Assets



Investment by Revenue Source



Manager Summary: Focuses on a relatively broad opportunity set across both infrastructure sectors and geography (emerging and developed markets) with an emphasis on companies that are owners and operators of infrastructure assets. Cohen & Steers will generally avoid cyclical subsectors such as oil and gas production (upstream energy) but will invest in midstream energy. The Fund screens for companies that exhibit relatively predictable inflation-lined cash flows and regulated and monopolistic businesses with high barriers to entry. Typically holds between 50-80 holdings at any given time with a concentration in the U.S. and larger capitalization stocks.

Characteristics

	Portfolio	MSCI ACWI
Number of Holdings	54	2,884
Weighted Avg. Market Cap. (\$B)	42.3	351.6
Median Market Cap. (\$B)	20.5	12.3
Price To Earnings	21.8	17.3
Price To Book	2.3	3.4
Price To Sales	2.1	1.8
Return on Equity (%)	12.3	20.7
Yield (%)	3.1	2.3

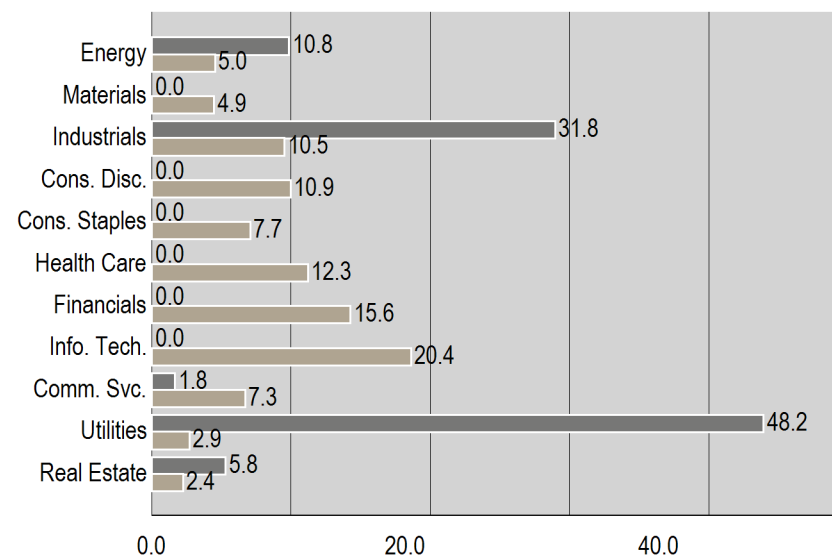
Top Holdings

NEXTERA ENERGY INC	6.6%
CSX CORP	3.9%
SEMPRA ENERGY	3.8%
GRUPO AEROPORTUARIO DEL SURESTE 'B'	3.7%
TRANSURBAN GROUP	3.6%
CANADIAN PACIFIC KANSAS CITY LTD	3.3%
NATIONAL GRID PLC	3.2%
EXELON CORP	2.9%
PPL CORP	2.8%
UNION PACIFIC CORP	2.6%
Total	36.3%

Market Capitalization

	Small Cap	Mid Cap	Large Cap	Unclassified
Cohen & Steers Global Infrastructure Fund	10.4%	31.9%	54.8%	2.9%
MSCI ACWI	5.9%	16.8%	77.3%	0.0%
<i>Weight Over/Under</i>	4.5%	15.1%	-22.4%	2.9%

Sector Allocation (%) vs MSCI ACWI

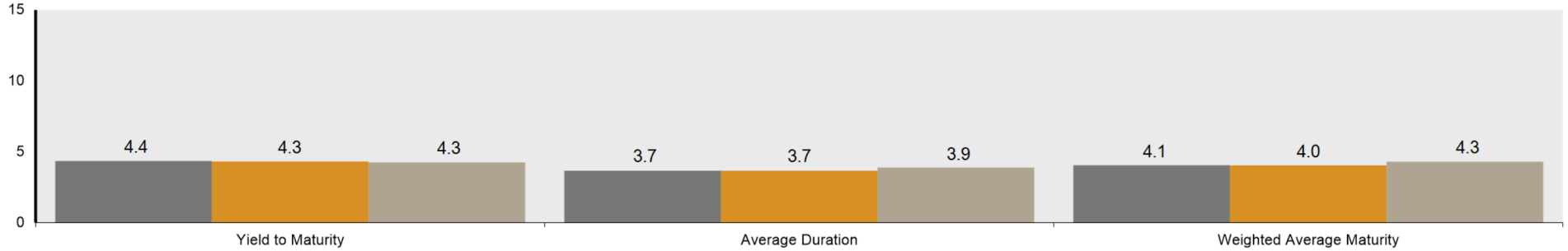


Region Allocation Summary

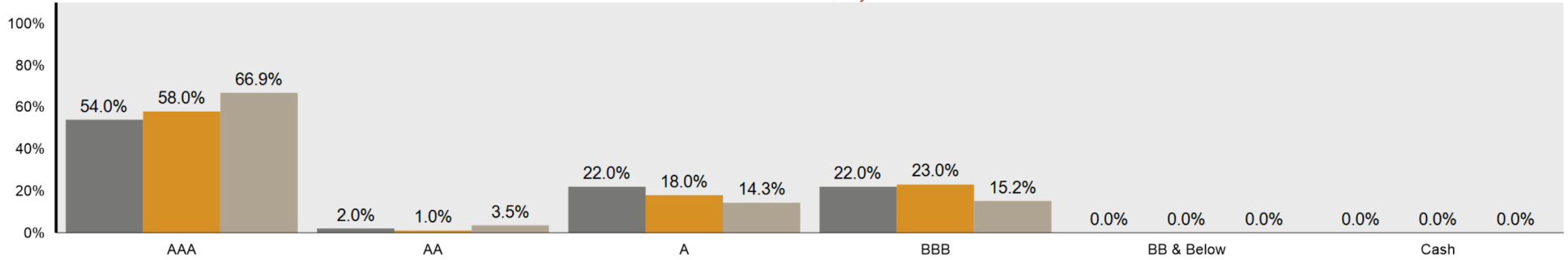
Region	% of Total	% of Bench	% Diff
North America ex U.S.	10.2%	3.0%	7.3%
United States	55.4%	60.6%	-5.1%
Europe Ex U.K.	7.0%	13.1%	-6.1%
United Kingdom	3.2%	3.8%	-0.6%
Pacific Basin Ex Japan	8.9%	3.0%	5.8%
Japan	2.2%	5.5%	-3.3%
Emerging Markets	13.1%	10.8%	2.3%
Other	0.0%	0.3%	-0.3%
Total	100.0%	100.0%	0.0%

Manager Summary: Strategy focuses equally on duration management, sector selection and yield curve exposure. Assess overall market environment and position portfolio to benefit from realistic expectations. Will actively trade, including analysis of technical factors, price momentum, interest rate outlook and yield curve movement.

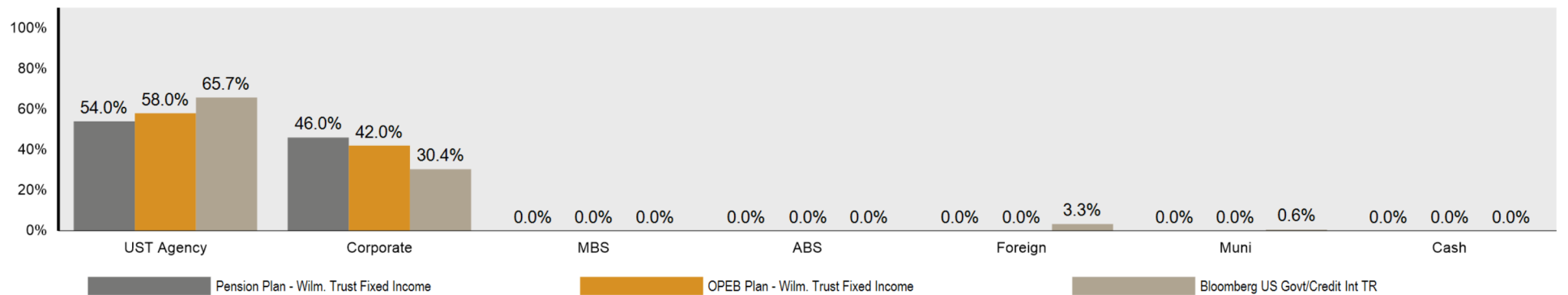
Yield to Maturity



Credit Quality

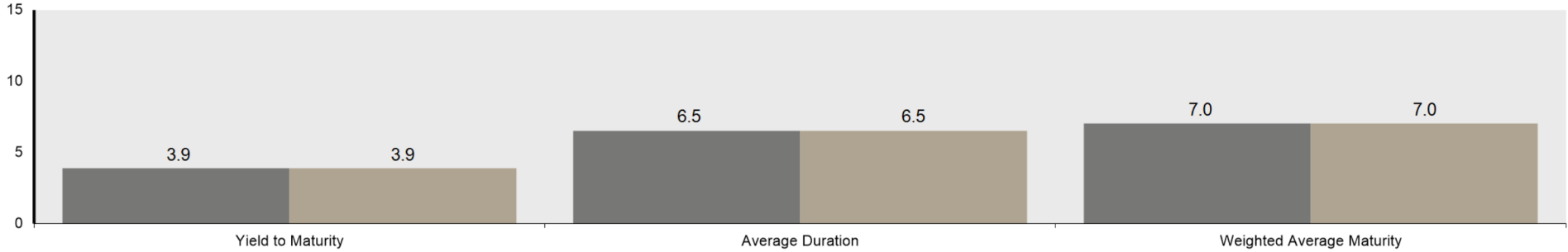


US Sector

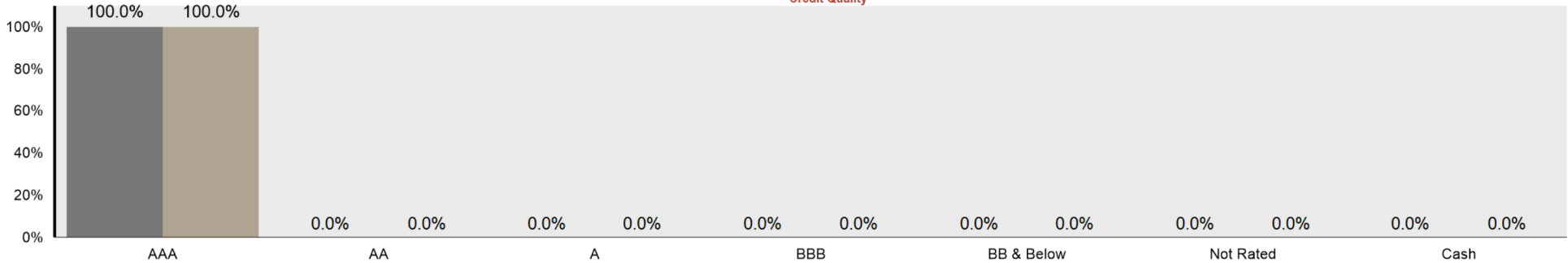


Manager Summary: Passively-managed using an index sampling approach. Seeks to track the performance of Barclays Capital U.S. 5-10 year Treasury Index. Invests only in U.S. Treasury securities. Intermediate duration portfolio. a smaller number of securities.

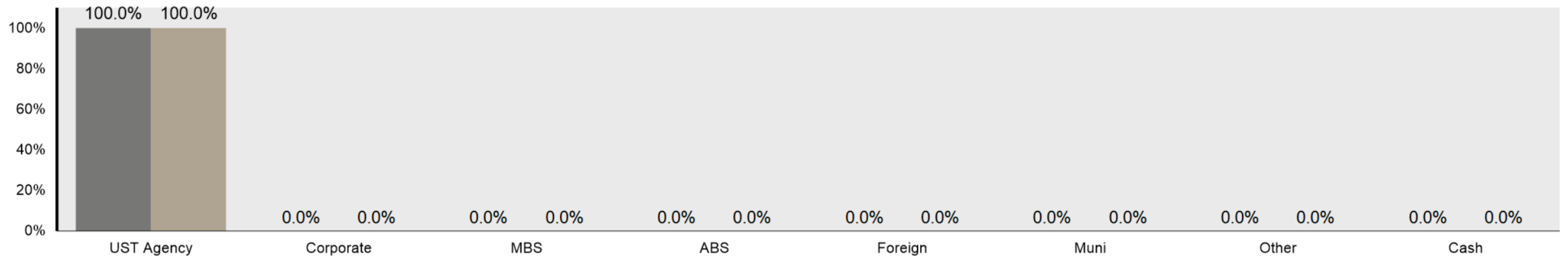
Yield to Maturity



Credit Quality



US Sector

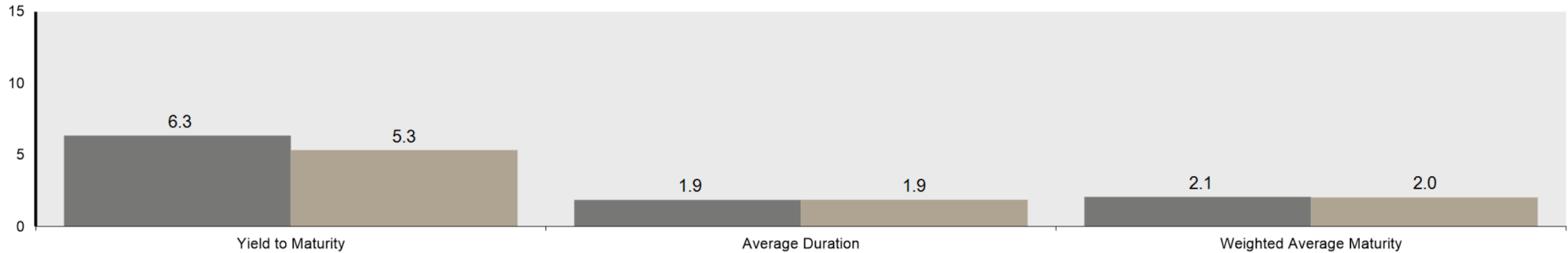


Fidelity Intern. Treasury Bond

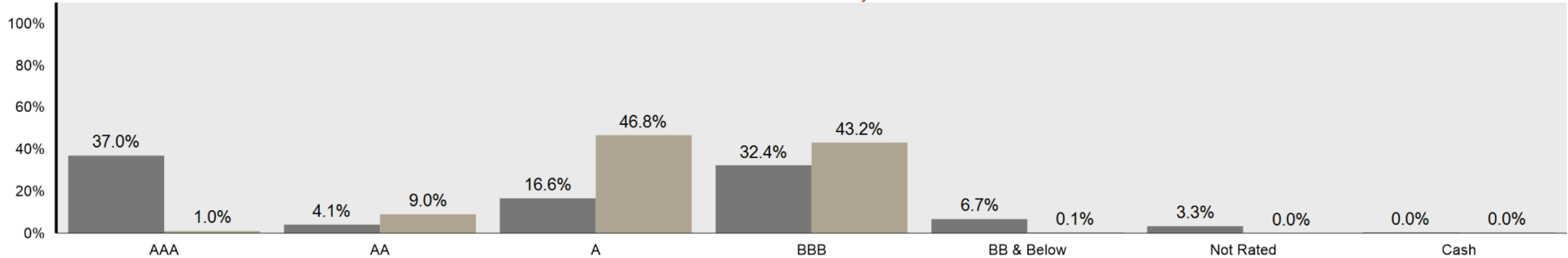
BBgBarc US Treasury 5-10 Yr TR

Manager Summary: Seeks to add value through sector rotation and security selection among short-duration securities. Approach combines top-down decisions making with bottom-up security selection. A separate quantitative team helps monitor risk allocation as well as the relative attractiveness of securities and sectors. The strategy employs a duration-neutral position versus the benchmark.

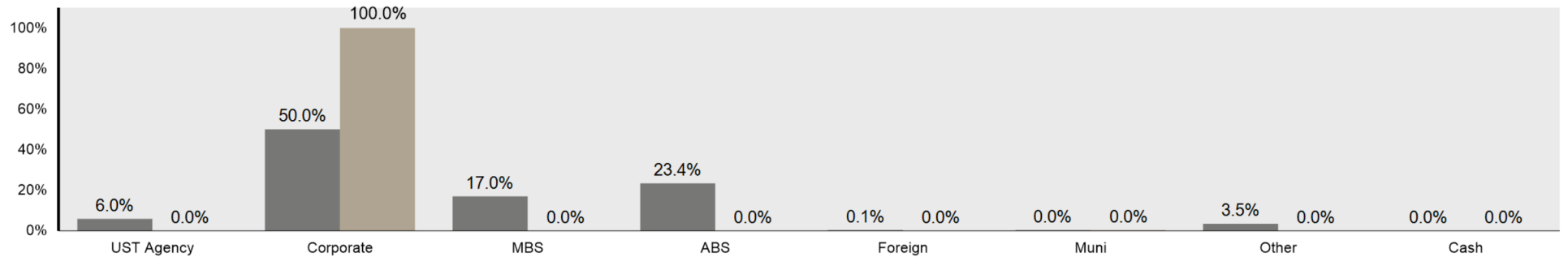
Yield to Maturity



Credit Quality



US Sector

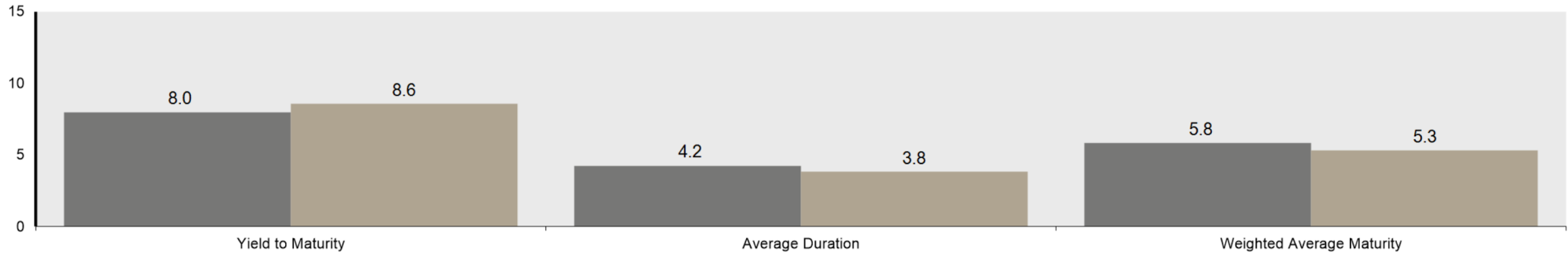


Lord Abbett Short Duration Income Fund

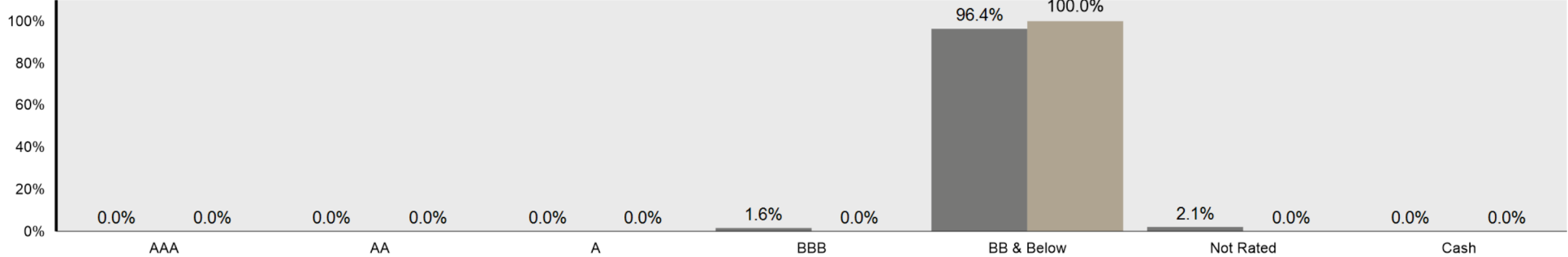
ICE BofAML 1-3 Year U.S. Corp. Index

Manager Summary: The team uses a bottom-up, fundamental analysis of each company under coverage. The research process includes an analysis of the quality of management, the company's relative market position and industry dynamics. Fundamental analysis is augmented by quantitative modeling which allows the team to individually assess the credit worthiness of target companies in a variety of economic scenarios.

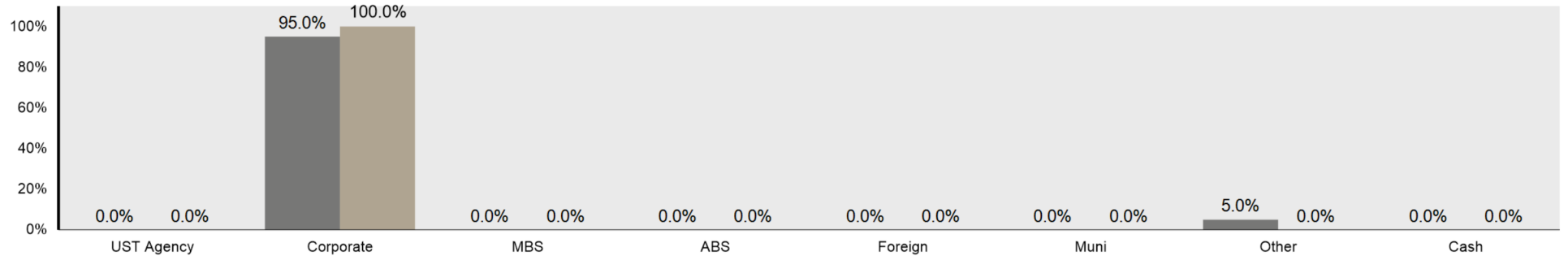
Yield to Maturity



Credit Quality



US Sector



Lord Abbett High Yield Fund

ICE BofAML U.S. HY Constrained Index

Sussex County Employee Pension Plan

Performance Summary (Net)

As of April 30, 2023

	QTD	YTD	Fiscal YTD	Market Value	% of Portfolio	Policy %
Total Fund Composite	1.0	5.2	6.8	145,821,274	100.0	100.0
<i>Pension Policy Index</i>	0.9	6.0	7.5			
Total Equity Composite	1.3	7.5	10.7	92,163,703	63.2	63.0
<i>Total Equity Policy Index</i>	1.2	8.3	11.2			
U.S. Equity Composite	1.2	7.6	10.7	56,394,558	38.7	39.0
<i>Russell 3000</i>	1.1	8.3	10.9			
Fidelity 500 Index	1.6	9.2	11.7	47,043,785	32.3	32.0
<i>S&P 500</i>	1.6	9.2	11.7			
Eaton Vance Atlanta Capital SMID	-0.1	0.9	--	4,336,139	3.0	3.3
<i>Russell 2500</i>	-1.3	2.0	--			
Vanguard Small-Cap Value Index	-1.0	-0.4	6.9	5,014,634	3.4	3.8
<i>CRSP US Small Cap Value TR USD</i>	-1.0	-0.4	6.9			
Global Equity Composite	1.6	7.7	10.1	22,276,369	15.3	15.0
<i>MSCI ACWI IMI Net USD</i>	1.3	8.3	11.1			
Dodge & Cox Global Stock	2.1	7.3	9.5	7,389,807	5.1	5.0
<i>MSCI ACWI Value NR USD</i>	1.7	3.0	8.6			
Artisan Global Opportunities	-0.8	8.2	10.0	6,987,704	4.8	5.0
<i>MSCI ACWI Growth</i>	1.1	15.1	14.0			
MFS Low Volatility Global Equity	3.3	7.6	12.2	7,898,858	5.4	5.0
<i>MSCI ACWI Minimum Volatility Index</i>	2.8	4.4	6.4			
Non-U.S. Equity Composite	1.3	7.1	8.8	13,492,776	9.3	9.0
<i>MSCI ACWI ex USA IMI</i>	1.7	8.4	11.7			
Schroder Int'l Multi-Cap Value Trust	1.3	7.0	8.7	2,150,793	1.5	1.5
<i>MSCI ACWI ex USA IMI Value (Net)</i>	2.4	7.5	11.6			
Fidelity Total International Index	1.8	8.6	11.7	8,136,101	5.6	5.0
<i>MSCI ACWI ex USA IMI</i>	1.7	8.4	11.7			
Harding Loevner Int'l Small Companies Portfolio	3.1	7.2	13.8	1,248,715	0.9	1.0
<i>MSCI ACWI ex US Small Cap Growth NR USD</i>	0.9	6.6	9.6			
Wellington Emerging Markets Opportunities	-1.8	1.5	-3.4	1,957,167	1.3	1.5
<i>MSCI Emerging Markets</i>	-1.1	2.8	-0.3			

Sussex County Employee Pension Plan

Performance Summary (Net)

As of April 30, 2023

	QTD	YTD	Fiscal YTD	Market Value	% of Portfolio	Policy %
Real Estate Composite				8,108,666	5.6	5.0
Clarion Lion Properties Fund	0.0	-5.3	-10.0	8,108,666	5.6	5.0
<i>NFI-ODCE</i>	0.0	-3.3	-8.0			
Infrastructure Composite	0.1	2.2	8.0	8,167,520	5.6	5.0
<i>CPI +4%</i>	0.0	2.7	4.9			
JPMorgan IIF Hedged LP	0.0	2.2	8.2	7,841,462	5.4	5.0
<i>CPI +4%</i>	0.0	2.7	4.9			
Cohen & Steers Global Infrastructure Fund	2.2	3.1	2.3	326,058	0.2	0.0
<i>FTSE Global Core Infrastructure 50/50 Index (Net)</i>	2.1	2.7	1.9			
Fixed Income Composite	0.6	3.1	1.6	34,854,923	23.9	26.0
<i>Bloomberg US Govt/Credit Int TR</i>	0.6	3.0	1.3			
Wilmington Trust Fixed Income	0.6	3.0	1.6	18,548,239	12.7	13.0
<i>WT Fixed Income Policy Index</i>	0.6	3.0	1.3			
Fidelity Interm. Treasury Bond Index	0.8	4.2	0.1	7,362,390	5.0	6.0
<i>Bloomberg US Treasury 5-10 Yr TR</i>	0.8	4.0	0.1			
Lord Abbett Short Duration Income	0.4	2.3	1.9	8,575,186	5.9	7.0
<i>ICE BofA 1-3 Yrs US Corporate TR</i>	0.6	1.9	2.0			
Lord Abbett High Yield Fund	0.9	3.7	6.6	369,108	0.3	0.0
<i>BofA ML US High Yield Constrained Index</i>	1.0	4.7	8.2			
Cash & Equivalents				2,526,463	1.7	1.0
Wilmington U.S. Govt MM Fund - MF Acct				1,711,960	1.2	1.0
M&T Bank Municipal MM Savings				814,503	0.6	0.0

Sussex County OPEB Plan

Performance Summary (Net)

As of April 30, 2023

	QTD	YTD	Fiscal YTD	Market Value	% of Portfolio	Policy %
Total Fund Composite	1.0	5.2	6.7	59,157,535	100.0	100.0
<i>Sussex OPEB Policy Index</i>	0.9	6.0	7.5			
Total Equity Composite	1.3	7.5	10.6	37,477,769	63.4	63.0
<i>Equity Policy Index</i>	1.2	8.3	11.2			
U.S. Equity Composite	1.2	7.6	10.7	23,078,931	39.0	39.0
<i>Russell 3000</i>	1.1	8.3	10.9			
Fidelity 500 Index	1.6	9.2	11.7	19,206,085	32.5	32.0
<i>S&P 500</i>	1.6	9.2	11.7			
Eaton Vance Atlanta Capital SMID	-0.1	0.9	--	1,834,137	3.1	3.3
<i>Russell 2500</i>	-1.3	2.0	--			
Vanguard Small-Cap Value Index	-1.0	-0.4	6.9	2,038,709	3.4	3.8
<i>CRSP US Small Cap Value TR USD</i>	-1.0	-0.4	6.9			
Global Equity Composite	1.6	7.6	9.9	8,893,337	15.0	15.0
<i>MSCI ACWI IMI Net USD</i>	1.3	8.3	11.1			
Dodge & Cox Global Stock	2.1	7.3	9.5	3,008,787	5.1	5.0
<i>MSCI ACWI Value NR USD</i>	1.7	3.0	8.6			
Artisan Global Opportunities	-0.8	8.2	10.0	2,752,648	4.7	5.0
<i>MSCI ACWI Growth</i>	1.1	15.1	14.0			
MFS Low Volatility Global Equity	3.2	7.4	11.7	3,131,902	5.3	5.0
<i>MSCI ACWI Minimum Volatility Index</i>	2.8	4.4	6.4			
Non-U.S. Equity Composite	1.3	7.1	8.6	5,505,501	9.3	9.0
<i>MSCI ACWI ex USA IMI</i>	1.7	8.4	11.7			
Hartford Schroders Int'l Multi-Cap Value	1.4	7.6	8.8	852,710	1.4	1.5
<i>MSCI ACWI ex USA IMI Value (Net)</i>	2.4	7.5	11.6			
Fidelity Total International Index	1.8	8.6	11.7	3,262,315	5.5	5.0
<i>MSCI ACWI ex USA IMI</i>	1.7	8.4	11.7			
Harding Loevner Int'l Small Companies Portfolio	3.1	7.2	13.8	532,026	0.9	1.0
<i>MSCI ACWI ex US Small Cap Growth NR USD</i>	0.9	6.6	9.6			
Wellington Emerging Markets Opportunities	-1.8	1.5	-3.4	858,451	1.5	1.5
<i>MSCI Emerging Markets</i>	-1.1	2.8	-0.3			

Sussex County OPEB Plan

Performance Summary (Net)

As of April 30, 2023

	QTD	YTD	Fiscal YTD	Market Value	% of Portfolio	Policy %
Real Estate Composite				3,269,399	5.5	5.0
Clarion Lion Properties Fund	0.0	-5.3	-10.0	3,269,399	5.5	5.0
<i>NFI-ODCE</i>	0.0	-3.3	-8.0			
Infrastructure Composite	0.1	2.2	8.0	3,213,688	5.4	5.0
<i>CPI +4%</i>	0.0	2.7	4.9			
JPMorgan IIF Hedged LP	0.0	2.2	8.2	3,080,575	5.2	5.0
<i>CPI +4%</i>	0.0	2.7	4.9			
Cohen & Steers Global Infrastructure Fund	2.2	3.1	2.3	133,113	0.2	0.0
<i>FTSE Global Core Infrastructure 50/50 Index (Net)</i>	2.1	2.7	1.9			
Fixed Income Composite	0.6	3.1	1.5	14,431,196	24.4	26.0
<i>Bloomberg US Govt/Credit Int TR</i>	0.6	3.0	1.3			
Wilmington Trust Fixed Income	0.6	3.0	1.5	8,421,055	14.2	15.0
<i>WT Fixed Income Policy Index</i>	0.6	3.0	1.3			
Fidelity Interm. Treasury Bond Index	0.8	4.2	0.1	2,671,380	4.5	5.0
<i>Bloomberg US Treasury 5-10 Yr TR</i>	0.8	4.0	0.1			
Lord Abbett Short Duration Income	0.4	2.3	1.9	3,188,578	5.4	6.0
<i>ICE BofA 1-3 Yrs US Corporate TR</i>	0.6	1.9	2.0			
Lord Abbett High Yield Fund	0.9	3.7	6.6	150,183	0.3	0.0
<i>BofA ML US High Yield Constrained Index</i>	1.0	4.7	8.2			
Cash & Equivalents				765,482	1.3	1.0
Wilmington U.S. Govt MM Fund - MF Acct				626,553	1.1	1.0
M&T Bank Municipal MM Savings				138,929	0.2	0.0

GINA A. JENNINGS, MBA, MPA
FINANCE DIRECTOR

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(302) 855-7749 F
gjennings@sussexcountyde.gov



Sussex County

DELAWARE
sussexcountyde.gov

MEMORANDUM:

TO: Sussex County Council
The Honorable Michael H. Vincent, President
The Honorable John L. Rieley, Vice President
The Honorable Cynthia C. Green
The Honorable Douglas B. Hudson
The Honorable Mark G. Schaeffer

FROM: Gina A. Jennings
Finance Director/Chief Operating Officer

RE: **Audit RFP Award**

DATE: June 2, 2023

A Request for Proposal (RFP) was done recently for audit services. We received three proposals: BDO USA, LLP; CliftonLarsonAllen LLP; UHY, LLC. A summary of the bid evaluations is attached. The bids were graded on experience and reputation, quality of audit firm, capacity to perform, credentials and experience, and price.

Based upon an evaluation completed by me, the Deputy Finance Director, and the Manager of Accounting, it is recommended that Sussex County select BDO USA, LLP to perform audit services for the next three fiscal years with the option to extend the contract for another three one-year periods, by mutual agreement. The cost of auditing services includes performing the County's annual audit, the federal awards audit, 11 library compilation/reviews, agreed-upon procedures for fire companies, and routine technical research and advice. Specific reasons why the committee is recommending BDO are: the familiarity with Sussex County and the Munis ERP financial system, the firm's substantial experience with being an advisor to over 4,000 public sector clients, the number of hours they are dedicating to perform the County's audit to meet critical deadlines, their knowledge of the recent GASB regulations, and their capacity to perform based on the quality and number of staff being assigned to our audit.

Please let me know if you have any questions.

Attachment



Sussex County

PROFESSIONAL SERVICES BID TABULATION SHEET

Project: Audit Services

Possible Award Date: June 6, 2023

Recommended Awarded Entity: BDO USA, LLP

Auditor	Score out of 5
BDO USA LLP	3.87
CliftonLarsonAllen LLP	3.40
UHY LLP	2.60

Auditor	Partner Rates	Director - Manager Rates	Senior - Associates Rates
BDO USA LLP	\$245	\$205-\$180	\$135-\$115
CliftonLarsonAllen LLP	\$230	\$190	\$110-\$90
UHY LLP	\$375	\$280	\$200-\$150

BDO USA LLP's Proposal	6/30/2023	6/30/2024	6/30/2025
Base Fee	\$103,000	\$107,000	\$110,000
Single Audit (up to 3 major programs)	\$22,000	\$23,000	\$24,000
11 Independent Library Compilations/Reviews	\$38,000	\$39,500	\$41,600
Agreed-upon Procedures (per fire company)	\$5,150	\$5,300	\$5,450

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Sussex County

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MEMORANDUM:

TO: Sussex County Council
The Honorable Michael H. Vincent, President
The Honorable John L. Rieley, Vice President
The Honorable Cynthia C. Green
The Honorable Douglas B. Hudson
The Honorable Mark G. Schaeffer

FROM: Gina A. Jennings
Finance Director/Chief Operating Officer

RE: **American Rescue Plan Non-Profit Grant Award Recommendation**

DATE: June 2, 2023

In March, I gave Council an update on the County's ARPA funds. At that time, I recommended that the Council endorse a grant program that would allow non-profits to demonstrate they were financially impacted by the pandemic. Non-profits demonstrated harm by providing the County with their IRS 990 forms or financial statements for their 2019 – 2021 fiscal years.

After review by the Finance Department, we are recommending awarding 23 entities amounts ranging from \$1,568 to \$40,000. The awards were based on both the financial calculation and clarification that the financial impacts were COVID-19 related.

If Council awards these grants on Tuesday, the Finance Department will reach out to the entities and notify them of their award. The non-profit will then sign the attached certification before the funds will be released.

Please let me know if you have any questions.

Attachment

NON-PROFIT RECOMMENDED ARPA AWARDS

	Organization	Funds Requested	Need applied for:	Recommended Amount	Revenue Loss (Gain)	Increase (Decrease) in Exp	Notes
1	Bridgeville Apple Scrapple Festival	\$20,000	Revenue Loss	\$20,000	>20,000	N/A	Revenue loss due to cancelled festival due to the pandemic
2	Bridgeville Public Library	\$40,000	Increased Costs	\$40,000	N/A	>40,000	Increased costs due to the pandemic
3	Cape Henlopen Senior Center	\$40,000	Revenue Loss	\$40,000	>40,000	N/A	Program revenue down due to the pandemic
4	Cheer Inc	\$40,000	Revenue Loss	\$40,000	>40,000	N/A	Program revenue down due to the pandemic
5	Contractors for a Cause	\$25,000	Revenue Loss	\$20,822	\$20,822	N/A	Contributions down due to the pandemic
6	Delmar Public Library	\$40,000	Increased Costs	\$40,000	N/A	>40,000	Increased costs due to the pandemic
7	Envision of Frankford Inc	\$5,000	Revenue Loss	\$5,000	>5,000	N/A	Loss of revenue due to the pandemic
8	Friends of Milford Public Library	\$5,000	Revenue Loss	\$5,000	>5,000	N/A	Revenue loss due to fundraising events during the pandemic
9	Friends of Prime Hook National Wildlife Refuge	\$5,000	Revenue Loss	\$5,000	>5,000	N/A	Revenue loss due to donations down from store being closed
10	Friends of the Bridgeville Library	\$5,000	Revenue Loss	\$5,000	>5,000	N/A	Revenue loss due to cancellation of fundraisers
11	Friends of the Georgetown Public Library	\$18,646	Revenue Loss	\$5,000	>5,000	N/A	Revenue loss due to cancellation of fundraiser
12	Friends of the South Coastal Library	\$40,000	Revenue Loss	\$40,000	>40,000	N/A	Revenue loss due to cancellation of fundraisers
13	Greater Lewes Foundation	\$40,000	Revenue Loss	\$40,000	>40,000	N/A	Contributions down due to the pandemic
14	Joshua M Freeman Foundation	\$40,000	Revenue Loss	\$40,000	>40,000	N/A	Revenue loss due to cancelled programs
15	Lewes Fire Department	\$40,000	Increased Costs	\$40,000	N/A	>40,000	Increased employee costs (OT) due to the pandemic
16	Lewes Public Library	\$40,000	Revenue Loss	\$40,000	>40,000	N/A	Decrease in contributions
17	Lower Sussex Little League	\$40,000	Revenue Loss	\$40,000	>40,000	N/A	Revenue loss due to season being cancelled
18	Milton Community Food Pantry	\$10,000	Revenue Loss	\$1,568	\$1,568	N/A	Decrease in contributions
19	Rehoboth Beach Public Library	\$40,000	Increased Costs	\$40,000	N/A	>40,000	Increased costs due to the pandemic
20	Southern Delaware Therapeutic and Recreational Horseback Riding	\$40,000	Revenue Loss	\$40,000	>40,000	N/A	Decrease in contributions
21	Sussex Community Crisis Housing Services	\$40,000	Revenue Loss	\$40,000	>40,000	N/A	Decrease in contributions; will confirm when 2021's 990 is complete
22	West Side New Beginnings	\$10,000	Revenue Loss	\$10,000	>10,000	N/A	Decrease in contributions
23	What is Your Voice	\$40,000	Increased Costs	\$40,000	N/A	>40,000	Increased costs due to the pandemic

Sussex County Government
American Rescue Plan Act (ARPA) Non-Profit Grant Certification

Your organization was awarded (ARPA) funds through Sussex County Government. To receive these funds, you must sign the following certification.

I, _____, am the authorized representative of _____, a non-profit entity, and I certify that:

1. I have the authority to request reimbursement from Sussex County Government's allocation of funds from the American Rescue Plan Act on behalf of my non-profit, _____.
2. I understand that Sussex County Government will rely on this certification as a material representation that all funding through this ARPA program is related solely to reimbursement for increase in expenses or decrease in revenue directly related to the COVID-19 pandemic.
3. Grant funds received pursuant to this certification shall not be used for expenditures for which the non-profit has received, or will receive, any other emergency COVID-19 funding (whether state, federal, or private in nature) for the same expenses.
4. The non-profit receiving these funds acknowledges that the funds are subject to a claw-back and other appropriate measures, including the possible reduction or elimination of other County funds to be paid to the non-profit, due to any misrepresentation, misuse, or mishandling of these ARPA funds.

I certify that I have read and understand the above certification, that all representations contained herein are true and correct, and that I am authorized by _____ to bind the non-profit and execute this certification on its behalf.

By: _____ (SEAL)

Signature: _____

Title: _____

Date: _____

ENGINEERING DEPARTMENT

HANS M. MEDLARZ
COUNTY ENGINEER

(302) 855-7370 T
(302) 854-5391 F

hans.medlarz@sussexcountyde.gov



Sussex County

DELAWARE
sussexcountyde.gov

Memorandum

TO: Sussex County Council
The Honorable Michael H. Vincent, President
The Honorable John L. Rieley, Vice President
The Honorable Cynthia C. Green
The Honorable Douglas B. Hudson
The Honorable Mark G. Schaeffer

FROM: Hans Medlarz, P.E., County Engineer

RE: ***South Coastal WRF Treatment Process Upgrade No.3 & Rehoboth Beach WTP Capital Improvement Program, Phase 2 A. General Construction, Project C19-11 Change Order No. 28***

DATE: June 6, 2023

In summary, the South Coastal WRF Treatment Process Upgrade No.3 encompasses the following components and statuses:

- a. Effluent Forcemain Relocation/Replacement; Completed in fall of 2019.
- b. Influent Forcemain Consolidation; Completed in May of 2020.
- c. Drainage Network Rerouting;
This scope was not included in the base bid. After cost comparison between the General Labor & Equipment Contract versus a change order under Ronca's general construction contract; Council awarded the stand alone Change Order Request 554-001 to Ronca & Sons, Inc. in the amount of \$104,592.96 on March 10, 2020. The construction was completed in July 2020.
- d. General Construction Project C19-11; awarded on December 17, 2019, to M.F. Ronca & Sons, Inc.

On March 10, 2020, Council authorized Change Order No.1 in the net amount of \$97,294.31 for deletion of the record drawing requirement and the modification of the RBWTF influent forcemains.

On May 12, 2020, Council authorized credit Change Order No. 2 in the amount of (\$12,705.00) eliminating an explosion proof motor requirement.



On July 28, 2020, Council approved credit Change Order No. 3 in the combined amount (\$9,764.30) for use of County surplus materials.

Change Order No.4 in the amount of \$871,000.00 for the repairs of partial failures at the two City of Rehoboth's wastewater treatment plant oxidation ditch systems was also approved on July 28, 2020. M.F. Ronca & Sons, Inc. completed the scope in May of 2021 and the County increased the flow contribution to the City's plant.

On December 15, 2020, County Council approved Change Order No. 6 for steel framing repairs in the first oxidation ditch on a time & material basis up to \$10,500.00 in addition to the concrete repairs conducted per the awarded contingent unit price schedules.

The County initiated RFP-019 for interior headworks piping modifications and RFP-023 covering the addition of a cross connection between the existing 14-inch process drain header for Aeration Tank Nos. 1-4 and the new header for the Aeration Tank Nos. 5-8. On September 22, 2020, Council approved Change Order No.5 in the combined amount of \$32,991.66.

GHD issued RFP-031 for the installation of plug valves on each of the 12-inch recycle influent pipes to be connected to the existing Aeration Tank Nos. 1-4 and to the new Aeration Tank Nos. 7-8. On December 15, 2020, Change Order No. 7 was approved for said shut off valves in the amount of \$31,974.51.

The new South Coastal aeration basin had to be connected to the existing large diameter sludge return piping requiring a forward flow stoppage. Minimizing the joint risk M. F. Ronca proposed a line stop approach under Change Order No. 8. Since it also gained construction efficiency, they offered to only charge for the subcontractor work.

In the spring of 2021, the Rehoboth Beach WTP oxidation ditch rehabilitation was receiving expansive attention including:

- Contingent Unit Price Concrete Repairs, Bid Items F-19 & F-20
- Steel Repairs authorized under Change Order No. 6
- Steel Coatings authorized as part of Change Order No. 4

In addition, all of the leaking expansion joints have been repaired under a time & material approach. On March 9, 2021, County Council approved Change Order Nos. 8 and 9 in the respective amounts of \$34,765.50 and \$45,600.00.

Only one of the two headworks vertical influent pipes has a shut off valve and Environmental Services requested a second valve. In addition, two of the existing headworks slide gates were compromised in need of replacement. On May 25, 2021, Council approved Change Order No. 10 in the aggregate amount of \$34,160.64.

The County initiated RFP-039 addressing modifications to two slide gates avoiding conflict with the new air piping. In addition, it was discovered during the rehabilitation work in the grit tanks, that the existing influent chutes to the stacked tray grit removal systems were significantly compromised. On June 22, 2021, Council approved Change Order No. 11 in the aggregate amount of \$59,557.16.

The design team-initiated RFP-038 for exhaust duct modifications associated with the new turbo blowers and RFP-041 correcting the elevation difference in the headworks cross channel. On July 13, 2021, Council approved Change Order No. 12 to M.F. Ronca & Sons in the aggregate amount of \$14,700.07.

The contract as bid included concrete repairs to the City's headworks and influent splitter box. With the structures by-passed and accessible, the full extent of the damage required an alternative approach detailed in RFP-037 including full demolition of the upper level as well as the channel between it and the splitter box. GHD, the City Engineer and the County Engineer supported the approach, and the change order was within budget of the City's financing arrangements previously approved by the City and County elected officials. Therefore, Council approved Change Order No. 13 to M.F. Ronca & Sons in the amount of \$1,043,243.92 on August 10, 2021.

The City requested M.F. Ronca & Sons' assistance in the wetwell cleaning of the State Rd. pump station to allow a full evaluation in preparation of the upgrade design. In addition, the City requested to modify the air intake for B-10 Building ventilation from a roof mount to an existing window opening. On November 30, 2022, County Council approved Change Order No. 14 in the aggregate amount of \$7,380.37.

Upon exposure of the normally submerged piping at the oxidation ditches, GHD formulated an initial repair scope for the influent, return sludge & air piping including replacement of valves and fittings. It was subsequently reduced and Michael F. Ronca & Sons, Inc. proposed to perform the modified repair scope for \$324,996.81. GHD, the City Engineer and the County Engineer supported the modified approach. However, this amount is not within budget of the City's financing arrangements previously approved. The City will pay for this change order directly out of City funds. County Council approved Change Order No. 15 on January 11, 2022, subject to direct payment by the City. Since then, it was determined that the pipe support configuration for the replacement of oxidation ditch influent piping at the City's WTP required additional supports and RFP-056 was issued. Michael F. Ronca & Sons, Inc. proposed to perform the expanded repair scope for \$8,992.49. County Council approved Change Order No. 17 to M.F. Ronca & Sons in the amount of \$8,992.49 on January 25, 2022.

GHD's design scope included a separate task for the hydraulic transient analysis of the South Coastal effluent force under various pumping scenarios. After County approval of the findings, GHD issued RFP-052 for replacing air valves on the effluent force main and installing additional air valves at new locations. This work scope was not known at time of base bid and hence not included. On January 11, 2022, County Council issued Change Order No. 16 to M.F. Ronca & Sons in the amount of \$88,132.23.

The South Coastal RWF's return sludge pumping station has three (3) pumps, two of which have been upgraded. The third unit recently experienced a failure, and the Environmental Services requested replacement of the pump and piping to be integrated in the project as per RFP-053. Michael F. Ronca & Sons, Inc. proposed Change Order No. 18 in the amount of \$ 31,101.61, which Council approved on January 25, 2022.

Under RFP-053 the Environmental Services staff requested replacement of two (2) compromised pumps and rail systems in the existing filtrate return pump station in the filter building. Under RFP-057 the City staff requested new fiberglass baffles and a guide bracket assembly to replace the original wooden baffle assembly located in the flow splitter box. M.F. Ronca & Sons proposed to complete the work for \$90,081.84 and \$8,132.66 respectively which Council approved on February 8, 2022, via Change Order 19.

The City requested M.F. Ronca & Sons' assistance in the installation of a lintel above the screen chute complete with control joints limiting vertical cracking. Ronca proposed to complete this work for \$7,426.59.

Starting in 2021, Environmental Services started experiencing more frequent malfunctions and alarm call outs with the influent screens at the Inland Bays RWF. In addition, a reduction in screen bar opening from ¼-inch to 3/16-inch opening will help the facilities sludge accumulation. The units were commissioned in the fall of 2010 and normally have a 15-year service life. The Engineering Department requested the assistance of Michael F. Ronca & Sons, Inc. and their investigation revealed that a full replacement could be accomplished for \$ 253,417.58, which was only 10% more expensive than a full rebuilt. Therefore, County Council approved Change Order No. 20 in the aggregate amount of \$260,844.17 on March 8, 2022 for the replacement in kind of two screens at Inland Bays and the masonry work at the City's plant.

The South Coastal facility requires alkalinity adjustments. In the past caustic soda was used however with the upgrade project the approach was switched to magnesium hydroxide. The as bid design included an innovative low energy consumption type Enviromix gas mixing system with a performance guarantee which was not met at start up. Therefore, the design approach was switched to a traditional impeller type mixing system. Michael F. Ronca & Sons, priced the modification including the full contract credits relating to the original

Enviromix system and on March 29, County Council approved Change Order No. 21 in the aggregate amount of \$45,989.72.

The FY2022 Environmental Services budget included roof repairs of the South Coastal administration building and conversion of an existing pole building to an electrical panel shop. M. F. Ronca & Sons already has subcontractors in their scope of work who perform this type of work. They priced the building modification and selectively investigated the roof conditions. The roof dating to the original construction needs full replacement and has areas of compromised decking. Due to market volatility, long lead times and anticipated incremental increases in roofing material (membrane & tapered insulation) costs, pricing includes a material escalation allowance. Upon delivery of roofing materials final costs will be incorporated in a corrective change order reflecting actual material increases. Roof decking replacement will be performed at a unit cost of \$25.00 per SF incorporated into the corrective change order. On May 10, 2022, Council approved Change Order No. 22 in the aggregate amount of \$306,692.52 for pole building enclosure and admin building roof replacement followed by a later corrective change order adjusting unit costs and material pricing.

Environmental Services initiated RFP-067 for painting of the original 1970s mechanical building pump room and M. F. Ronca & Sons proposed to perform the work for \$7,893.90. On June 7, 2022, Council approved Change Order No. 23 in the amount of \$7,893.90.

Environmental Services initiated RFPs-072 & 073. The first deals with a new isolation valve on the existing 8-inch equalization return line in the Mechanical Building Pump Room. The second one modifies the PLC control logic in motor circuit protection of the new turbo blowers and the human machine interfaces graphic displays. On August 23, 2022, Council approved Change Order No. 24 to M.F. Ronca & Sons in the aggregate amount of \$12,829.83.

The headworks at the SCRWF are covered and the ventilated air treated for odors. The contract included unit pricing repair items for the headworks. The damage discovered during the rehabilitation work in the headworks and grit tanks indicated corrosion way above the anticipated levels. Therefore, the Engineering Department initiated RFP-071 for improvements to the headworks ventilation. After value engineering by M. F. Ronca & Sons they proposed to perform the work for \$126,590.76. On October 11, 2022, Council approved Change Order No. 25, significantly extending the asset life of the headworks in the amount of \$126,590.76.

Upon condition exploration of the City's main system pump station on State Street, GHD formulated an initial repair scope and subsequently issued RFP-075 for the repairs. This station also carries the County's Henlopen Acres Sewer District Area flows, and the County participates in the repair effort. With the urgency of the repair evident, the City requested inclusion in the

project. M. F. Ronca & Sons, Inc. proposed to perform the modified repair scope for \$2,270,000.00. GHD, the City Engineer and the County Engineer supported the modified approach. On December 6, 2022, Council approved Change Order No. 26 to Michael F. Ronca & Sons, Inc. to perform the expanded State Street Pump Station repair scope for \$2,270,000.00. The City will pay for this change order directly out of City funds with separate invoice by contractor. In addition, with concurrence of the City, County Council granted Substantial Project Completion for the Rehoboth Beach WTP Capital Improvement Program, Phase 2 as of November 14, 2022.

In January of 2023, GHD conducted a factory acceptance test of the new turbo blower system controls. The test revealed that modifications to the PLC and HMI programs were necessary. All parties agreed that the quantity of the desired modifications would trigger RFP-079. M. F. Ronca & Sons, Inc. proposed to perform the additional scope for \$4,412.55.

The original bid contained a unit cost for grit removal from the sludge holding lagoons. For Lagoon B a hydraulic removal was considered but due to the quantity of grit a mechanical removal was analyzed. It would result in the destruction of the 20-years+ old liner. However, despite the replacement cost of the liner in the amount of \$84,375.17 the overall approach proved to be more cost effective and resulted in a new liner. On March 21, 2023 Council concurred and approved M. F. Ronca & Sons, Inc.'s Change Order No. 27 in the aggregate amount of \$88,787.72.

The project includes a new aeration basin and the associated above ground air supply piping. The air supplied by the turbo blowers is compressed and heats up in the process. Therefore, the piping has to balance the expansion and contraction via a specialized support system. GHD conducts routine construction phase QC inspections. During the last one in April, GHD identified opportunities to further reduce pipe stress and increase service life summarized in the attached RFP-081. The additional made to order components were administratively authorized after review of preliminary pricing to maintain the project schedule. The Engineering Department recommends approval of M. F. Ronca & Sons, Inc.'s Change Order No. 28 in the amount of \$108,583.52.

- e. **Electrical Construction Project C19-17**; awarded on December 17, 2019, to BW Electric, Inc.

On February 4, 2020, Council awarded Change Order No.1 in the credit amount of (\$759,374.80) mostly for changes to the conduit materials. A second credit change order was approved on March 10, 2020, in the amount of (\$6,800.00) for ductbank modifications.

On April 7, 2020, Council approved Change Order No.3 in the not to exceed amount of \$235,637.33 for DP&L requested changes to the utility power service entrance location at the RBWTP.

On May 12, 2020, Council authorized Change Order No.4 in the amount of \$11,350.00 for reconstruction of the original electrical equipment in South Coastal's sludge handling building electrical room.

On July 28, 2020, Council approved Change Order No.5 in the combined amount of \$37,830.00 for the removal of an existing electrical handhole and duct bank and the modification of the duct bank between the DP&L utility switching pedestal and the transformer.

On September 22, 2020, Council approved Change Order No.6 in the amount of \$16,550.00 for the change of the sewer service for the return sludge building No. 2 from a gravity drain to a pumped approach.

On September 22, 2020, Council approved Change Order No. 7 in the not to exceed amount of \$307,300.00 for the City's oxidation ditch complete electrical equipment replacement. This change order had an allowance for sensor replacements which proved too low and required an increase of \$6,582.80. Council approved the modification to Change Order No. 7 on November 10, 2020.

On November 10, 2020, Council approved Change Order No. 8 in the aggregate amount of \$2,249.00 covering RFP-027, RFP-028, RFP-029 & RFP-030. GHD has concluded that RFP-029 can be rescinded in its entirety. Therefore, the scope of work in the Sludge Building reverts to the Drawings, as modified by Change Order No. 4 associated with RFP-016. However, on December 15, 2020, Council approved the modification reducing Change Order No. 8 by \$9,040.00 for a modified net total credit of (\$6,791.00).

On February 9, 2021, Council approved Change Order No. 9 in the aggregate amount of \$30,554.00 covering RFPs-032 & 033. The first RFP provided upsized control panels, conduit and conductors associated with the two (2) Jet Mixing Pump VFDs while the second dealt with a modified temporary electrical feeder arrangement and a redirection of the medium voltage loop.

On August 10, 2021, Council approved Change Order No. 10 in the aggregate amount of \$7,320.00 covering RFP- 035 for waterproofed convenience receptacles at the return sludge building's pump room and RPP-040 for additional site lighting in the area of the generator and blower buildings.

On October 12, 2021, Council approved Change Order No. 11 in the aggregate amount of \$47,328.70 covering the City's initiated RFPs-042 & 44. The first one replaces the deteriorated pull box at building B-10 with a stainless steel one and the second one addresses modifications to the garage feeder.

Also on October 12, 2021, Council approved Change Order No. 12 in the amount of \$4,779.38 covering RFP-045 for modification to the aeration basin lighting out of operational safety concerns.

On January 11, 2022, County Council issued Change Order No. 13 in the aggregate amount of \$20,018.56 for City initiated RFPs -043 & 049. The first one relates to the electrical control requirements for a booster pump in Building T-1. The second one addresses rewiring of the two (2) level sensors and dissolved oxygen probes at the oxidation ditches.

Also On January 11, 2022, County Council issued Change Order No. 14 in the credit amount of (\$6,485.87) for the elimination of four valve actuators.

The City's lighting in the headworks building and the panelboard in the chemical building are compromised by corrosion and City staff requested replacement as per RFP-050. The County Environmental Services and IT staff reanalyzed the facility's fiber optic cabling needs and requested inner duct modifications under RFP-059. BW Electric proposed to make the changes for \$12,018.72 and \$16,100.70 respectively and on February 8, 2022, Council issued Change Order No. 15 in the aggregate amount of \$28,119.42.

On March 29, 2022, County Council issued Change Order No. 16 in the aggregate amount of \$52,003.13 for the DP&L metering modifications at the City's plant and dedicated VFD cabinet ventilation.

The following RFPs were requested by Environmental Services:

1. RFP-064 for float-controlled effluent pump backup control panel in the event of a failure in the digital pump control system or level transmitter in the amount of \$29,895.13.
2. RFP-065 for the demolition and replacement of the original 1970s lighting in the Headworks Pump Room, Headworks Grit Dewatering Room, Mechanical Building Pump Room, and outdoor wallpacks around perimeter of Mechanical Building in the amount of \$80,099.11.
3. RFP-066 for additional circuits and conduits associated with a conveyor warning alarm in the Cake Storage Building, and for separation of 120 VAC circuits from 24 VDC circuits originating in Cake Storage Building in the amount of \$3,090.30.
4. RFP-068 for the electrical work associated with replacing the compressed gas mixing system with a mechanical mixing system in the amount of \$83,738.84. This is the companion change order to Michael F. Ronca & Sons' Change Order No. 21 for the mechanical work.
5. RFP-069 for a change in the existing 6-way DB-5A allowing for the MH-47 to be eliminated at a credit of (\$7,500.00).

On May 10, 2022, Council approved BW Electric, Inc.'s Change Order No. 17 in the aggregate amount of \$189,323.38.

The pumps and rail systems in the existing filtrate return pump station were upgraded under Change Order No. 18 by M. F. Ronca & Sons. RFP-060 covers the electrical and control upgrades associated with that station. This work was not part of the original plant upgrade scope. BW Electric, Inc. proposed to complete the work for \$92,713.82. In order to address operator safety and access cameras, as well as network access points, proposals were requested at aeration tanks 5-8 requiring a series of additional conduits and pull boxes. BW Electric, Inc. proposed to complete the work for \$50,362.91. On June 7, 2022, Council approved Change Order No. 18 to BW Electric, Inc in the aggregate amount of \$143,076.73.

Provide a credit proposal to remove the Off-Site Manufacturer Course Training specified in the construction documents. This will be conducted as part of the startup process resulting in a credit of \$17,758.13. On October 11, 2022, Council approved Change Order No. 19 in the amount of \$17,758.13.

On October 11, 2022, Council approved M. F. Ronca & Sons' Change Order No. 25 for the SCRWF for improvements to the headworks ventilation. GHD issued the companion RFP-077 for the odor control electrical modifications. In response BW Electric, Inc. proposed to complete the work for \$19,401.62.

GHD also issued companion RFP-076 for the electrical components associated with City's State Street pump station repair scope. In response BW Electric, Inc. proposed to complete the work for \$462,938.82. The City has concurred in the issuance and again will pay for this change order directly out of city funds with separate invoice by the electrical contractor.

On December 6, 2022, Council approved Change Orders No. 20 in the amount of \$19,401.62 & 21 in the amount of \$462,938.82 to BW Electric, Inc. for the headworks ventilation and the expanded State Street Pump Station electrical repair scope. The latter paid for by the City via direct reimbursements to the contractor.

BW Electric, Inc. submitted RFI-102 questioning the absence of a neutral bonding conductor in the electrical feeder 5A. GHD investigated the information request and concluded that the least costly solution to achieve the NEC required bonding was to add a conductor. Since this was an omission in the original documents, all of GHD's work associated with this item will not be billed. On March 21, 2023 Council concurred and approved BW Electric's Change Order No. 22 in the amount of \$33,342.10.

- f. Mobile Belt Filter Press; awarded on January 7, 2020, Council to Kershner Environmental Technologies. The unit is currently stationed at South Coastal in anticipation of the aeration basin transfer.

- g. DP&L direct expenses; on February 4, 2020, Council approved the electric utility service relocation contract with the utility.
- h. The Rehoboth Beach WTP was built on a municipal landfill and Council approved a stand-alone competitive purchase order to Melvin L. Joseph Construction Company, Inc. for material hauling & screening on July 14, 2020.

The updated expenses associated with the South Coastal WRF Treatment Process Upgrade No.3 & Rehoboth Beach WTP Capital Improvement Program; Phase 2 are summarized in the attached spreadsheet.



**SUSSEX COUNTY
CHANGE ORDER REQUEST**

A. ADMINISTRATIVE:

1. Project Name: **SCRWF Treatment Process Upgrade No. 3 & RBWTP Capital Improvement Program, Phase 2 – General Construction**
2. Sussex County Project No. C19-11
3. Change Order No. 28
4. Date Change Order Initiated - 5/31/23
5.
 - a. Original Contract Sum \$39,526,400.00
 - b. Net Change by Previous Change Orders \$6,042,523.66
 - c. Contract Sum Prior to Change Order \$45,568,923.66
 - d. Requested Change \$ 108,583.52
 - e. Net Change (No. of days) 0
 - f. New Contract Amount \$45,677,507.18
6. Contact Person: Hans Medlarz, P.E.
Telephone No. (302) 855-7718

B. REASON FOR CHANGE ORDER (CHECK ONE)

1. Differing Site Conditions
2. Errors and Omissions in Construction Drawings and Specifications
3. Changes Instituted by Regulatory Requirements
4. Design Change
5. Overrun/Underrun in Quantity

6. Factors Affecting Time of Completion

 7. Other (explain below):

C. BRIEF DESCRIPTION OF CHANGE ORDER:

Improvements to the aeration basin and the air supply piping.

D. JUSTIFICATION FOR CHANGE ORDER INCLUDED?

Yes X No

E. APPROVALS

1. M.F. Ronca & Sons, Inc., Contractor



Signature 5/31/2023
Date

David A. Ronca, CEO & General Manager

Representative's Name in Block Letters

2. Sussex County Engineer



Signature 5/31/23
Date

3. Sussex County Council President

Signature Date

Michael F.
RONCA
& Sons, Inc.



CONTRACTORS

TELEPHONE 610/759-5100
FACSIMILE 610/746-0974

179 Mikron Road, Bethlehem, PA 18020

May 18, 2023

Mr. Steven Clark, P.E.
GHD
16701 Melford Boulevard, Suite 330
Bowie, MD 20715

Re: Sussex County
SCRWF-RBWWTP CIP Phase 2 Upgrades
Proposed Change Order Request No. 554-040
SCRWF Air Pipe Support Modifications

Dear Mr. Clark:

Please consider this writing to be Michael F. Ronca & Sons, Inc.'s formal change order request for performance of the above referenced work, in the amount of One Hundred Eight Thousand Five Hundred Eighty Three Dollars and 52 Cents.....(\$108,583.52).

Enclosed for your review is a corresponding breakdown of costs.

Should this change order request be acceptable as provided, please prepare the appropriate change order documentation, and forward the same to our office for further processing. Until then, should you have any questions, or require additional information, please do not hesitate to contact me.

Regards,

Scott Wachinski

Project Manger

cc: HO file 554
Hans M. Medlarz, P.E. – Sussex Co.
David A. Ronca – M.F. Ronca

Sussex County - SCRWF-RBWTP CIP Phase 2 Upgrades

PCOR 554-040 SCRWF Air Pipe Support Modifications

5/18/2023

CHANGE ORDER SUMMARY

Item 1 Install 4 EA Fixed Support Foundations (2 EA SSK003 & 2 EA SSK005) In Accordance with GHD RFP-081 to Include Removal of Ex. Supports, Temp Support of Piping, Vacuum Excavation., Reinforcing Stl, Concrete Placement and Backfill

Labor	\$12,706.16
Materials	\$4,480.00
Equipment	\$1,725.60
Subcontract	\$8,000.00
Subtotal	\$26,911.76
Contractor Overhead & Profit @ 15%	\$2,836.76
Contr. Overhead & Profit on Subcontr. @ 5%	\$400.00
Item Total	\$30,148.52

Item 2 Add Ceiling Bracing in Blower Bldg., Addl. Fixed Support Outside Blower Building, Modify/Swap Supports at SW Corner of Blower Bldg. Modify Vertical Piping Base Support as Outlined in GHD RFP-081 Including Painting of Blower Bldg. Steel.

Labor	\$0.00
Materials	\$0.00
Equipment	\$0.00
Subcontract	\$74,700.00
Subtotal	\$74,700.00
Contractor Overhead & Profit @ 15%	\$0.00
Contr. Overhead & Profit on Subcontr. @ 5%	\$3,735.00
Item Total	\$78,435.00
Change Order Total	\$108,583.52

Sussex County - SCRWF-RBWWTP CIP Phase 2 Upgrades

PCOR 554-040 SCRWF Air Pipe Support Modifications

5/18/2023

<u>Item</u>	<u>Description</u>					
Item 1	Install 4 EA Fixed Support Foundations (2 EA SSK003 & 2 EA SSK005) In Accordance with GHD RFP-081 to Include Removal of Ex. Supports, Temp Support of Piping, Vacuum Excavation., Reinforcing Stl, Concrete Placement and Backfill					
	Labor:	<u>Qty</u>	<u>Unit</u>	<u>Unit Cost</u>	<u>Total</u>	
	Mechanic/Fitter	16.00	MH	\$122.18	\$1,954.88	
	Operating Engineer	8.00	MH	\$106.59	\$852.72	
	Iron Worker	16.00	MH	\$98.03	\$1,568.48	
	Carpenter	48.00	MH	\$78.45	\$3,765.60	
	Laborer	64.00	MH	\$71.32	\$4,564.48	
						Labor Total: \$12,706.16
	Materials:	<u>Qty</u>	<u>Unit</u>	<u>Unit Cost</u>	<u>Total</u>	
	Reinf. Stl.	1.00	LS	\$1,800.00	\$1,800.00	
	Concr.	14.00	CY	\$145.00	\$2,030.00	
	Misc, Form Lumber, Hdwr, Et.	1.00	LS	\$650.00	\$650.00	
						Material Total: \$4,480.00
	Equipment:	<u>Qty</u>	<u>Unit</u>	<u>Unit Cost</u>	<u>Total</u>	
	RT Backhoe AWD	8.00	HR	\$90.42	\$723.36	
	STS	64.00	HR	\$15.66	\$1,002.24	
						Equipment Total: \$1,725.60
	Subcontract:	<u>Qty</u>	<u>Unit</u>	<u>Unit Cost</u>	<u>Total</u>	
	Vacuum Excv. Sub Contractor	5.00	D	\$1,600.00	\$8,000.00	
						Subcontract Total: \$8,000.00
						Item Total: \$26,911.76

Item 2	Add Ceiling Bracing in Blower Bldg., Addl. Fixed Support Outside Blower Building, Modify/Swap Supports at SW Corner of Blower Bldg. Modify Vertical Piping Base Support as Outlined in GHD RFP-081 Including Painting of Blower Bldg. Steel.					
	Labor:	<u>Qty</u>	<u>Unit</u>	<u>Unit Cost</u>	<u>Total</u>	
				\$0.00	\$0.00	
						Labor Total: \$0.00
	Materials:	<u>Qty</u>	<u>Unit</u>	<u>Unit Cost</u>	<u>Total</u>	
				\$0.00	\$0.00	
						Material Total: \$0.00
	Equipment:	<u>Qty</u>	<u>Unit</u>	<u>Unit Cost</u>	<u>Total</u>	
				\$0.00	\$0.00	
						Equipment Total: \$0.00
	Subcontract:	<u>Qty</u>	<u>Unit</u>	<u>Unit Cost</u>	<u>Total</u>	
	Pipe Support/Steel Fab Subcontractor	1.00	LS	\$70,200.00	\$70,200.00	
	Painting Subcontractor	1.00	LS	\$4,500.00	\$4,500.00	
						Subcontract Total: \$74,700.00
						Item Total: \$74,700.00



Change Order Request No. 001

Project: SCRWF upgrade RBWWTP
Client: Ronca
Originator of Change: Travis
Reason for Change: Engineer redesign

6287 Lincoln highway, Wrightsville PA 17368
 Phone: 717-252-3948 Fax: 717-252-4738

SWF Project #: 200288
Date COR Submitted: 5/17/2023
Type of Work: Redesign

Item #	Description of change	Item Totals
1	Fabrication and delivery of material per proposal request Location #1 line 1 add (6) additional W8x10 ceiling frame beams per sketch SSK-001 Location #2 line 2 add (1) galvanized fixed steel pipe support and knee brace with stainless steel saddle outside of blower building. per sketch SSK-002 Location #3 line 5 gussets for horizontal beam and (1) 1" x 12 x 12 base plate per sketch SSK-002 Location #4 line 7 (3) W6 x 20 HDG beams and (2) 3 x 3 x 3/8 diagonal braces per sketch SSK-004	\$ 26,600.00
2	Installation adder Field weld (6) additional W8x10 beams in ceiling of blower building Installation of blower piping fixed stand outside of blower building (concrete by others) Switch existing stands per line 4 or proposal request and weld pipe saddles weld gussets in beam per line 5 and cut and reweld base plate (concrete by others) weld in supplemental bracing to existing supports per drawing SSK-004	\$ 33,000.00
3	Equipment adder SWF will need 2 scissor lifts to access the beams inside the blower building SWF will need a telehandler to install pipe supports The use of a crane may be needed to support existing piping to switch pipe supports If any of this equipment is not available on site we would need to add for equipment	\$ 10,600.00
4	Change order totals do not include sales tax. If the project is taxable that amount would need to be added to the total cost.	\$ 0.00
Subtotal C.O. Amount:		\$ 70,200.00

NOTE: Number of hours includes detailing, checking, backchecking and coordinating info received. Tax amounts are not included in pricing, if the project is taxable tax will need to be added



6287 Lincoln highway, Wrightsville PA 17368
Phone: 717-252-3948 Fax: 717-252-4738

SWF Project #: 200288
Date COR Submitted: 5/17/2023
Type of Work: Redesign


Change Order Request No. 001

Project: SCRWF upgrade RBWWTP
Client: Ronca
Originator of Change: Travis
Reason for Change: Engineer redesign

Approved by: _____ Date: _____



Request for Proposal

Project Title	SCRWF Upgrade No. 3 & RBWWTP CIP Upgrade Phase 2		
Owner	Sussex County, Delaware		
Contract No.	C19-11: General Construction	GHD Project No.	11121182
Contractor is requested to provide a Change Proposal for the following proposed modifications to the Work. This request alone neither directs nor approves any change to the Work nor any adjustments to the Contract Price or Contract Times. Contractor's proposal shall be submitted to Engineer for review and shall adhere to all requirements of the Contract Documents. If found acceptable to Owner and Engineer, Contractor's Change Proposal will be incorporated into the Work via Change Order.			
RFP No.	081		
RFP Subject	Process Air Piping System Improvements		
Issued By	S. Clark	Issue Date	5/15/2023

Description of proposed changes:

A routine construction phase QC inspection identified opportunities to make improvements to the process air piping system to reduce pipe stress and increase service life. Contractor is requested to submit a proposal for the following improvements.

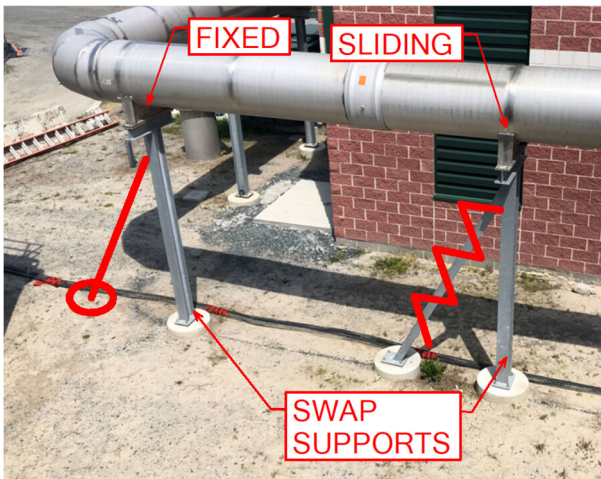
Location 1 – Blower Building No. 2 Interior Piping

1. Add supplemental bracing to the Ceiling Framing as shown on the attached sketch (SSK001).

Location 2 – Building Penetration at Blower Building No. 2

2. Add a pipe support immediately outside of the building, with the pipe to be welded to the pipe seat for a fixed support. Support shall be the fixed type as submitted and approved except as modified in SSK-002.
3. Provide concrete foundation as shown on SSK-003. Note alternative foundation design provided for Contractor's consideration, which could be utilized in lieu of the footer/pedestal detail.

Location 3 – Piping at Southwest Corner of Blower Building No. 2



4. Switch existing supports as indicated and reverse F and S designations (i.e., the pipe will be welded to the pipe seat at the western support, which will be the support with bracing).
5. Modify the fixed support as indicated on SSK-002, by addition of gusset plates on the horizontal beam, and the addition of a larger base plate underneath the vertical post. This plate can be added to the existing plate, or the existing plate can first be removed.
6. Provide a concrete foundation for the fixed support as shown on SSK-003. Note alternative foundation design provided for Contractor's consideration, which could be utilized in lieu of the footer/pedestal detail.

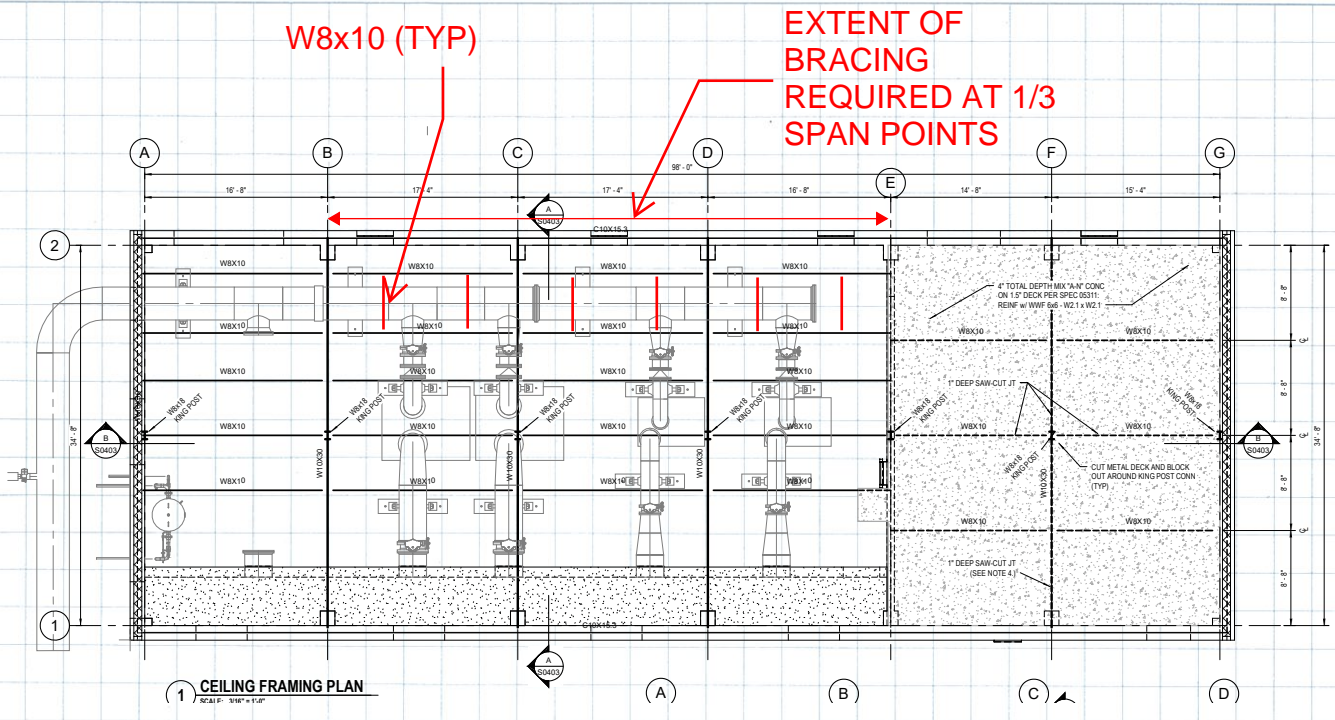


Location 4 – Base of Vertical Piping Adjacent to Aeration Tank Nos. 5-8

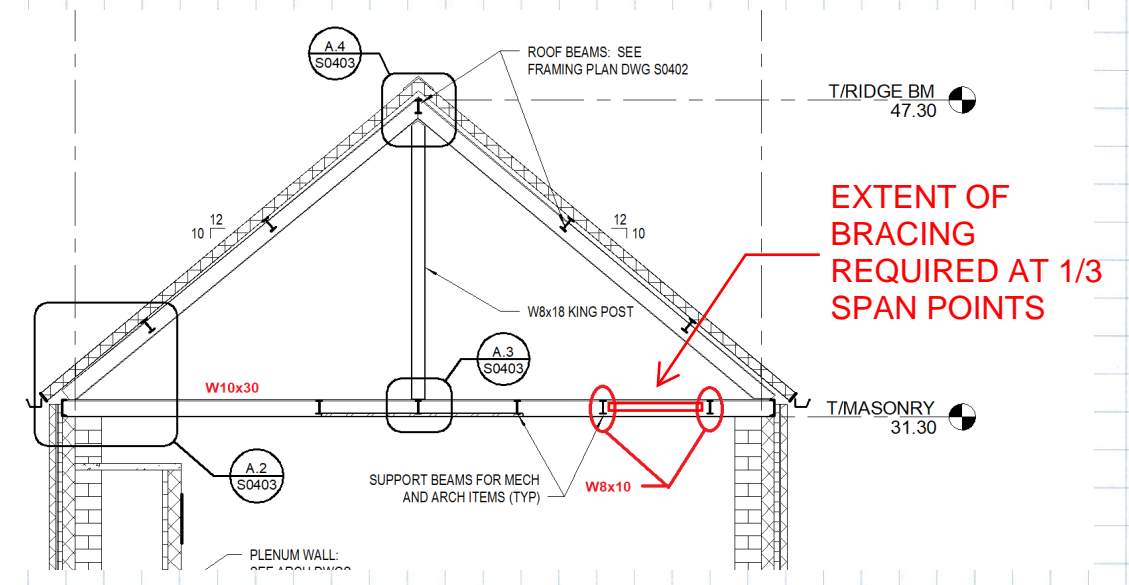
7. Add supplemental bracing to the existing supports as shown on SSK-004.
8. Provide a concrete foundation for each side of the twin dual-post supports as shown on SSK-005. Note alternative foundation design provided for Contractor's consideration, which could be utilized in lieu of the footer/pedestal detail.

Attachments

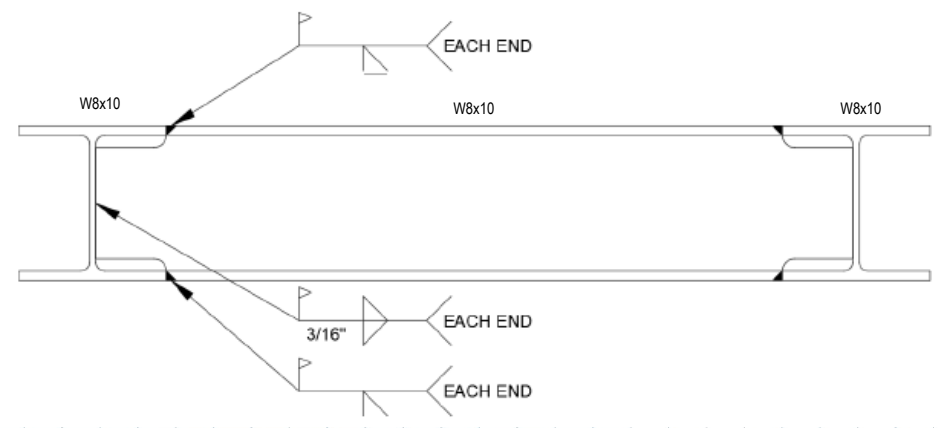
- SSK-001: BB2 Ceiling Framing Bracing Detail
- SSK-002: BB2 Exterior PS-1&5 Steel Modifications
- SSK-003: BB2 Exterior PS-1&5 Foundation
- SSK-004: BB2 Exterior PS-8 Steel Modifications
- SSK-005: BB2 Exterior PS-8 Foundation



**PLAN REFERENCE,
EXTRACT FROM DRAWING S0402**



**SECTION
EXTRACT FROM DRAWING S0403**



DETAIL FOR NEW CONNECTION

No.	Revisions	Approved	Date

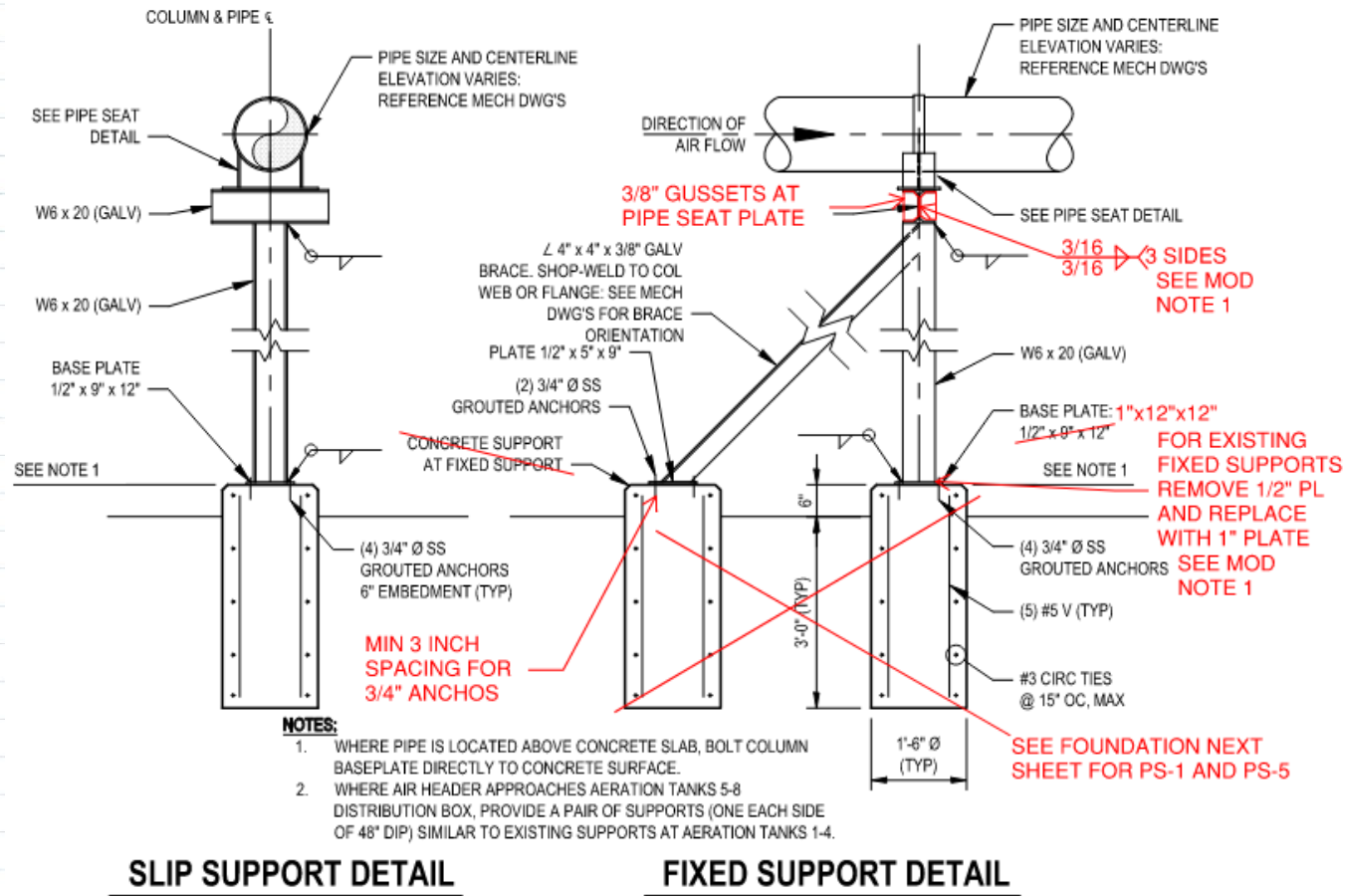
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GHD Pty Ltd ABN 39 008 488 373



Drawn	/ /	Client and project SUSSEX COUNTY, DELEWARE SCRWF NO. 3
Designed	/ /	
Draft check	/ /	Title BLOWER BUILDING NO. 2 CEILING FRAMING BRACING DETAIL
Design check	CMF 5/12/23	
Approved	/ /	A3 Drawing no. SSK001
		Scale NTS
		Rev A



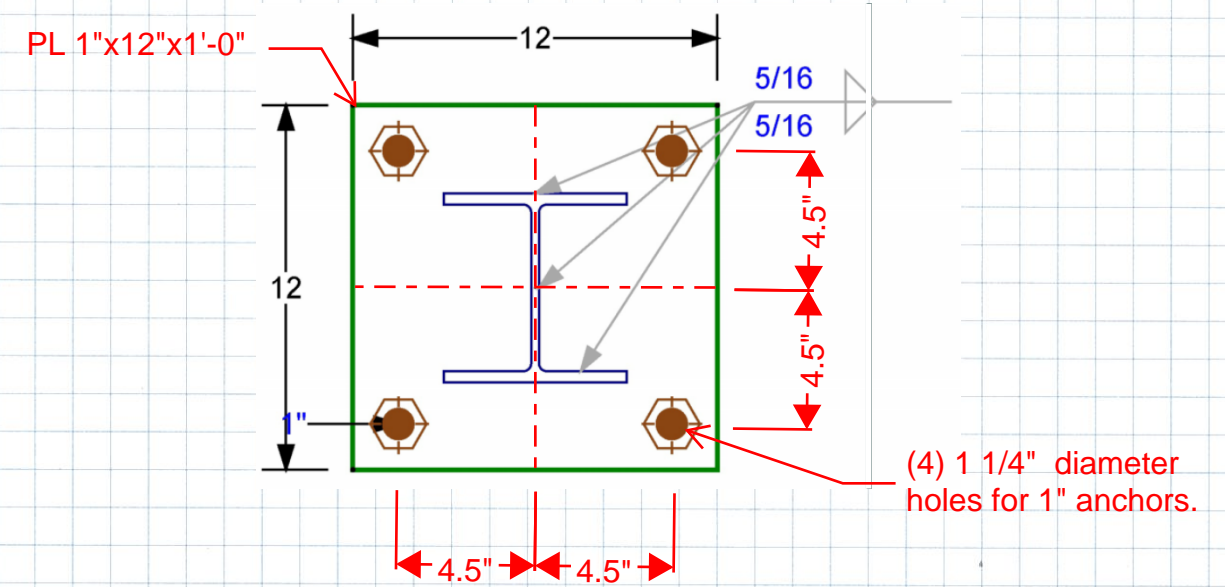
- NOTES:**
- WHERE PIPE IS LOCATED ABOVE CONCRETE SLAB, BOLT COLUMN BASEPLATE DIRECTLY TO CONCRETE SURFACE.
 - WHERE AIR HEADER APPROACHES AERATION TANKS 5-8 DISTRIBUTION BOX, PROVIDE A PAIR OF SUPPORTS (ONE EACH SIDE OF 48\"/>

SLIP SUPPORT DETAIL

FIXED SUPPORT DETAIL

1 TYPE "Q" PIPE SUPPORT
S6001 NOT TO SCALE

EXTRACT FROM DRAWING S6001



BASE PLATE DETAIL

MOD NOTE:

- Grind area to be welded to remove zinc coating at least 1 inch clear of weld area. After welding follow guidelines within ASTM A780 to repair the damage or removed galvanization.

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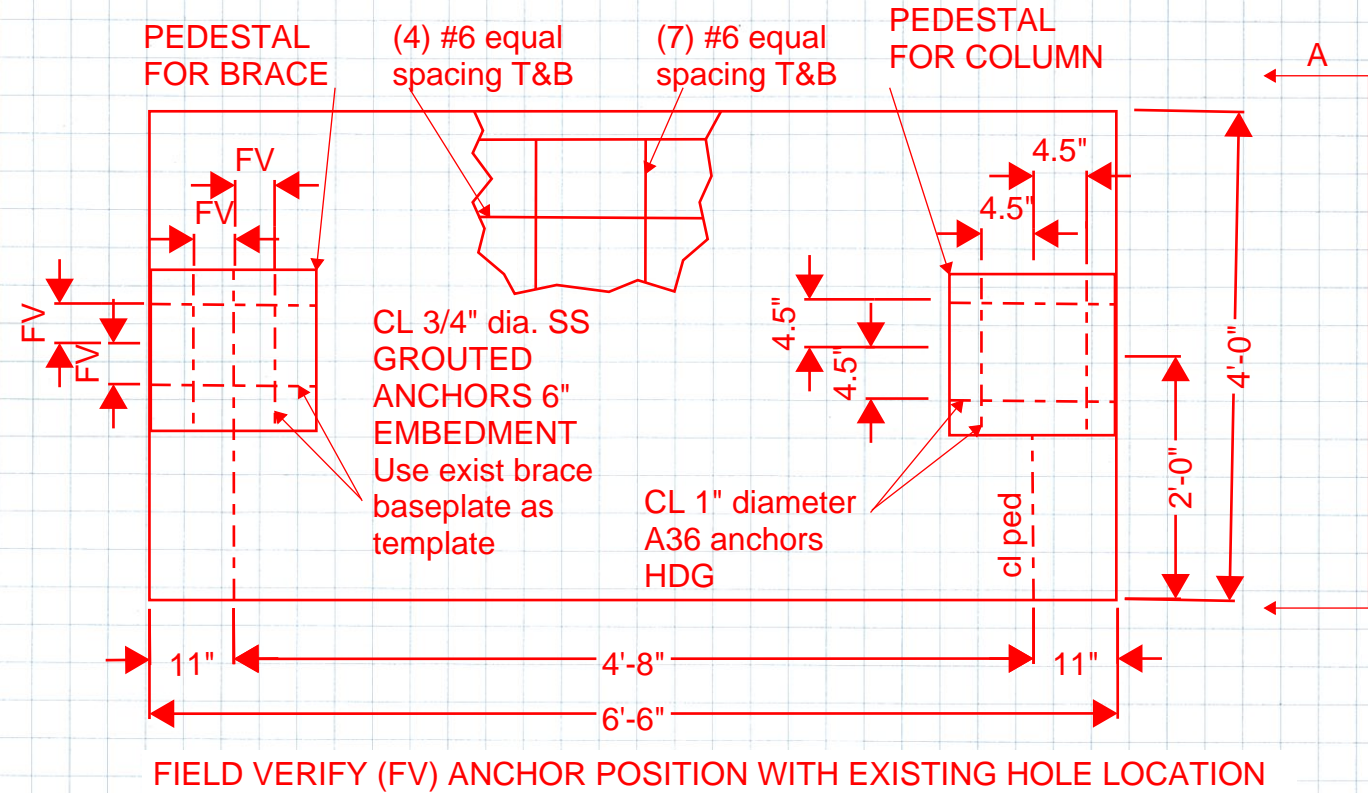
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GHD Pty Ltd ABN 39 008 488 373

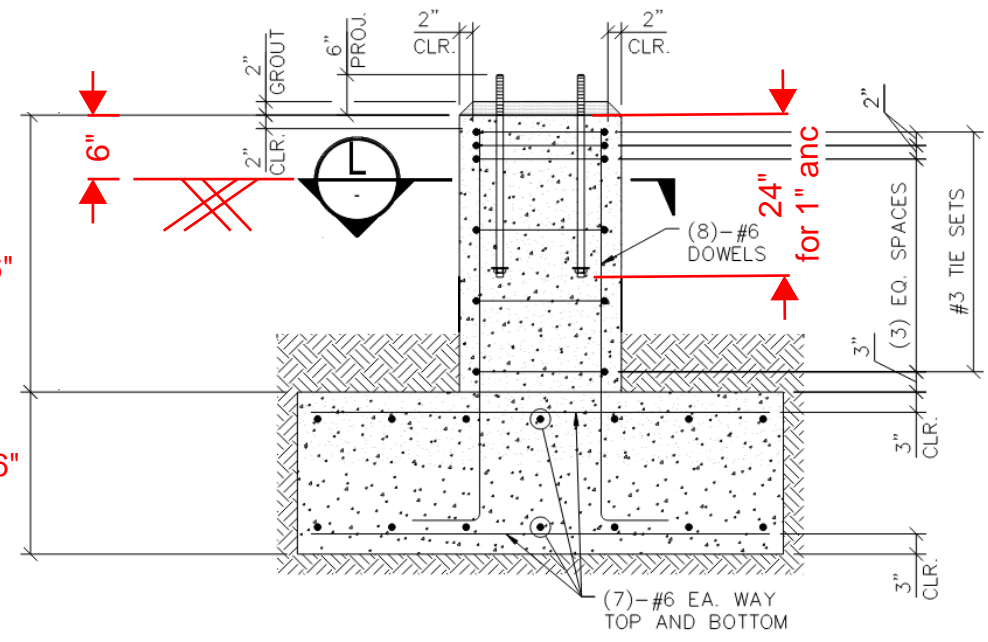


No.	Revisions	Approved	Date

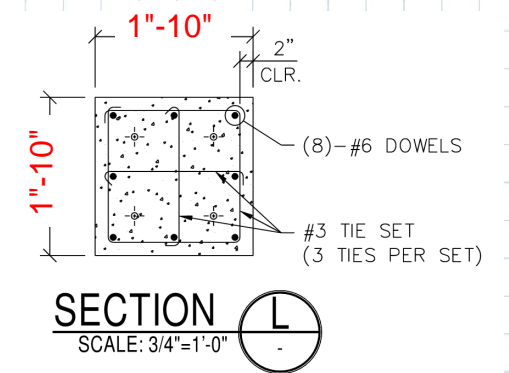
Drawn	/ /	Client and project	SUSSEX COUNTY, DELEWARE
Designed	/ /		SCRWF NO. 3
Draft check	/ /	Title	OUTSIDE BLOWER BUILDING NO. 2
Design check	TTN 5/12/23		PS-1&5 STEEL MODIFICATION
Approved	/ /	A3 Drawing no.	SSK002
		Scale	NTS
		Rev	A



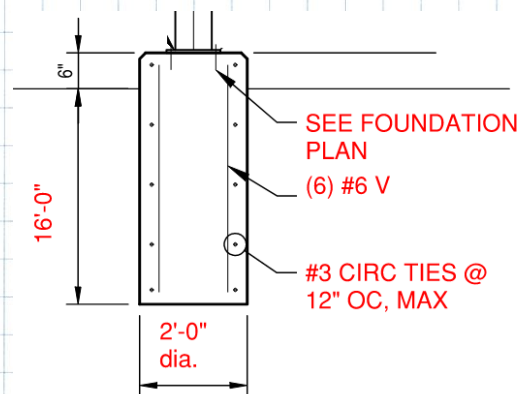
**PLAN PS-1 AND PS-5 SUPPORT FOUNDATION DETAIL
SPECIFIC TO PS-1 AND PS-5 (2 REQUIRED)**



SECTION A



**SECTION L
SCALE: 3/4"=1'-0"**



Alternate Foundation

USE:
Concrete 28 day compressive strength: 4 ksi
Reinforcement yield strength: 60 ksi

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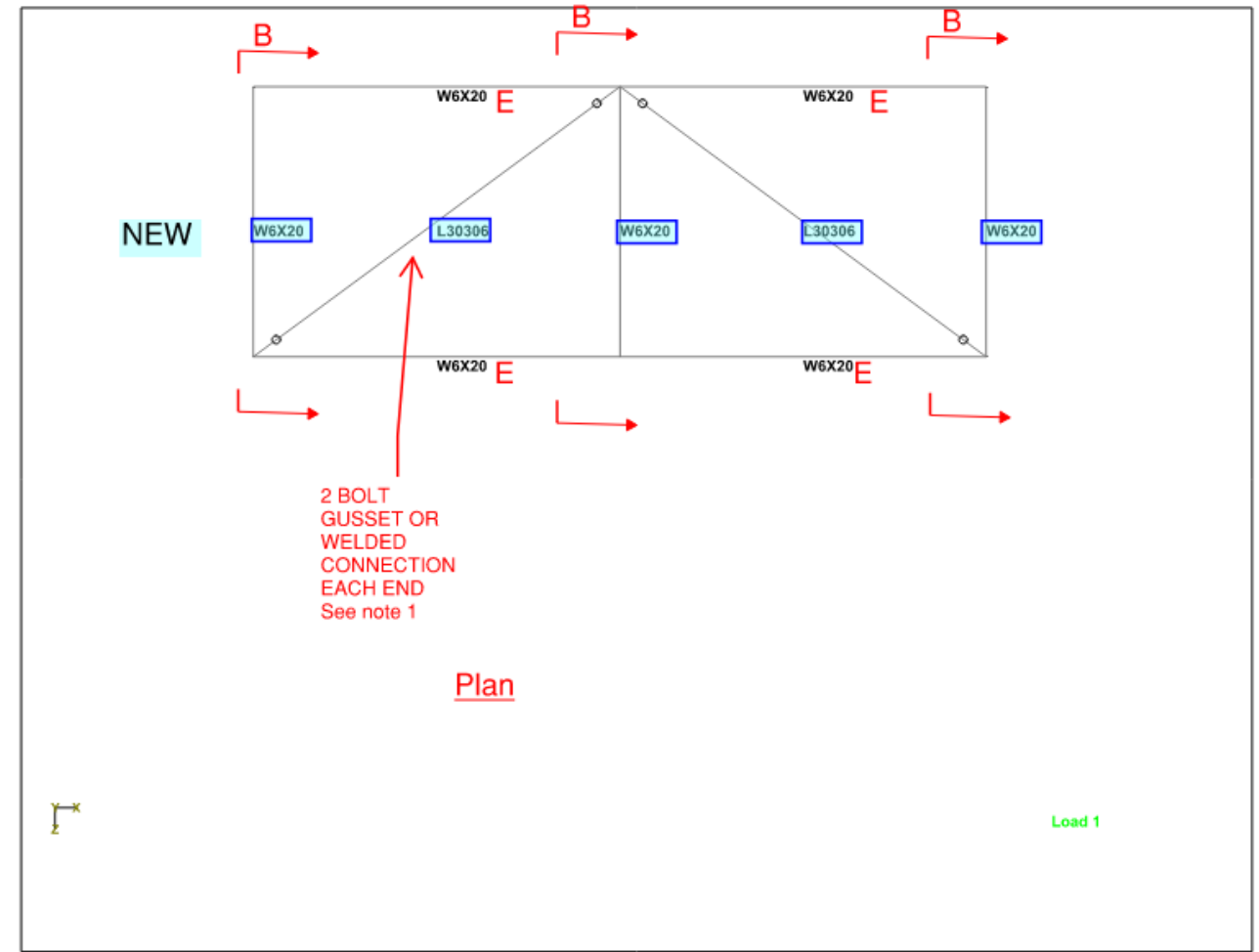


No.	Revisions	Approved	Date

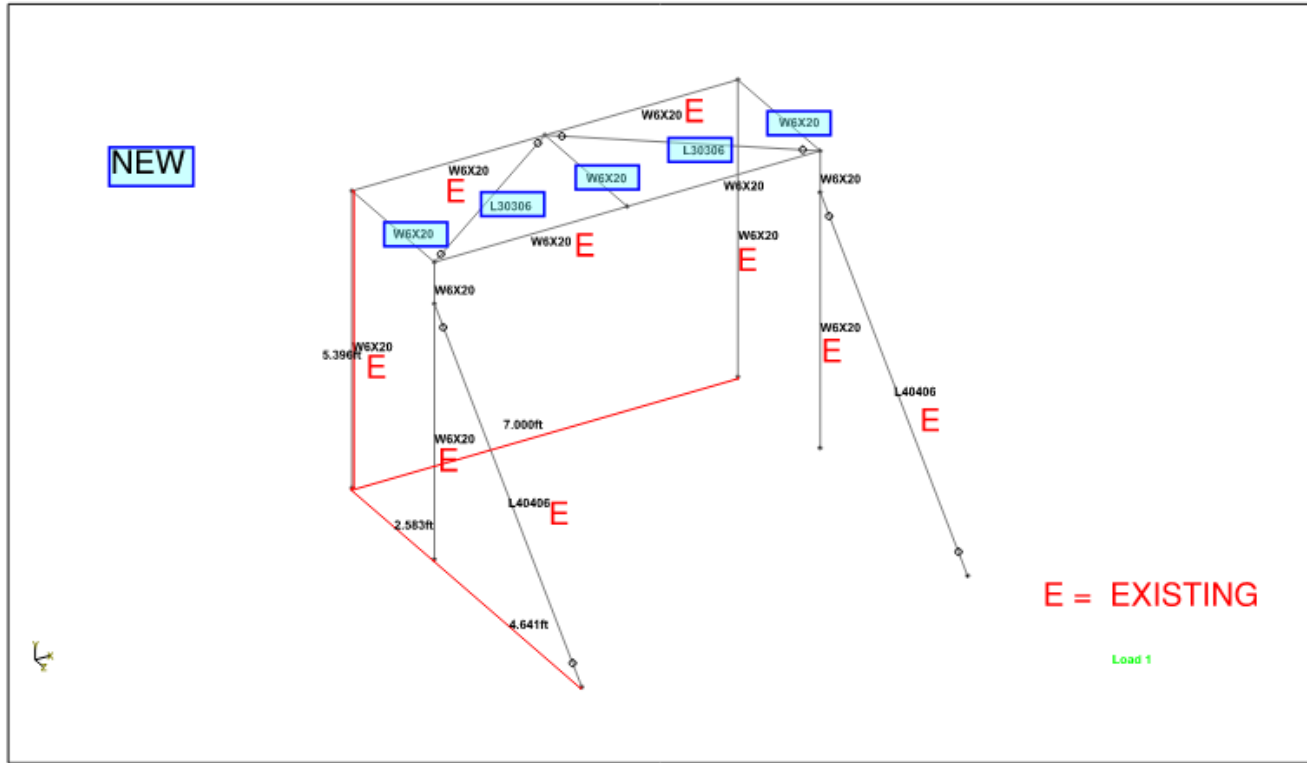
Drawn	/ /	Client and project SUSSEX COUNTY, DELEWARE SCRWF NO. 3
Designed	/ /	
Draft check	/ /	Title OUTSIDE BLOWER BUILDING NO. 2 PS-1&5 FOUNDATION
Design check	TTN 5/12/23	
Approved	/ /	A3 Drawing no. SSK003
		Scale NTS
		Rev. A



3D Rendered View

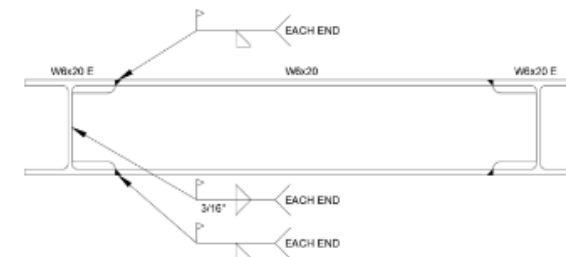


Whole Structure



Whole Structure

CONTRACTOR TO VERIFY ALL DIMENSION PRIOR TO FABRICATION



SECTION B-B
See note 1

MOD NOTE:

1. Grind area to be welded to remove zinc coating at least 1 inch clear of weld area. After welding follow guidelines within ASTM A780 to repair the damage or removed galvanization.

No.	Revisions	Approved	Date

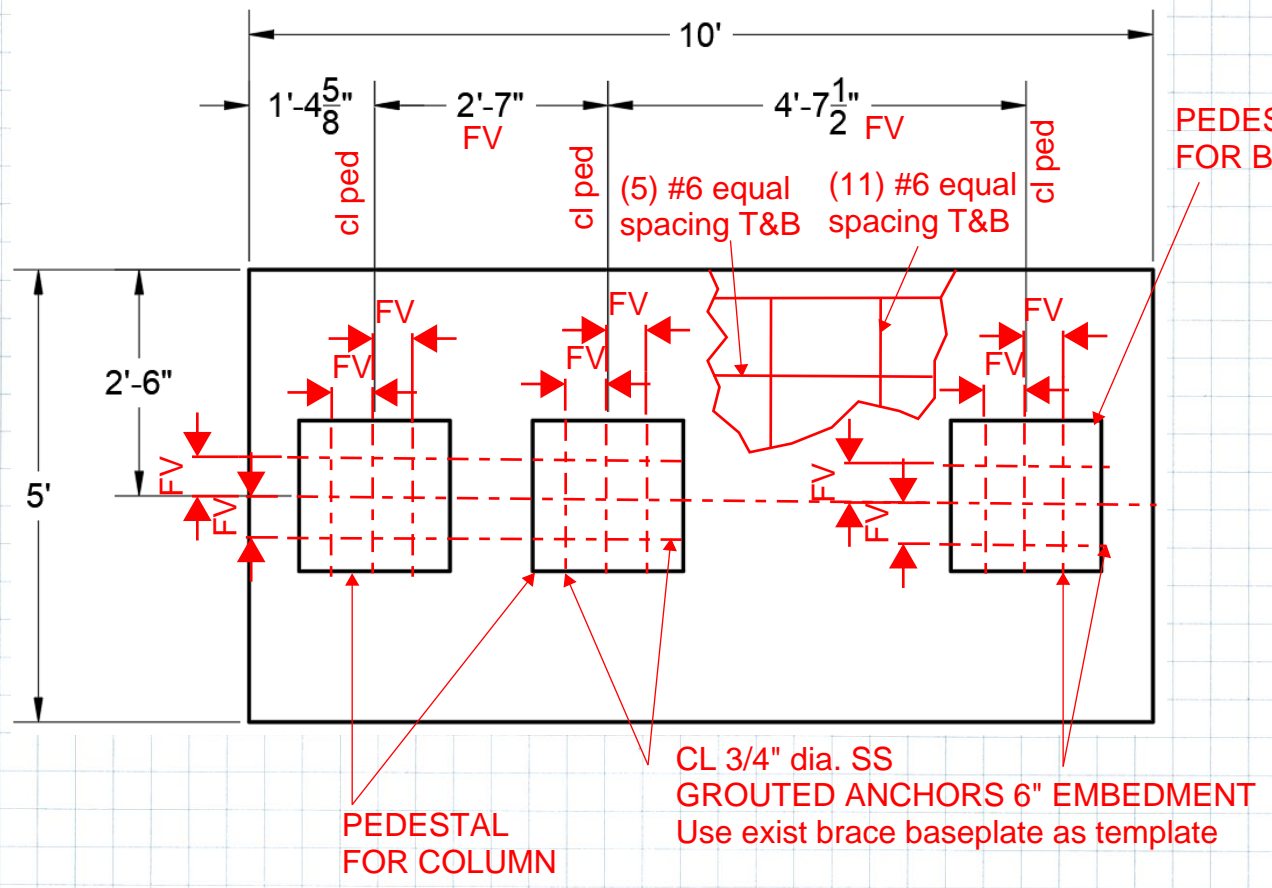
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Drawn	/ /	Client and project SUSSEX COUNTY, DELEWARE SCRWF NO. 3
Designed	/ /	
Draft check	/ /	Title OUTSIDE BLOWER BUILDING NO. 2 PS-8 STEEL MODIFICATION
Design check	TTN 5/12/23	
Approved	/ /	A3 Drawing no. SSK004
		Scale NTS
		Rev A



PEDESTAL FOR BRACE

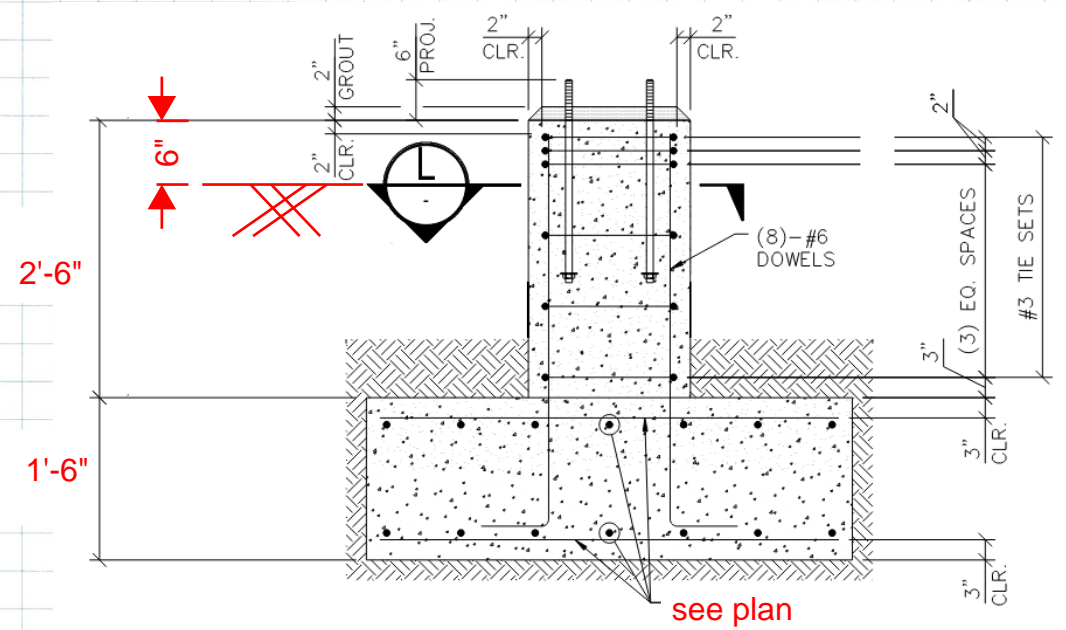
PEDESTAL FOR COLUMN

CL 3/4" dia. SS GROUDED ANCHORS 6" EMBEDMENT
Use exist brace baseplate as template

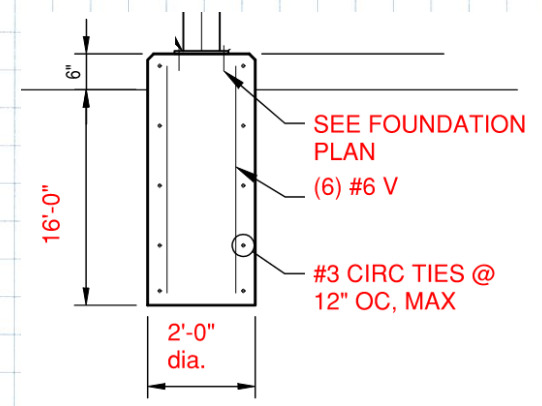
FIELD VERIFY (FV) ANCHOR POSITION WITH EXISTING HOLE LOCATION

**PLAN PS-8 AND PS-8A SUPPORT FOUNDATION DETAIL
SPECIFIC TO PS-8 (2 REQUIRED)**

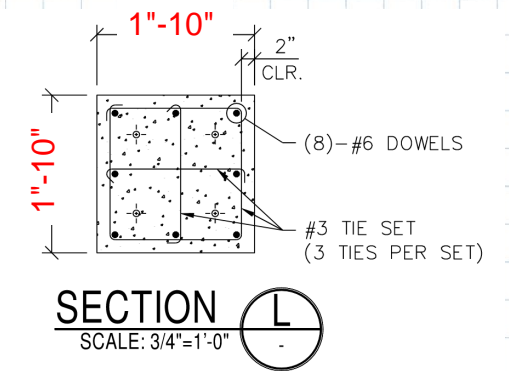
USE:
Concrete 28 day compressive strength: 4 ksi
Reinforcement yield strength: 60 ksi



SECTION A



Alternate Foundation



SECTION L
SCALE: 3/4"=1'-0"

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No.	Revisions	Approved	Date

Drawn	/ /	Client and project SUSSEX COUNTY, DELEWARE SCRWF NO. 3
Designed	/ /	
Draft check	/ /	Title OUTSIDE BLOWER BUILDING NO. 2 PS-8 FOUNDATION
Design check	TTN 5/12/23	
Approved	/ /	A3 Drawing no. SSK005
		Scale NTS
		Rev A

South Coastal RWF & Rehoboth Beach WTF Upgrade

3/16/2023

Vendor/Contract	Description	Contract Value
Michael F. Ronca & Sons, Inc.	SCRWF/RBWWTP General Construction	45,677,507.18
BW Electric Inc.	SCRWF/RBWWTP Electrical Construction	22,788,465.85
BW Electric Inc. CO#3	DP&L Service Entrance Modification Conduit System	235,637.33
BW P.O.	Soil Screening @ Rehoboth Plant	4,504.50
City of Rehoboth	Direct Payment for repairs to piping in oxidation ditches	324,996.81
	State Street Pump Station Repair	2,732,938.82
GHD	Amd 11 - SCRWF Expansion to 10mgd - Planning & Concept	241,938.68
	Amd 12 - SCRWF Expansion Construction Docs	2,240,280.73
	Amd 13 - Value Engineering	95,080.15
	Amd 14 - Rehoboth WTP Capital Improvement Program Upgrade Phase 2/Joint Project with SCRWF Expansion	398,410.63
	Amd 16 - Ocean Outfall Discharge Modeling & Wetlands Delineation for SCRWF and Add'l Design Services for Rehoboth WTP Capital Improvement Program	181,089.72
	Amd 18 - RBWTP CIP Upgrade Phase 2 - Add'l Design	172,153.01
	Amd 19 - SCRWF Upgrade 3 Add'l Design	108,073.71
	Amd 20 - SCRWF Upgrade 3/RBWTP Upgrade Phase 2 Construction Engineering	6,589,558.49
Core & Main	Influent FM Consolidation Materials	339,944.59
Core & Main	Effluent FM Pipeline Materials	227,603.39
Delmarva Power	Improve service entrances for both projects. Payment not distributed.	175,000.00
G&L	FM Consolidation & Influent Consolidation Phase II	973,229.04
G&L Work- Effluent Relocation		316,635.20
G&L Work - RB Treatment Plant	Parking Lot Repavement	
Kershner Environmental Technologies	Belt Press	295,000.00
Melvin Joseph	Material Screening	80,000.00
DSWA	Loading, Hauling & Disposal of Debris	33,000.00
	Hauling of Rehoboth Oxidation Ditch Remnants	39,663.15
Totals		84,270,710.98

ENGINEERING DEPARTMENT

HANS M. MEDLARZ
COUNTY ENGINEER

(302) 855-7370 T
(302) 854-5391 F

hans.medlarz@sussexcountyde.gov



Sussex County

DELAWARE
sussexcountyde.gov

Memorandum

TO: Sussex County Council
The Honorable Michael H. Vincent, President
The Honorable John L. Rieley, Vice President
The Honorable Cynthia C. Green
The Honorable Douglas B. Hudson
The Honorable Mark G. Schaeffer

FROM: Hans Medlarz, P.E., County Engineer

RE: ***EMS Public Safety Building – Project C19-04***
A. Change Order No. 25
B. Granting of Substantial Completion

DATE: June 6, 2023

The single Public Safety Building concept was introduced in the FY 2019 Budget Ordinance consolidating all EMS training, administration, and logistics functions. The costs were updated in accordance with a space allocation programming effort in the FY 2020 Budget Ordinance and further refined based on design stages in the FY 2021 & FY 2022 Budget Ordinances reflecting a total project expense of \$12.00 million. The final overall project costs are 5% below budget as per the attached summary.

Following a publicly advertised process, Council awarded the EMS Department's - Architectural Consulting Services base contract to the George, Miles and Buhr, Inc. The subsequent Public Safety Building Project C19-04 base agreement covered professional services for an initial not to exceed amount of \$300,000.00.

The State's fire prevention regulations required a single-entry point necessitating a full sprinkler distribution system design and due to the critical nature of the facility, a secondary air conditioning backup in the form of a cooling tower was desired. Council authorized a \$31,720.00 stand-alone purchase order to RMF Engineering for these specialty designs.

In October of 2020, the Departments presented the 60% design review to County Council followed by a 75% design presentation in March of 2021. Based on the County's request, GMB was asked to create fiber optic cabling, audio/visual, security/alarm and fit out specialty scopes for procurement under Cooperative Purchasing Agreements, increasing the project design complexity. Hence, Council approved on March 23, 2021, GMB's Amendment No.1 increasing the not to exceed threshold by \$61,500.00.



Subsequently the scope evolved further due to design revisions and added design features. Consequently, GMB and its subconsultants exceeded the previously approved allocations bringing the project to bid. GMB offered a discounted fee of \$75,000.00 to cover these services. In addition, they proposed a construction services fee of \$244,500.00. Overall, the professional services were well below 10% of construction, comparing favorably with industry standards and on August 10, 2021, County Council authorized issuance of GMB's Amendments No. 2 & 3 increasing the overall not to exceed amount to \$681,000.00.

In June the Public Safety Building, Project C19-04 was publicly advertised, on July 14, 2021, eight (8) bids were received and on August 10, 2021, Council awarded the project to Bancroft Construction Company in the amount of \$8,282,169.00.

The bid documents included provisions to recover pandemic related price increases between *bid and award* for structural and light weight steel material costs. Therefore, on August 31, 2021, Council approved Change Order No. 1 in the not to exceed amount of \$40,000 for structural and Change Order No. 2 in the amount of \$8,800 for light weight steel material price increases.

The structural steel material change order no.1 was based on August 12, 2021, pricing. When Bancroft transmitted the "letter of intent to award", their subcontractor Iron Works, Inc. on August 30th in turn issued material purchase orders. However, the material suppliers responded that material quotations were only binding for one week due to supply chain impacts and volatile steel markets. In consultation with County Leadership, the Engineering Department authorized Bancroft to lock in at the August 30th material costs triggering a \$22,829.00 revision to change order no. 1 approved by Council on September 14, 2021.

When the project bid, the Fire Marshall site permit had been issued but the associated building permit was still under review. By the time it was finalized two issues had to be addressed (i) fire protection details in the plenum and (ii) a secondary emergency egress from the mezzanine.

The plenum needed to be either sprinkled or all materials had to be fire rated. The only material not meeting the rating was the water piping. The County requested the PVC piping for ease of maintenance and the mechanical subcontractor suggested to add fire rated insulation but switch the valving to PVC under a partial credit for a net Change Order No. 3 cost of \$13,554.94. In addition, the County EMS team had initiated a proposed Change Order No. 4 for air filtration system safety upgrades, paid for through American Rescue Plan Act funds in the amount of \$4,740.28. On November 20, 2021, County Council approved both change orders.

The change order scope associated with the emergency mezzanine exit was complex requiring scope modifications for eight (8) trades. The electrical trade also included some minor changes to the outlet configurations to accommodate the selected A/V equipment for a total \$58,245.80 which County Council approved under Change Order No. 5 on January 11, 2022.

The existing EOC allegedly had dual primary electric power feeds based on original design drawings, staff recollection as well as DP&L records. Upon examination of the actual EOC transformer by DP&L, it was determined that the facility had only one feed. Prior to that, the electrical sub-contractor had initiated some limited conduit installations, Council issued a reimbursement Change Order No. 6 in the amount of \$1,905.85.

However, for the project to proceed, DP&L and the County's General Labor & Equipment contractor had to extend primary power to the existing transformer from the opposite side of

Rudder Lane. In addition, the transformer and generator location for the building was revised, as well as vehicle charging circuits added. These changes were priced out and approved by Council on March 1, 2022, under Change Order No. 9 in the amount of \$56,830.98.

In December 2021, following a detailed Miss Utility locate, the Team recognized that there were conflicts between the proposed gravity storm drainage pipe and the existing high voltage lines off site. The stormwater management design had the stormwater pipe system crossing the intersection of Airport Road and Aviation Avenue. Close examination revealed that this crossing was not plausible as the stormwater pipe intersected approximately eight other utilities primarily high voltage electric lines and sewer force mains at different elevations.

While investigating stormwater options, two existing roof drainage pipe conflicts came to light. The combination of both these impacts required a re-work of the entire grading plan, along with the redirection of the storm drainage piping along Airport Road. The Department and the contractor agreed on the scope and pricing, including the required fill and on March 1, 2022, Council issued the associated Change Order No. 7 in the amount of \$62,924.75.

In the filling process of “Lake Thomas”, unsuitable soils were encountered. The site work contractor undercut these areas and restored them with suitable materials. This work was performed on a time and materials basis under Change Order No. 11. Also covered under this request is an adjustment to a drop ceiling and bulkhead location in the corridor leading to the northside of the existing EOC building. On March 22, 2022, Council accepted Change Order No. 11 in the amount of \$5,427.58.

Bancroft had submitted RFI#44 seeking clarification regarding the EOC kitchen renovations due to a lack of existing condition documentation on the mechanical drawings and insufficient detailing of connections. GMB’s plan envisioned an open ceiling concept with cabinet & countertop which was unable to incorporate the two roof drains in the existing exercise room and kitchen. With an acceptable resolution plan needed, the Department worked with Bancroft and developed the attached “Owner Resolution Plan No.3 addressing the existing conditions and on March 22, 2022, Council accepted credit Change Order No. 12 in the amount of (\$15,118.52).

The heating and hot water systems were designed based on availability of natural gas. Chesapeake Utilities’ service extension project from the Coastal Business Park to Rudder Lane is delayed and may not be ready at the time of building commissioning. The utility directed us to seek an interim solution using their subsidiary, Sharp Energy, which already supplies propane to the Joint Maintenance Facility under this arrangement. The Engineering & Finance Departments developed a purchase order for the installation.

Due to a conflict in the existing lobby, the stud wall had to be extended alongside the existing beam, allowing the proposed wall to bypass the structural steel. Bancroft submitted PCO #013 to modify said exterior stud wall framing and to extend the drywall and batt insulation to the roof deck based on a sound attenuation request from Team EMS based on sensitive medical discussions. On May 17, 2022, County Council approved Change Order No. 13 in the amount of \$16,711.84 and the unit of \$11.57/sf for additional wall sections if necessary.

On June 21, 2022, County Council approved Change Order No. 14 in the aggregate amount of \$26,371.68 addressing the modifications listed below:

1. Special floor tile color selection.

2. Separation of the decorative architectural wall from one to two location.
3. Back-up cooling tower protection by bollards.
4. Structural modifications to the primary cooling tower support.
5. Roof membrane boots to cover penetrations in six (6) locations.
6. Additional epoxy coating.
7. Lobby storefront modifications.

Change Order No. 15 is the result of RFI-60 and a field change for the gutter support in the mechanical well of the sloped roof system. The latter was needed to build out the wall section around the well to allow the installation of the gutter system. RFI-60 exposed an issue related to the door jams of the overhead door in the logistics warehouse. The original approach left an exposed brick veneer edge which was addressed by adding a secondary steel channel on each jam. On July 26, 2022, Council approved Change Order No. 15 in the aggregate amount of \$11,357.87.

The EMS team requested modifications to the room signage in February of 2022. It went through several iterations reducing the costs. The final version, Change Order 16, was approved by Council on August 23, 2022, in the amount of \$2,361.79.

On September 20, 2022, Council approved Change Order No. 17 in the aggregate amount of \$30,089.13, addressing the modifications listed below:

1. Light fixture change and deletion of ceiling baffles in Circuit Training Room.
2. Garage door manufacturer change from Dalton Door to Overhead Door due to extended lead times.
3. Replacement of damaged temporary construction fence.
4. Concrete pad for relocated MCU cabinets.
5. Flagpole model change to avoid conflict with a pole mounted LED light fixture.
6. Decorative fence extension to enclose MCU cabinets at the new location.
7. Ductwork re-routing to avoid conflict with roof access ladder.
8. Credit for deletion of HVAC transfer ducts and grilles in Logistics Warehouse offices.

On November 15, 2022, County Council approved Change Order Nos. 18 and 20 in the respective amounts of \$19,574.73 and \$10,330.17 which addressed the modifications and issues listed below.

1. Modification of the concrete slab in the plaza to support the new EMS memorial.
2. A removable bollard was added in the plaza area.
3. Additional demolition of sidewalk and new concrete underneath the new supplemental chiller.
4. Concrete apron modification outside the Logistics Warehouse.
5. Raising a section of sprinkler main in an EMS office corridor.
6. Electrical credit for scope reduction and additional work for plaza lighting revisions.

On December 13, 2022, Council approved Change Order No. 19 in the aggregate amount of \$31,724.89. Included were site design changes at the Rudder Lane intersection for drainage

improvements. Along with the installation of a gate in the ornamental fence enclosing the restricted, employee only areas.

On February 7, 2023, Council approved Change Order No. 21 in the aggregate amount of \$40,127.15 which addressed the modifications and issues listed below.

1. An additional 6' section of solar on the West side of the new lobby area.
2. A credit by Bear Industries for the deletion of the dry sprinkler system serving the exterior entrance canopy no longer required by code.
3. The ductwork changes in Corridors 118, 134 and 159 which the Department has been tracking for several months was included.
4. Several miscellaneous site work changes were addressed including, such as additional striping, raising the lid of a County fiber-optic manhole, and additional sidewalk section to mechanical/electrical room.
5. The electrical requirements for the cooling tower and rooftop unit differed slightly from the breaker and disconnect sizes shown in the electrical drawings. Because of this, new circuit breakers and disconnects were required for the units to function.

On February 28, 2023, Council approved Change Order No. 22 in the aggregate amount of \$104,368.86 consisting of multiple PCOs tracked by the Department and summarized below.

PCO #22:

- Additional material/labor required for the new Delaware Coastal Airport sign, and the lettering for the sign.
- Additional landscaping work including several arborvitaes to help conceal the generator and landscape boulders along Airport Road near the intersection and the new Airport sign.

PCO #23:

- Additional wood blocking was required in the EMS offices to provide greater flexibility in mounting the wall mounted displays in each room.
- An electric unit heater was added to the mechanical/electrical room to provide backup heat in the room to prevent any water piping from freezing.
- Natural gas to propane conversion for rooftop HVAC unit.
- Acrylic lettering credit for the EMS Awards wall.

PCO #24:

- Painting in the existing EOC corridors tying the buildings together.

PCO #25:

- A small charge to change the color of the suspension grid for the acoustic baffles and lights in the lobby area from white to black.
- Replacement of the interior room signage in the existing EOC to match the layout and design of the signage in the new building.

PCO #26:

- Minor revision to the casework/cabinetry in the EMS Copy Room to allow for placement of the paper shredder in the room.

PCO #27:

- Additional fencing with privacy screening around the dumpster area in the staff parking lot, along with privacy screening help conceal the condensing units, electrical cabinets, and transformer on the East side of the EOC.

On March 21, 2023, Council approved Change Order No. 23 in the aggregate amount of \$19,180.00 which addressed the modifications and issues listed below.

- 1) When Change Order No. 5 was presented, an estimation was used for the canopy cost over the mezzanine fire exit. However, the actual amount turned out to be higher and the delta is trued up under Change Order 23.
- 2) A Bancroft accounting error in the backup documentation for Change Order No. 15 resulted in the omission of the electrical subcontractor's overhead & profit for the light fixture change in the Circuit Training Room. It is reflected in Change Order No. 23 w/o Bancroft markup.
- 3) Re-caulking of deteriorated masonry expansion joints on the existing EOC, and around solar shade brackets, which was a previously tracked item.
- 4) The plaza bench wall had been shifted slightly to avoid an underground duct bank which affected the height above grade. At the direction of the Department, the contractor raised the bench wall with two courses of brick.

On April 23, 2023, Council approved Change Order No. 24 in the aggregate amount of \$32,358.12 which addressed the modifications and issues listed below.

- 1) Replacement of the five (5) storefront doors previously being tracked by the Department. Once the existing doors are replaced, they will be stored and will be used in one or more of the future EMS stations.
- 2) At the Department's direction the electrical subcontractor added numerous wall sleeves allowing a path from the cable tray to the inside of various rooms. This allowed Advantech, Assurance Media and Visual Sound to keep their cabling out of sight for an improved finished look.
- 3) New building lettering for the Airport Terminal side and lettering modification for the Airport Road side to read "Emergency Operations Complex."
- 4) Additional wood trim around the perimeter of the Awards Wall to provide a cleaner finished product. The cost for this item was shared 50% with Bancroft.
- 5) Credit for deletion of conductors to the wireless access points throughout the building which are powered over the ethernet cable.

The Department is now presenting Change Order No. 25, which is also the final balancing change order, for Council's consideration. Items 1 through 7 were previously being tracked by the Department. Items 8 through 10 are new items.

- 1) Painting of exposed galvanized steel columns at the entrance matching the canopy since no painting was specified in the contract documents.
- 2) The window blinds in the Simulation Lab which has the ambulance simulator were specified incorrectly and do not block 100% of the light which was an EMS requirement. The blinds are being replaced to achieve the required function.
- 3) Wear pads to be located on the rubber roofing from the roof access hatch to and around the rooftop HVAC equipment.

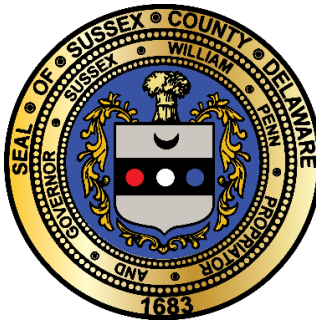
- 4) Included in change order #22 was additional fencing around the dumpster and privacy screening panels to be installed on the dumpster fence and portions fence already installed.
Prior to approving the change order, the Department painstakingly went through numerous revisions to the proposal to ensure the best finished product was achieved while minimizing future maintenance issues for the Facilities Team. Unfortunately, the screening that was installed did not meet the dimensions listed in the proposal and the finished product was unacceptable. The contractor decided to remove the screening and provide full credit for all the labor and materials.
- 5) The EMS team requires dimming functionality in the Simulation and Control Rooms. The light fixtures are capable of being dimmed, but some additional low voltage wiring will be required to allow the full dimming capability.
- 6) Additional light fixtures are required in the Memorial Corridor above the actual Memorial panels and in the display cases for proper illumination w/o shadows.
- 7) Additional light fixtures above the display case top shelf in the Memorial Corridor.
- 8) The coffee maker selected for the Meal Prep Room, adjacent to the Lobby and large Classroom, requires a 208v electrical circuit, however only a 120v circuit was provided. A new electrical feed was pulled for the coffee maker to function.
- 9) An electrical subpanel located on the exterior wall of the existing EOC was removed because it protruded into the walkway under the entrance canopy. Affected masonry must be replaced in the vicinity of the wall penetration.
- 10) In order to achieve the UL Master Label approval of the overall lightning protection system, the existing system on the EOC roof was inspected by the lightning protection sub-contractor revealing the need for additional “air terminals” and cable holders on the lower roof of the EOC facing the Airport terminal. These deficiencies listed in their report to achieve UL Master Label accreditation.

In summary, the Engineering Department request Council’s approval of Change Order No. 25 in the aggregate amount of \$42,416.59. In addition, the Department recommends granting of substantial completion as of June 5th, 2023.

With substantial completion achieved the Sussex County carried builder’s risk insurance expiring on June 15th, 2023 can be terminated.

While Change Order #25 allows for localized dimming functionality to be achieved in the Simulation Rooms, the Department is still working on an optimized solution to allow for centralized control of the light fixtures from the simulation control room. The Department will issue a PO directly to the electrical subcontractor to achieve centralized dimming control. Visual Sound’s PO will be modified to remove superfluous equipment for a credit.

The building has scheduling displays located outside of the Simulation Rooms, Conference Room and Classroom provided by Visual Sound w/o the required cabling. Assurance Media provided network cabling throughout the building, but its scope did not include the runs from the displays to the server room. This work will increase their PO by \$4,074.30.



**SUSSEX COUNTY
CHANGE ORDER REQUEST**

A. ADMINISTRATIVE:

1. Project Name: **SUSSEX COUNTY PUBLIC SAFETY BUILDING**
2. Sussex County Project No. C19-04
3. Change Order No. 25
4. Date Change Order Initiated - 5/31/23
5.
 - a. Original Contract Sum \$8,282,169.00
 - b. Net Change by Previous Change Orders \$ 604,696.89
 - c. Contract Sum Prior to Change Order \$8,917,160.45
 - d. Requested Change \$ 42,416.59
 - e. Net Change (No. of days)
 - f. New Contract Amount \$8,929,282.48
6. Contact Person: Hans Medlarz, P.E.
Telephone No. (302) 855-7718

B. REASON FOR CHANGE ORDER (CHECK ONE)

1. Differing Site Conditions
2. Errors and Omissions in Construction Drawings and Specifications
3. Changes Instituted by Regulatory Requirements
4. Design Change
5. Overrun/Underrun in Quantity

- 6. Factors Affecting Time of Completion
- 7. Other (explain below):

C. BRIEF DESCRIPTION OF CHANGE ORDER:

Installation of lighting protection, painting of exposed columns, electrical modifications, replacement of damaged brick and a credit for fence screening.

D. JUSTIFICATION FOR CHANGE ORDER INCLUDED?

Yes No

E. APPROVALS

- 1. Bancroft Construction Company, Contractor

Signature Date

Representative's Name in Block Letters

- 2. Sussex County Engineer

Signature Date

- 3. Sussex County Council President

Signature Date



Bancroft Construction
2324 West Zion Road Suite 108
Salisbury, Maryland 21801
Phone: +14108448080

Project: CSED0001 - Public Safety Bldg. Addition
21911 Rudder Lane
Georgetown, Delaware 19947

DRAFT

Prime Contract Potential Change Order #031: CEs 118, 125 & 126

Table with 4 columns: Field Name, Value 1, Value 2, Value 3. Includes fields like TO, FROM, PCO NUMBER/REVISION, CONTRACT, REQUEST RECEIVED FROM, CREATED BY, STATUS, CREATED DATE, REFERENCE, PRIME CONTRACT CHANGE ORDER, FIELD CHANGE, LOCATION, ACCOUNTING METHOD, SCHEDULE IMPACT, PAID IN FULL, and TOTAL AMOUNT.

POTENTIAL CHANGE ORDER TITLE: CEs 118, 125 & 126

CHANGE REASON: Owner Directive

POTENTIAL CHANGE ORDER DESCRIPTION: (The Contract Is Changed As Follows)

CE #118 - Paint exposed galvanized steel at entrance canopy
Paint exposed galvanized steel at the entrance canopy per Owner request.

CE #125 - Replace Blinds in Sim Lab
Replace blinds in Sim Lab with dual function blind that have both partial light blocking and 100% light blocking capability, similar to what is in EOC

CE #126 - Walk Pads to Equipment on Roof
provide Walk Pads to equipment on roof per quote dated 4/25/23

ATTACHMENTS:

CE # 126- Additional Walkway Rolls from Hatch to HVAC unit.pdf Pro Industrial Pro-Cryl PDS.pdf Pro Industrial WBAU SG PDS.pdf 125 - Erco - revised.PDF COR-4.pdf HKG Roof Plan.pdf

Table with 5 columns: #, Cost Code, Description, Type, Amount. Contains line items for paints, window treatments, and membrane roofing, plus a summary section for BCC GCs, Bond, Profit, and Grand Total.



Morgan Helfrich (George, Miles & Buhr, LLC)
400 High Street
Seaford Delaware 19973

Sussex County Delaware
2 The Circle P.O. Box 589
Georgetown Delaware 19947

Bancroft Construction Company
1300 N. Grant Avenue Suite 101
Wilmington Delaware 19806

SIGNATURE DATE

SIGNATURE DATE

John H Sauter ii 04/25/23

SIGNATURE DATE



Bancroft Construction
 2324 West Zion Road Suite 108
 Salisbury, Maryland 21801
 P: +14108448080

Project: CSED0001 - Public Safety Bldg. Addition
 21911 Rudder Lane
 Georgetown, Delaware 19947

CHANGE EVENT #118 - Paint exposed galvanized steel at entrance canopy

Origin:

Date Created: 3/22/2023 **Created By:** Mike Kalafut
Status: Open **Scope:** Out of Scope
Type: Owner Change **Change Reason:** Owner Directive
Description: Paint exposed galvanized steel at the entrance canopy per Owner request.
Attachments: [Pro Industrial Pro-Cryl PDS.pdf](#), [Pro Industrial WBAU SG PDS.pdf](#), [COR-4.pdf](#)

CHANGE EVENT LINE ITEMS

Budget Code	Vendor / Contract	Revenue			Cost			Over/ Under	Budget Mod.
		ROM	Prime PCO	Latest Price	ROM	RFQ	Commit.		
09-900.06	Jamestown, Inc. CSED0001-006	\$1,591.00	\$1,591.00	\$1,591.00	\$1,591.00			\$1,591.00	\$0.00
Paints and Coatings.Subcontract									
Description: Paint exposed galvanized steel at the entrance canopy									
1-511.02		\$79.55	\$79.55	\$79.55				\$0.00	\$79.55
Sr. Project Manager.Regular Labor									
90-999.10		\$101.07	\$101.07	\$101.07				\$0.00	\$101.07
Fee.Fee & Field Cost									
Grand Totals		\$1,771.62	\$1,771.62	\$1,771.62	\$1,591.00	\$0.00	\$0.00	\$1,591.00	\$180.62



REQUEST FOR CHANGE ORDER

Ref.# COR-4

External/RCO#

GC Ref#

Date Apr 18, 2023

Job # D211123

To: Bancroft Construction Co.

1300 N Grant Ave, Ste 110

Wilmington, DE 19806

Phone: 655-3434 Fax: 655-4599

Project: Sussex Co Public Safety

21911 Rudder Ln

Georgetown, DE 19947

Description: Prepare and paint columns at entrance canopy.**Labor**

Total Labor	\$1,386.00
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Material

Total Material	\$205.00
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Labor Total:	\$1,386.00
--------------	------------

Material Total:	\$205.00
-----------------	----------

Total:	\$1,591.00
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AUTHORIZED BY:**ON BEHALF OF: Bancroft Construction Co.****PROJECT MANAGER: Joey Cain****ESTIMATOR: Ray Russell**

Pro Industrial™ Pro-Cryl® Universal Primer

B66-1300 Series


**SHERWIN
WILLIAMS®**

CHARACTERISTICS

Pro Industrial Pro-Cryl® Universal Primer is an advanced technology, self cross-linking acrylic primer. It is rust inhibitive and was designed for both construction and maintenance applications. It can be used as a primer under water-based or solvent-based high performance topcoats.

Features:

- Rust inhibitive, corrosion resistant
- Single component
- Early moisture resistant
- Fast dry
- Lower temperature application 40°F
- Interior and exterior use
- Suitable for use in USDA inspected facilities

For use on properly prepared:

Steel, Galvanized & Aluminum, wood

Finish: Low Sheen

Color: Off White, Medium Grey, and Red Oxide

Recommended Spreading Rate per coat:

Wet mils: 5.0-10.0

Dry mils: 1.9-3.8

Coverage: 160-320 sq.ft. per gallon

Theoretical Coverage: 609 sq. ft. per gallon @ 1 mil dry

Approximate spreading rates are calculated on volume solids and do not include any application loss.

Note: Brush or roll application may require multiple coats to achieve maximum film thickness and uniformity of appearance.

Drying Schedule @ 6.0 mils wet, @ 50% RH:

Drying, and recoat times are temperature, humidity, and film thickness dependent.

	@40°F	@77°F	@120°F
To touch	2 hours	40 minutes	20 minutes
Tack free	8 hours	2 hours	1 hour
To recoat	16 hours	4 hours	2 hours

Tinting: DO NOT TINT

Off White B66W01310

(may vary by base)

V.O.C. (less exempt solvents):

less than 50 grams per litre; 0.42 lbs. per gallon

As per 40 CFR 59.406

Volume Solids: 38 ± 2%

Weight Solids: 49 ± 2%

Weight per Gallon: 10.09 lb

Flash Point: N/A

Shelf Life: 36 months, unopened

COMPLIANCE

As of 10/11/2021, Complies with:

OTC	Yes
OTC Phase II	Yes
S.C.A.Q.M.D.	Yes
CARB	Yes
CARB SCM 2007	Yes
CARB SCM 2020	Yes
Canada	Yes
LEED® v4 & v4.1 Emissions	Yes
LEED® v4 & v4.1 V.O.C.	Yes
EPD-NSF® Certified	Yes
MIR-Manufacturer Inventory	Yes
MPI®	Yes

APPLICATION

Temperature:

minimum 40°F

maximum 120°F

air, surface, and material

At least 5°F above dew point

Relative humidity: 85% maximum

The following is a guide. Changes in pressures and tip sizes may be needed for proper spray characteristics. Always purge spray equipment before use with listed reducer. Any reduction must be compatible with the existing environmental and application conditions.

Reducer: Water

Airless Spray:

Pressure 2000 p.s.i.

Hose 1/4 inch I.D.

Tip .015 - .019 inch

Filter 60 mesh

Conventional Spray:

Gun Binks 95

Fluid Nozzle 66

Air Nozzle 63 PB

Atomization Pressure 60 p.s.i.

Fluid Pressure 25 p.s.i.

Reduction: as needed up to 5 % by volume

Brush: Nylon-polyester

Roller Cover: 3/8 inch woven

If specific application equipment is listed above, equivalent equipment may be substituted.

Apply paint at the recommended film thickness and spreading rate as indicated. Application of coating above maximum or below minimum recommended spreading rate may adversely affect coating performance.

Stripe coat crevices, welds, and sharp angles to prevent early failure in these areas. For best results on rusty surfaces, always apply first coat by brush. When using spray application, use a 50% overlap with each pass of the gun to avoid holidays, bare areas, and pinholes. If necessary, cross spray at a right angle.

No painting should be done immediately after a rain or during foggy weather.

For optimal performance, this primer should be topcoated.

For exterior exposure, this primer should be topcoated within 14 days. If 14 days is exceeded remove all surface contamination by washing with an appropriate cleaner, rinse thoroughly and allow to dry. Finish with appropriate topcoat.

SPECIFICATIONS

Acceptable Water Based topcoats:

1-2 coats Pro Industrial Acrylic Coating or Pro Industrial Acrylic Dryfall
Pro Industrial DTM Acrylic
Pro Industrial Multi-Surface Acrylic
Pro Industrial Pre-Catalyzed Epoxy
Pro Industrial Pre-Catalyzed Urethane
Pro Industrial Water Based Acrolon 100
Pro Industrial Water Base Alkyd Urethane
Pro Industrial Water Based Catalyzed Epoxy
Sherwin-Williams Architectural Coatings

Acceptable Solvent Based topcoats:

Pro Industrial High Performance Epoxy
Pro Industrial Series
Industrial Enamels
Steel Master 9500 Silicone Alkyd
Tile-Clad HS Epoxy
Water Based Catalyzed Epoxy

The finishes listed above are representative of the product's use, other finishes may be appropriate.

Pro Industrial™ Waterbased Alkyd Urethane Enamel Semi-Gloss

B53-1150/2150 Series


**SHERWIN
WILLIAMS®**

CHARACTERISTICS

Pro Industrial Waterbased Alkyd Urethane Enamel™ is a premium quality interior-exterior enamel formulated with a urethane modified alkyd resin system for high performance. It provides beauty and durability when applied to interior-exterior surfaces such as properly prepared drywall, wood, masonry and metal. It brings together the convenience and ease of use of a waterborne coating with the performance and coating characteristics of a traditional oil-based enamel.

- Excellent washability & flow & leveling
- Excellent touch up
- Easy application & cleanup
- Resistant to yellowing compared to traditional alkyds
- Suitable for use in USDA inspected facilities

For use on properly prepared:

Steel, Galvanized & Aluminum, Drywall, Concrete and Masonry, and Wood.

Finish: 50-70° @60°

Color: Most colors

Recommended Spreading Rate per coat:

Wet mils: 4.0-5.0

Dry mils: 1.4-1.7

Coverage: 320-389 sq.ft. per gallon

Theoretical Coverage: 545 sq. ft. per gallon
@ 1 mil dry

Approximate spreading rates are calculated on volume solids and do not include any application loss.

Note: Brush or roll application may require multiple coats to achieve maximum film thickness and uniformity of appearance.

Drying Schedule @ 4.0 mils wet, @ 50% RH:

Drying, and recoat times are temperature, humidity, and film thickness dependent.

@77°F

To touch 1-2 hours

To recoat 4 hours

Tinting with CCE only:

Base	oz. per gallon	Strength
Extra White	0-6	SherColor
Deep Base	4-12	SherColor
Ultradeep Base	10-14	SherColor

Extra White B53W02151

(may vary by color)

V.O.C. (less exempt solvents):

less than 50 grams per litre; 0.42 lbs. per gallon

As per 40 CFR 59.406

Volume Solids: 34 ± 2%

Weight Solids: 51 ± 2%

Weight per Gallon: 10.94 lb

Flash Point: N/A

Vehicle Type: Urethane modified alkyd

Shelf Life: 36 months, unopened

COMPLIANCE

As of 03/10/2020, Complies with:

OTC	Yes
OTC Phase II	Yes
SCAQMD	Yes
CARB	Yes
CARB SCM 2007	Yes
Canada	Yes
LEED® v4 & v4.1 Emissions	No
LEED® v4 & v4.1 V.O.C.	Yes
EPD-NSF® Certification	No
MIR-Manufacturer Inventory	No
NSF® Certification	No
MPI®	No

APPLICATION

Temperature:

minimum 50°F / 10°C

maximum 100°F / 37.8°C

air, surface, and material

At least 5°F above dew point

Relative humidity: 85% maximum

The following is a guide. Changes in pressures and tip sizes may be needed for proper spray characteristics. Always purge spray equipment before use with listed reducer. Any reduction must be compatible with the existing environmental and application conditions.

Reducer: Water

Airless Spray:

Pressure 2000 p.s.i.

Hose 1/4 inch I.D.

Tip .013 - .017 inch

Filter 60 mesh

Reduction Not recommended

Brush Nylon-polyester

Roller Cover 1/4-1/2 inch woven

If specific application equipment is listed above, equivalent equipment may be substituted.

Apply paint at the recommended film thickness and spreading rate as indicated on front page. Application of coating below minimum recommended spreading rate will adversely affect coating performance.

No painting should be done immediately after a rain or during foggy weather.

When using spray application, use a 50% overlap with each pass of the gun to avoid holidays, bare areas, and pinholes. Apply coating evenly while maintaining a wet edge to prevent lapping.

SPECIFICATIONS

Steel:

- 1 coat Pro Industrial Pro-Cryl Primer
- 2 coats Pro Industrial Waterbased Alkyd Urethane

Aluminum and Galvanizing:

- 1 coat Pro Industrial Pro-Cryl Primer
- 2 coats Pro Industrial Waterbased Alkyd Urethane

Concrete Block (CMU):

- 1 coat Pro Industrial Heavy Duty Blockfiller or Loxon Acrylic Block Surfer
- 2 coats Pro Industrial Waterbased Alkyd Urethane

Concrete-Masonry:

- 1 coat Loxon Concrete & Masonry Primer (if needed)
- 2 coats Pro Industrial Waterbased Alkyd Urethane

Drywall:

- 1 coat ProMar 200 Zero V.O.C. Primer
- 2 coats Pro Industrial Waterbased Alkyd Urethane

Wood, exterior:

- 1 coat Exterior Wood Primer
- 2 coats Pro Industrial Waterbased Alkyd Urethane

Wood, interior:

- 1 coat Premium Wall & Wood Primer
- 2 coats Pro Industrial Waterbased Alkyd Urethane

The systems listed above are representative of the product's use, other systems may be appropriate.

Pro Industrial™

Waterbased Alkyd Urethane Enamel Semi-Gloss

SURFACE PREPARATION

WARNING! Removal of old paint by sanding, scraping or other means may generate dust or fumes that contain lead. Exposure to lead dust or fumes may cause brain damage or other adverse health effects, especially in children or pregnant women. Controlling exposure to lead or other hazardous substances requires the use of proper protective equipment, such as a properly fitted respirator (NIOSH approved) and proper containment and cleanup. For more information, call the National Lead Information Center at 1-800-424-LEAD (in US) or contact your local health authority.

Do not use hydrocarbon solvents for cleaning.

Remove all surface contamination by washing with an appropriate cleaner, rinse thoroughly and allow to dry. Existing peeled or checked paint should be scraped and sanded to a sound surface. Glossy surfaces should be sanded dull. Stains from water, smoke, ink, pencil, grease, etc. should be sealed with the appropriate primer/sealer. Recognize that any surface preparation short of total removal of the old coating may compromise the service length of the system.

Iron & Steel - Minimum surface preparation is Hand Tool Clean per SSPC-SP2. Remove all oil and grease from surface per SSPC-SP1. For better performance, use Commercial Blast Cleaning per SSPC-SP6. Primer recommended for best performance

Aluminum - Remove all oil, grease, dirt, oxide and other foreign material per SSPC-SP1. Prime the area the same day as cleaned.

Galvanizing - Allow to weather a minimum of six months prior to coating. Solvent Clean per SSPC-SP1. When weathering is not possible, or the surface has been treated with chromates or silicates, first Solvent Clean per SSPC-SP1 and apply a test patch. Allow paint to dry at least one week before testing adhesion. If adhesion is poor, brush blasting per SSPC-SP16 is necessary to remove these treatments. Rusty galvanizing requires a minimum of Hand Tool Cleaning per SSPC-SP2, prime the area the same day as cleaned.

Concrete Block - Surface should be thoroughly clean and dry. Air, material and surface temperatures must be at least 55°F (13°C) before filling. Use Pro industrial Heavy Duty Block Filler or Loxon Acrylic Block Surfacer. The filler must be thoroughly dry before topcoating.

Masonry - All masonry must be free of dirt, oil, grease, loose paint, mortar, masonry dust, etc. Clean per SSPC-SP13/Nace 6/ ICRI No. 310.2R, CSP 1-3. Poured, troweled, or tilt-up concrete, plaster, mortar, etc. must be thoroughly cured at least 30 days at 75°F. Form release compounds and curing membranes must be removed by brush blasting. Brick must be allowed to weather for one year prior to surface preparation and painting. Prime the area the same day as cleaned. Weathered masonry and soft or porous cement board must be brush blasted or power tool cleaned to remove loosely adhering contamination and to get to a hard, firm surface. Apply one coat Loxon Conditioner, following label recommendations.

Wood - Surface must be clean, dry, and sound. Prime with recommended primer. No painting should be done immediately after a rain or during foggy weather. Knots and pitch streaks must be scraped, sanded and spot primed before full coat of primer is applied. All nail holes or small openings must be properly caulked.

SURFACE PREPARATION

Previously Painted Surface - If in sound condition, clean the surface of all foreign material. Smooth, hard or glossy coatings and surfaces should be dulled by abrading the surface. Apply a test area, allowing paint to dry one week before testing adhesion. If adhesion is poor, additional abrasion of the surface and/or removal of the previous coating may be necessary. Retest surface for adhesion. If paint is peeling or badly weathered, clean surface to sound substrate and treat as a new surface as above. Recognize that any surface preparation short of total removal of the old coating may compromise the service length of the system.

Mildew- Prior to attempting to remove mildew, it is always recommended to test any cleaner on a small, inconspicuous area prior to use. Bleach and bleaching type cleaners may damage or discolor existing paint films. Bleach alternative cleaning solutions may be advised.

Mildew may be removed before painting by washing with a solution of 1 part liquid bleach and 3 parts water. Apply the solution and scrub the mildewed area. Allow the solution to remain on the surface for 10 minutes. Rinse thoroughly with water and allow the surface to dry before painting. Wear protective eyewear, waterproof gloves, and protective clothing. Quickly wash off any of the mixture that comes in contact with your skin. Do not add detergents or ammonia to the bleach/ water solution.

PERFORMANCE

System Tested: (unless otherwise indicated)

Substrate: Steel
Surface Preparation: SSPC-SP10

Finish:
1 coat Waterbased Alkyd Urethane, 5 W.F.T.

Adhesion:
Method: ASTM D3359 method B
Result: 4B

Pencil Hardness:
Method: ASTM D3363
Result: 4H

Flexibility:
Method: Method: ASTM D522,
180° bend, 1/4" mandrel
Result: Pass

Dry Heat Resistance:
Method: ASTM D2485
Result: 200°F

Block Resistance:
Lab assessment: Excellent

Resistance to Yellowing:
Lab assessment: Excellent

No painting should be done immediately after a rain or during foggy weather. Do not paint on wet surfaces. Check adhesion by applying a test strip to determine the readiness for painting.

SAFETY PRECAUTIONS

Before using, carefully read **CAUTIONS** on label. Refer to the Safety Data Sheets (SDS) before use. **FOR PROFESSIONAL USE ONLY.**

Published technical data and instructions are subject to change without notice. Contact your Sherwin-Williams representative for additional technical data and instructions.

CLEANUP INFORMATION

Clean spills, splatters, hands and tools immediately after use with soap and warm water. After cleaning, flush spray equipment with compliant cleanup solvent to prevent rusting of the equipment. Follow manufacturer's safety recommendations when using solvents.

DANGER: Rags, steel wool, other waste soaked with this product, and sanding residue may spontaneously catch fire if improperly discarded. Immediately place rags, steel wool, other waste soaked with this product, and sanding residue in a sealed, water-filled, metal container. Dispose of in accordance with local fire regulations.

HOTW 03/10/2020 B53W01153 09 39
FRC

Pro Industrial™ Pro-Cryl® Universal Primer

SURFACE PREPARATION

WARNING! Removal of old paint by sanding, scraping or other means may generate dust or fumes that contain lead. Exposure to lead dust or fumes may cause brain damage or other adverse health effects, especially in children or pregnant women. Controlling exposure to lead or other hazardous substances requires the use of proper protective equipment, such as a properly fitted respirator (NIOSH approved) and proper containment and cleanup. For more information, call the National Lead Information Center at 1-800-424-LEAD (in US) or contact your local health authority.

Do not use hydrocarbon solvents for cleaning.

Remove all surface contamination by washing with an appropriate cleaner, rinse thoroughly and allow to dry. Existing peeled or checked paint should be scraped and sanded to a sound surface. Glossy surfaces should be sanded dull. Stains from water, smoke, ink, pencil, grease, etc. should be sealed with the appropriate primer-sealer. Recognize that any surface preparation short of total removal of the old coating may compromise the service length of the system.

Iron & Steel - Minimum surface preparation is Hand Tool Cleaning per SSPC-SP2. Remove all oil and grease from the surface per SSPC-SP1. For better performance, use Commercial Blast Cleaning per SSPC-SP6. Prime the area the same day as cleaned. Self priming

Aluminum - Remove all oil, grease, dirt, oxide and other foreign material per SSPC-SP1. Self priming.

Galvanizing - Allow to weather a minimum of six months prior to coating. Solvent Clean per SSPC-SP1. When weathering is not possible, or the surface has been treated with chromates or silicates, first Solvent Clean per SSPC-SP1 and apply a test patch. Allow paint to dry at least one week before testing adhesion. If adhesion is poor, brush blasting per SSPC-SP16 is necessary to remove these treatments. Rusty galvanizing requires a minimum of Hand Tool Cleaning per SSPC-SP2, prime the area the same day as cleaned. Self priming.

Previously Painted Surfaces - If in sound condition, clean the surface of all foreign material. Smooth, hard or glossy coatings and surfaces should be dulled by abrading the surface. Apply a test area, allowing paint to dry one week before testing adhesion. If adhesion is poor, additional abrasion of the surface and/or removal of the previous coating may be necessary. Retest surface for adhesion. If paint is peeling or badly weathered, clean surface to sound substrate and treat as a new surface as above. Recognize that any surface preparation short of total removal of the old coating may compromise the service length of the system.

Wood - Surface must be clean, dry and sound. Prime with recommended primer. No painting should be done immediately after a rain or during foggy weather. Knots and pitch streaks must be scraped, sanded and spot primed before full coat of primer is applied. All nail holes or small openings must be properly caulked.

SURFACE PREPARATION

Mildew- Prior to attempting to remove mildew, it is always recommended to test any cleaner on a small, inconspicuous area prior to use. Bleach and bleaching type cleaners may damage or discolor existing paint films. Bleach alternative cleaning solutions may be advised.

Mildew may be removed before painting by washing with a solution of 1 part liquid bleach and 3 parts water. Apply the solution and scrub the mildewed area. Allow the solution to remain on the surface for 10 minutes. Rinse thoroughly with water and allow the surface to dry before painting. Wear protective eyewear, waterproof gloves, and protective clothing. Quickly wash off any of the mixture that comes in contact with your skin. Do not add detergents or ammonia to the bleach/water solution.

PERFORMANCE

System Tested: (unless otherwise indicated)

Substrate: Steel

Surface Preparation: SSPC-SP10

Finish: 1 coat Pro Industrial Pro-Cryl Off White
1 coat Pro Industrial Acrylic Coating

Adhesion:

Method: ASTM D4541

Result: 500 p.s.i.

Corrosion Weathering:

Method: ASTM D5894, 10 cycles,
3360 hours

Result: Passes

Direct Impact Resistance:

Method: ASTM D2794

Result: greater than 140 inch lb.

Dry Heat Resistance:

Method: ASTM D2485

Result: 200°F

Flexibility:

Method: ASTM D522, 180° bend,
1/4 inch mandrel

Result: Passes

Moisture Condensation Resistance:

Method: ASTM D4585, 100°F,
1250 hours

Result: Passes

Pencil Hardness:

Method: ASTM D3363

Result: B

Salt Fog Resistance:

Method: ASTM B117, 1250 hours

Result: Passes

Provides performance comparable to products formulated In Lieu of federal specification: AA50557 and Paint Specification: SSPC-Paint 23.

SAFETY PRECAUTIONS

Before using, carefully read **CAUTIONS** on label. Refer to the Safety Data Sheets (SDS) before use. **FOR PROFESSIONAL USE ONLY.**

Published technical data and instructions are subject to change without notice. Contact your Sherwin-Williams representative for additional technical data and instructions.

CLEANUP INFORMATION

Clean spills, splatters, hands and tools immediately after use with soap and warm water. After cleaning, flush spray equipment with compliant cleanup solvent to prevent rusting of the equipment. Follow manufacturer's safety recommendations when using solvents.

HOTW	10/11/2021	B66W01310	04 40
HOTW	10/11/2021	B66A01320	05 39
HOTW	10/11/2021	B66N01310	05 40
FRC			



Bancroft Construction
 2324 West Zion Road Suite 108
 Salisbury, Maryland 21801
 P: +14108448080

Project: CSED0001 - Public Safety Bldg. Addition
 21911 Rudder Lane
 Georgetown, Delaware 19947

CHANGE EVENT #125 - Replace Blinds in Sim Lab

Origin:

Date Created: 4/18/2023 **Created By:** Cheryl Fearn
Status: Open **Scope:** Out of Scope
Type: Contract Change **Change Reason:** Owner Directive
Description: Replace blinds in Sim Lab with dual function blind that have both partial light blocking and 100% light blocking capability, similar to what is in EOC
Attachments: [CO-00005-Sussex County Public Safety Building CSED0001-025 - Contract.PDF](#)

CHANGE EVENT LINE ITEMS

Budget Code	Vendor / Contract	Revenue			Cost				Over/ Under	Budget Mod.
		ROM	Prime PCO	Latest Price	ROM	RFQ	Commit.	Latest Cost		
12-490.06 Window Treatments.Subcontract	Erco Interior Systems CSED0001-025	\$4,164.76	\$4,164.76	\$4,164.76	\$4,164.76			\$4,164.76	\$0.00	
Description: replace blinds in Sim Lab										
1-511.02 Sr. Project Manager.Regular Labor		\$208.24	\$208.24	\$208.24				\$0.00	\$208.24	
90-999.10		\$264.57	\$264.57	\$264.57				\$0.00	\$264.57	

		Revenue			Cost					
Budget Code	Vendor / Contract	ROM	Prime PCO	Latest Price	ROM	RFQ	Commit.	Latest Cost	Over/ Under	Budget Mod.
Fee.Fee & Field Cost										
Grand Totals		\$4,637.56	\$4,637.56	\$4,637.56	\$4,164.76	\$0.00	\$0.00	\$4,164.76	\$472.80	\$0.00



REQUEST FOR CHANGE ORDER

Ref.# CO-00005
 GC #
 Date Apr 19, 2023
 Job # D21-1470

To: Bancroft Construction Co DE
 1300 North Grant Ave
 Suite 110
 Wilmington, DE 19806
 Phone: 302-254-3327

Project: Sussex County Public Safety Building CSED
 219111 Rudder Lane
 Georgetown, DE 19947

	Total
Supply (4) Dual Roller Shades for Room 119	\$3,646.00
Tax	\$218.76
Labor	\$300.00
	Total \$4,164.76
Subtotal for Detail	\$4,164.76

AUTHORIZED BY:
ON BEHALF OF: Bancroft Construction Co DE
PROJECT MANAGER: Christopher Otto
ESTIMATOR: Joseph Barreca

Labor Total:	\$0.00
Material Total:	\$0.00
Sub Trade Total:	\$0.00
Cleanup Total:	\$0.00
Equipment Total:	\$0.00
Misc. Total:	\$4,164.76
Sub Total:	\$4,164.76
Mark Up:	\$0.00 .00%
Total:	\$4,164.76 <small>+Applicable Taxes</small>

Authorized by:

Signature:

Date:

Dual Roller Clutch-Operated FlexShade®

Manual, clutch-operated window shade with smooth, quiet operation, and independent control

SUBMITTAL
TECHNICAL INFO

DFCL

Please check all appropriate selections and attach room schedule with verified dimensions.

This document is to be used with the [CLUTCH-OPERATED FlexShade® Submittal](#).

On the diagram below, please provide the following information: If Specifying a Coupled FlexShade®, also indicate desired locations for couplers.

Rear Roller Fabric: <u>APAGON STYLE III</u> Color / Number: <u>TBD</u> Openness Factor: <u>0%</u>
<p>*Please see the Draper® Shade Fabric Reference Guide for fabric colors and specifications.</p>
Front Roller Fabric: <u>SW1000</u> Color / Number: <u>TBD</u> Openness Factor: <u>25%</u>
<p>*Please see the Draper® Shade Fabric Reference Guide for fabric colors and specifications.</p>

Please Note: Shade fabrics can be placed anywhere in the headbox. Fabric or screen can be no closer than 13/16" (21mm) to either end of the headbox.

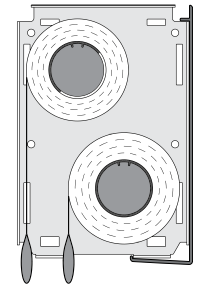
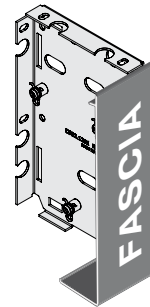
Select Hardware Finish

- Clear Anodized (standard)
- Black
- Ivory
- White
- Bronze
- Custom (Contact Draper®)

Select Dual Roller Hardware

(Hardware Dimensions available on page 2.)

- Dual Endcaps Only
- Dual Endcaps with Fascia

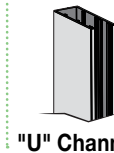


Select Headbox

- Dual Headbox
- Pocket Headbox (standard or large; sizes chosen by Draper)
 - Dual Pocket Headbox Tile Flange:
 - Front (standard)
 - Left
 - None
 - Yes
 - Yes (standard)
 - Yes
 - Dual Pocket Headbox Ventilation Holes:
 - Back
 - Right
 - No (standard)
 - No
 - No (standard)
 - Pre-Drilled Shade Endcap Mounting Holes:
 - No (standard)
 - No
 - No (standard)
 - Pre-Drilled Pocket Headbox Mounting Holes:
 - Yes
 - No (standard)
 - No (standard)
- Ceiling / Wall (Surface Headbox)
- Custom Headbox

Select Light Block Option

- "L", "U", or "H" Channels for Light Gap Reduction
 - "L" Angle
 - "H" Channel
 - "U" Channel
 - Channel Liners

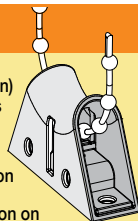


Child Safety Information

ANSI/WCMA A100.1-2018 standard (developed by the Window Coverings Manufacturer's Association and the Consumer Product Safety Commission) was established on December 15, 2018, to eliminate strangulation hazards for small children from hanging cords and chain loops.

When dealers specify that custom shades comply with ANSI/WCMA A100.1-2018, Draper® provides a pre-installed Spring-Loaded Chain Tension Device (shown at right) for clutch-operated units. When properly installed, tension device prevents creation of a hazardous loop by maintaining tension on bead chain. If not installed properly, shade is partially inoperable.

For more information, please see ANSI/WCMA A100.1-2018 compliance page: www.draperinc.com/windowshades/wcma-compliance.aspx



PROJECT: _____

ARCHITECT: _____

CONTRACTOR: _____

SUPPLIER: _____

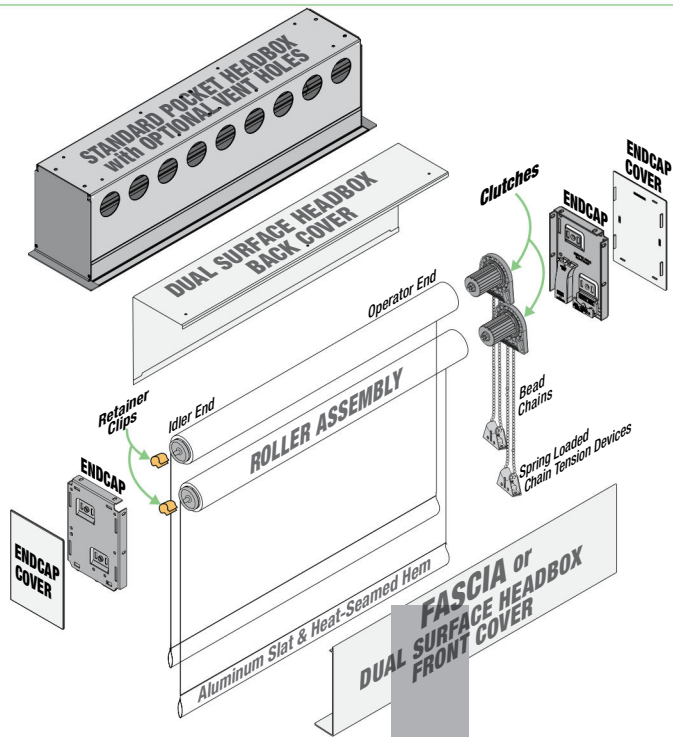
DATE: _____ REVISED: _____



Draper, Inc. | 411 S. Pearl St. Spiceland, IN 47385
draperinc.com | 765.987.7999 | 800.238.7999

© 2021 All Rights Reserved | FORM: DualRoller_FSCL_Sub21

Dual Roller Clutch-Operated Components



DUAL ROLLER CLUTCH-OPERATED FLEXSHADE SPECIFICATIONS:
Two rollers mounted to a single set of endcaps, to accept fascia.

COMPONENTS SPECIFIC TO DUAL ROLLER CLUTCH-OPERATED DUAL ROLLER

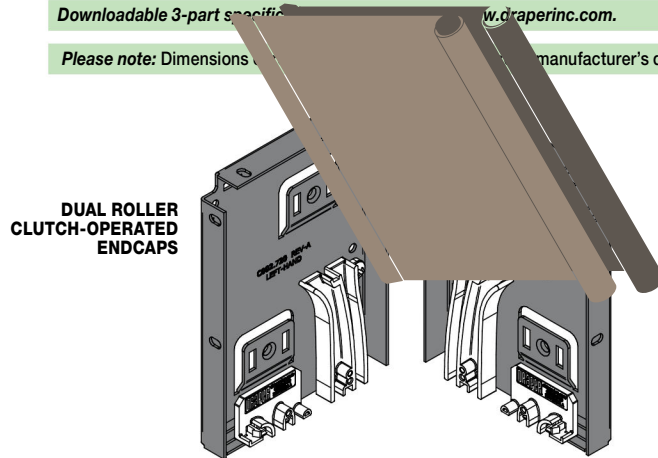
ENDCAPS: 1028 steel stamping. Complete with adapter roller bracket. Installs to wall or ceiling. Shades mount in vertical configuration (see drawings). Accepts Dual Roller Fascia.

DUAL FASCIA (FOR ENDCAPS): L-shaped cover of extruded aluminum, .060" (1.5mm) wall. Assembly snaps onto endcaps without exposed fasteners. Clear Anodized (standard), black, white, ivory, or bronze powder coat finish available.

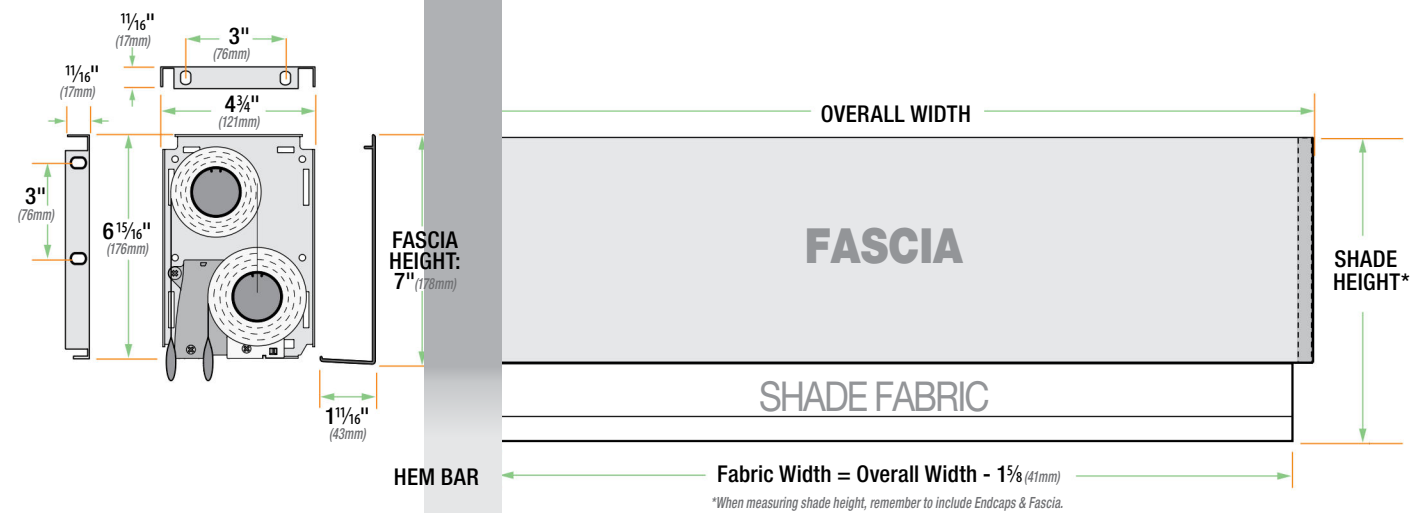
DUAL ROLLER POCKET STYLE HEADBOX: Headbox of 18 GA Steel, painted white on bottom and front. With or without aluminum ceiling tile lip. Removable aluminum bottom closure attaches without exposed fasteners. Available in stock lengths for installation ahead of shades and screen.

Downloadable 3-part specification available at www.draperinc.com.

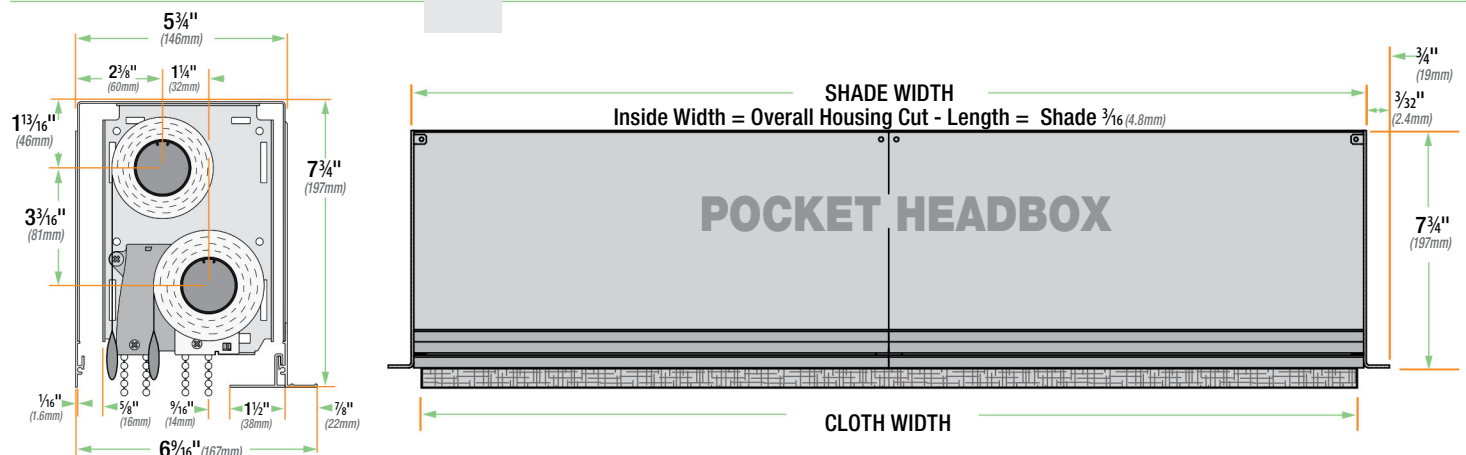
Please note: Dimensions are subject to change without notice at manufacturer's discretion.



Dual Roller Clutch-Operated Endcap & Fascia Dimensions



Dual Roller Clutch-Operated Pocket Headbox Dimensions



DRAPER®

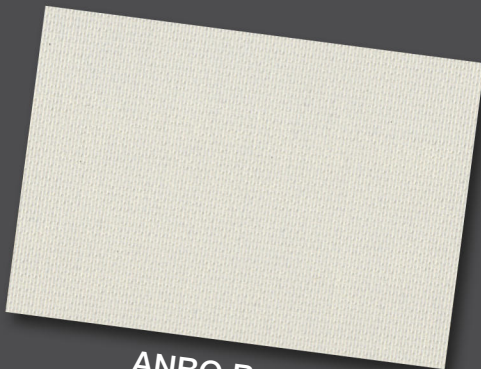
SunBloc
APARECÓN (SUNBLOC)

With a Draper SunBloc Drapery brings stylish light control, strength, durability and direct visibility on
and inside your building. It's resistant, tearproof, washable and

**PLEASE CONFIRM COLOR SELECTION FOR REAR
BLACKOUT SHADE**



ANWH White



ANBO Bone



ANGR Grey



ANDG Dark Grey



ANBL Black

APAGÓN STYLE III SPECIFICATIONS

DECORATIVE BLACKOUT FABRIC

- This is the ultimate solution for high-intensity applications while maintaining a high-end decorative look.

Apagón Style III is a unique series of woven fiberglass laminated blackouts for roller shade, panel track, and fabric verticals.

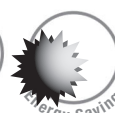
With its incredible durability and stability, Apagón Style III is an evolution of the standard PES foam coated blackouts. Apagón Style III can withstand higher heat and direct light; it will not crack or yellow like foam coating. Apagón Style III has a higher tearing strength, and is ultra stable.

Apagón Style III is a 3 ply opaque shade fabric consisting of vinyl, fiberglass, and a proprietary coating to ensure light stays out.

This super-duty version of woven textile blackout fabric is suited for Commercial, Institutional, Hospitality, and Residential installations.

TECHNICAL DATA

Construction:	3 ply (62.1% vinyl, 31.6% fiberglass, 6.2% Proprietary Coating)	
Surface Texture:	Back side Laminated with Coated front side	
Colors Available:	White, Bone, Grey, Dark Grey, Black	
Thread Count:	59 threads per square inch (23 per square centimeter)	
Available Widths:	98" (249 cm) Other widths available upon request	
Roll Lengths:	30-yard standard (27 meters)	
Shipping:	Rolls shipped on 3" (7.62 cm) ID paper	
Weight Per Sq. Yard:	12.8 ounces (436.7 grams/m ²)	(+ or - 2.0) (+ or - 68)
Thickness:	.0131 inches (.333 mm)	(+ or - .002) (+ or - .05)
Tear Strength:	Warp 17.13 Lbs/In	Fill 11.43 Lbs/In
Breaking Strength:	Warp 298.26 Lbs/In	Fill 299.72 Lbs/In
Washability:	Material may be dusted with a damp cloth. When scrubbing is necessary, warm water, mild detergents, and gentle rubbing are recommended.	
Opacity:	Blackout	
NRC Rating:	0.05	
SAA Rating:	0.05	
Flammability:	National Fire Protection Association Standard 701-2019 Test Method 1	
Other Tests Passed:	ASTM D3335 85a - Lead Testing ASTM Method G-21-15 – Resistance to Fungi	



NEW!
Now with
TrackLess
TECHNOLOGY

Interior Sun Control Fabrics

Phifer
SheerWeave

BRAND FABRIC

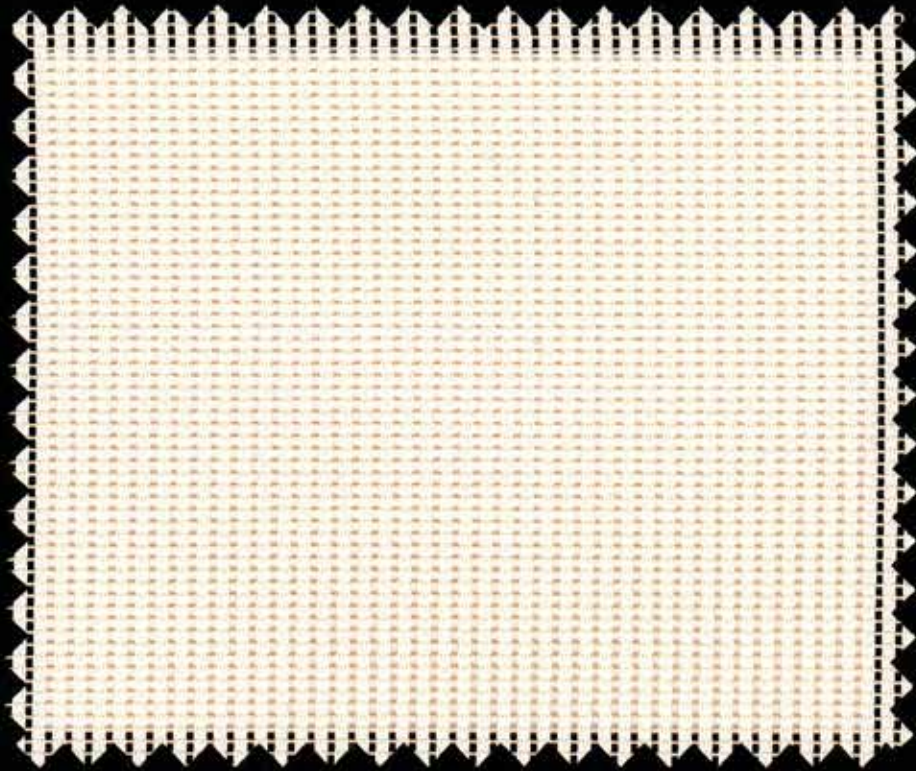
STYLE SW1000 - SUNSCREEN

PLEASE CONFIRM COLOR SELECTION FRONT
SHEERWEAVE FABRIC

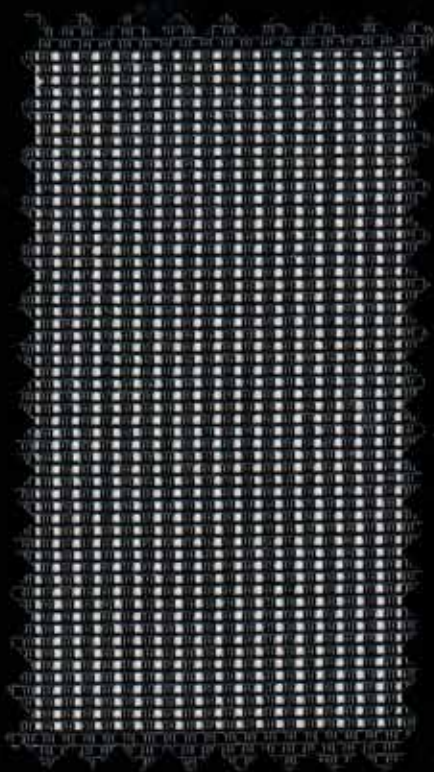
(25% open)



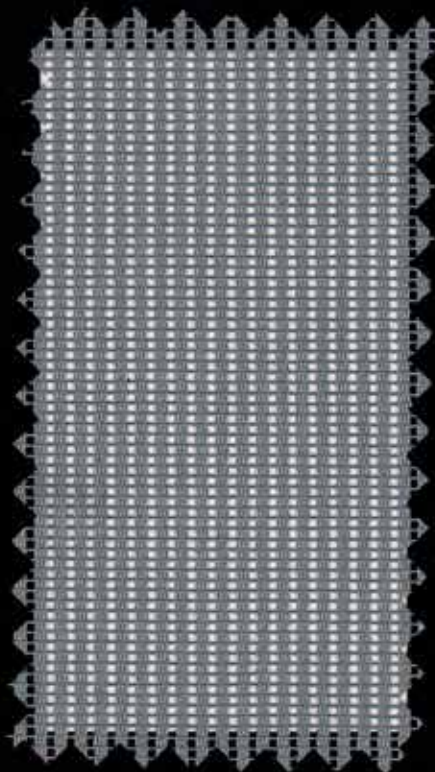
SW1005 White



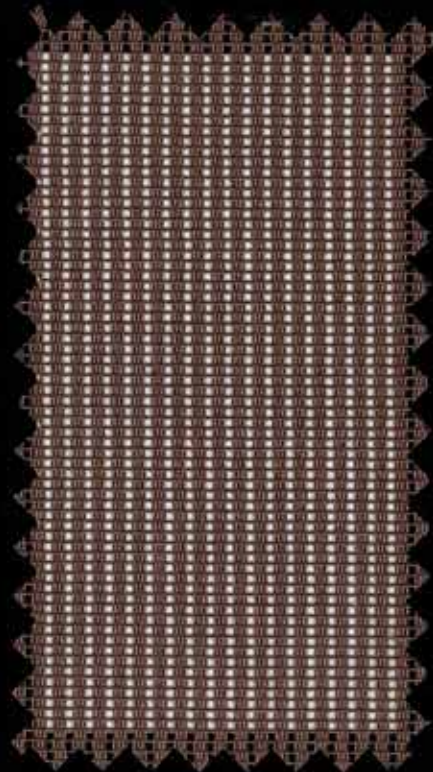
SW1010 Antique White



SW1060 Charcoal



SW1020 Silver Gray



SW1030 Bronze

SheerWeave® Style SW1000 - SunScreen®

Specifications

■ This ribbed-weave fiberglass fabric offers substantial shading while allowing excellent outward visibility and improved daytime privacy. Style SW1000 - SunScreen can also be used in exterior roller shades.

Fire Classification: California U.S. Title 19 (small scale), NFPA 701-2004 TM#1 (small scale), NFPA 101 (Class A Rating), UBC (Class I), BS 5867 2008 Part 2 Type B Performance and NFPA 701 TM#2 Large Scale

Bacteria and Fungal Resistance: ASTM E 2180, ASTM G22, AATCC30 Part 3, ASTM G21, ASTM D 3273, GREENGUARD Mold and Bacteria Standard ASTM 6329; includes Microban antimicrobial additives

Environmental Certification: GREENGUARD Certified and GREENGUARD for Children and Schools Certified

Lead Free: RoHS / Directive 2002/95/EC, US Consumer Product Safety Commission Section 101, ANSI/WCMA A100.1-2007 for lead content and REACH (EC 1907/2006) compliant

Standard Uses: Roll-up shades, Roman shades, folding shades, pleated shades, vertical blinds, panel tracks, sheers and screens

Warranty: 10-year interior; 5-year exterior

TrackLess®: TrackLess Technology minimizes the fiberglass yarns inherent tendencies to track when being rolled up in a shade. With TrackLess Technology these same fabrics now track less, roll up straighter and reduce shade fabrication time.

Composition: 35% Fiberglass, 65% Vinyl on Fiberglass

Openness Factor: Approximately 25%

UV Blockage: Approximately 75%

WHITE • ANTIQUE WHITE

Standard Widths: 36", 48", 72", and 84"
(91.4cm, 121.9cm, 182.9cm and 213.4cm)

Standard Roll Length: 30 Linear yards (27.4M)

Mesh Weight: 8.8 oz/yd² (298 g/m²)

Fabric Thickness: .020 in. (0.51mm)

CHARCOAL • SILVER GRAY • BRONZE

Standard Widths: 36", 48", 60", 72", and 84"
(91.4cm, 121.9cm, 152.4cm, 182.9cm and 213.4cm)

Standard Roll Length: 100' (30.48M)

Mesh Weight: 8.5 oz/yd² (288 g/m²)

Fabric Thickness: .019 in. (0.48mm)



Solar Heat Control Properties of Phifer SheerWeave Style SW1000 - SunScreen Fabrics Installed Internally, Zero-Degree Profile Angle

Style No.	Color	* Solar Optical Properties				Shading Coefficient w/		
		TS	RS	AS	TV	1/8CL	1/4CL	1/4 HA
SW1005	White	36	50	14	31	0.50	0.48	0.40
SW1010	Antique White	37	47	16	32	0.52	0.51	0.41
SW1020	Silver Gray	22	16	62	24	0.70	0.66	0.49
SW1030	Bronze	26	14	60	27	0.72	0.68	0.51
SW1060	Charcoal	25	6	69	29	0.77	0.73	0.53

* Performance evaluations conducted by Matrix, Inc., Mesa, Arizona.

TS = Solar Transmittance 1/8 CL = 1/8" Clear Glass
RS = Solar Reflectance 1/4 CL = 1/4" Clear Glass
AS = Solar Absorptance 1/4HA = 1/4" Heat Absorbing Glass
TV = Visual Transmittance

The solar optical properties are used to calculate the shading coefficient. The shading coefficient represents the percentage of solar heat gain that is transmitted to the interior through the glass and shading system. Darker colors provide maximum glare reduction and visibility. For complete technical information, current test results, performance specifications and larger samples, contact our Sun Control Marketing Department.



411 S. Pearl St. Spiceland, IN 47385
Ph: 765-987-7999 Fax: 765-987-7142
www.draperinc.com

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© MICROBAN is a registered trademark of Microban Products Company.
© PHIFER INCORPORATED V10 3027283



FLEXSHADE® HARDWARE COLORS

STANDARD POWDER COAT COLORS, THERMALLY BONDED, SUPERIOR ADHESION

- These colors are standard for interior and exterior hardware and are applied to fascia, headboxes, and side and sill channels. Colors are lightly textured. Clear anodized and silver have a smooth finish. Custom colors are available on request.

PLEASE CONFIRM COLOR OF FASCIA AND SIDE CHANNEL HARDWARE

STANDARD FINISHES FOR INTERIOR FLEXSHADE



STANDARD FINISHES FOR EXTERIOR FLEXSHADE





Bancroft Construction
 2324 West Zion Road Suite 108
 Salisbury, Maryland 21801
 P: +14108448080

Project: CSED0001 - Public Safety Bldg. Addition
 21911 Rudder Lane
 Georgetown, Delaware 19947

CHANGE EVENT #126 - Walk Pads to Equipment on Roof

Origin:

Date Created: 4/18/2023 **Created By:** Cheryl Fearn
Status: Open **Scope:** Out of Scope
Type: Contract Change **Change Reason:** Owner Directive
Description: provide Walk Pads to equipment on roof per quote dated 4/25/23
Attachments: [CE # 126- Additional Walkway Rolls from Hatch to HVAC unit.pdf](#), [HKG Roof Plan.pdf](#)

CHANGE EVENT LINE ITEMS

Budget Code	Vendor / Contract	Revenue			Cost			Over/ Under	Budget Mod.
		ROM	Prime PCO	Latest Price	ROM	RFQ	Commit.		
07-500.06 Membrane Roofing.Subcontract	Griffith, Inc., H.K. CSED0001-013	\$4,696.90	\$4,696.90	\$4,696.90	\$4,696.90			\$4,696.90	\$0.00
Description: walk pads									
1-511.02 Sr. Project Manager.Regular Labor		\$234.85	\$234.85	\$234.85				\$0.00	\$234.85
90-999.10 Fee.Fee & Field Cost		\$298.37	\$298.37	\$298.37				\$0.00	\$298.37
Grand Totals		\$5,230.12	\$5,230.12	\$5,230.12	\$4,696.90	\$0.00	\$0.00	\$4,696.90	\$533.22 \$0.00



April 25, 2023

Bancroft Construction Company
1300 N Grant Ave #101
Wilmington, DE 19806

Re: Sussex County Public Safety Building
Additional Walkway Pads

Dear John:

Scope:

- Load material and equipment to roof.
- Setup fall protection warning line.
- Clean roof where walkway rolls are to be heat welded.
- Install approx. 110 LF of Carlisle PVC Walkway roll.
- Offload equipment and fall protection warning line.

Notes:

- Work performed during normal business hours.

Price: **\$4696.90**

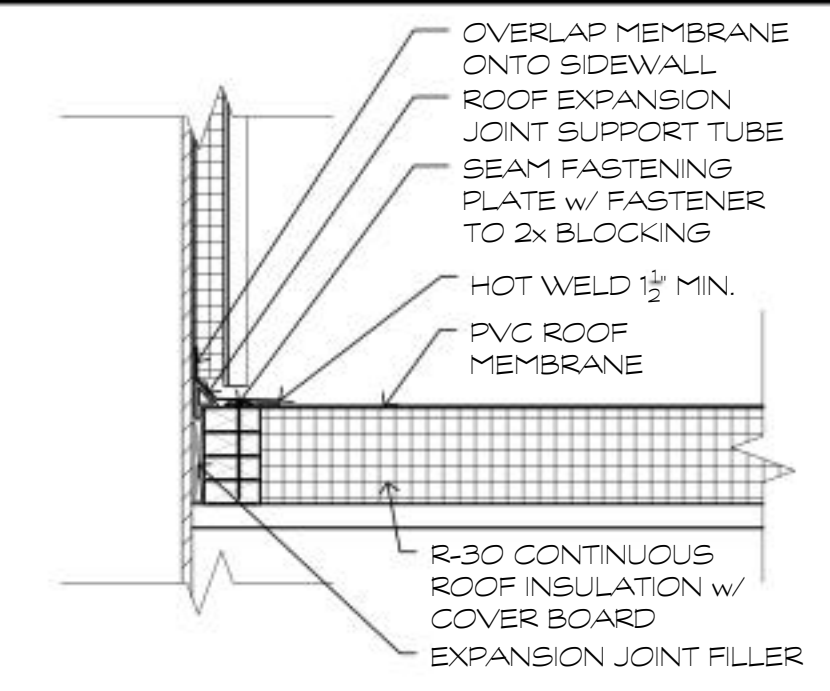
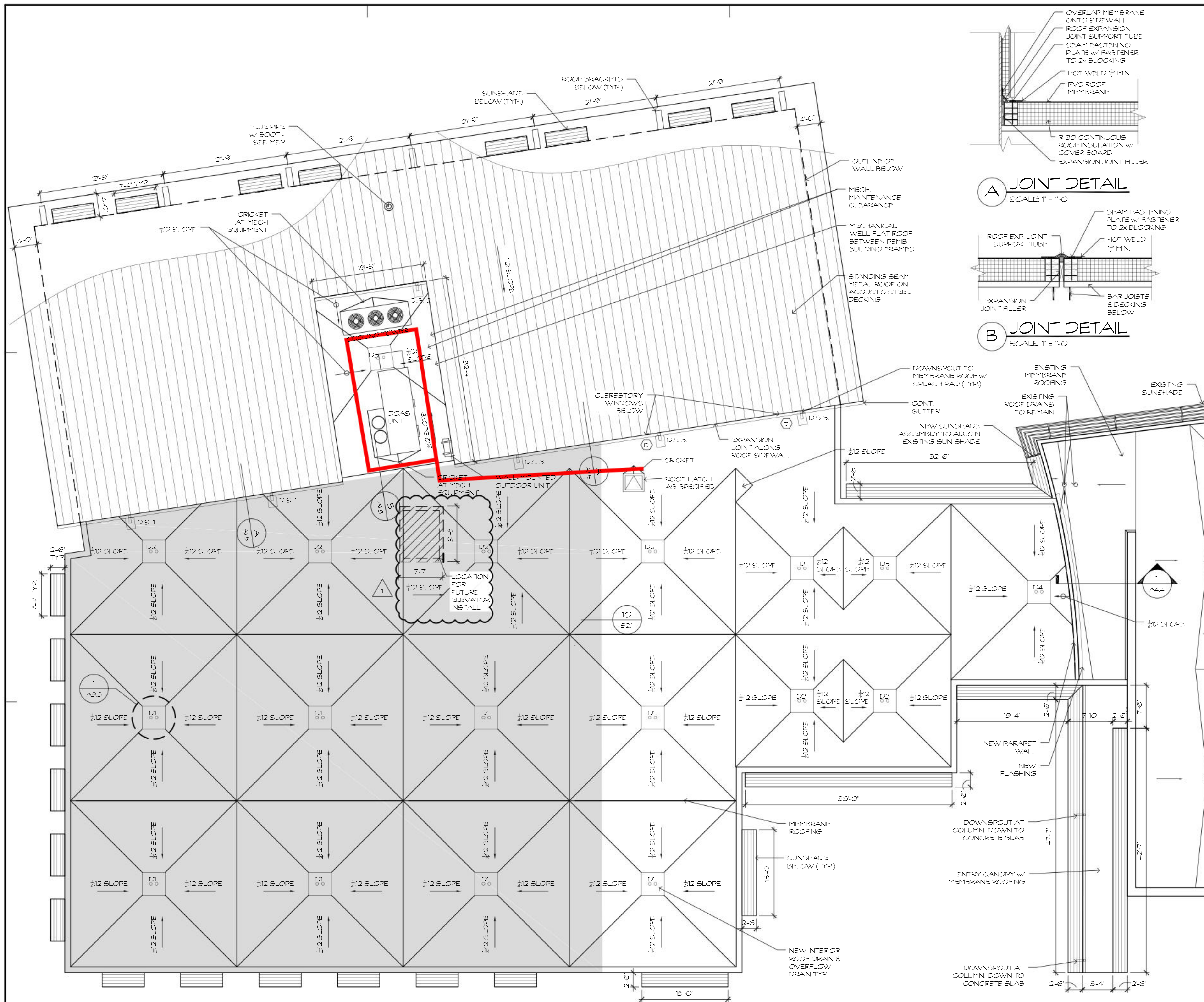
Labor:	24 hours @ \$105.00	\$2,520.00
Material:		
Two (2) Rolls PVC Walkway	@ \$825.00 EA	\$1,650.00
One (1) Pail of PVC Cleaner	@ \$279.00 PAIL	\$279.00
Misc. (rags, rollers, etc.)	@ \$50.00 EA	\$50.00
	Mark Up	\$197.90
	Total	\$4,696.90

Sincerely,

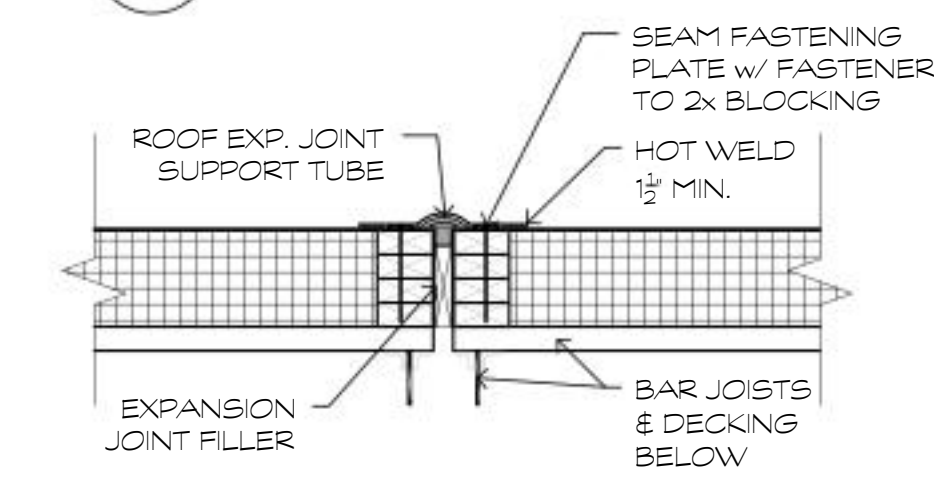
Matt Tetrick

HK Griffith, Inc.

G:\Projects\2018\180173 sussex county ems admin building\Drawings\current drawings\A1.2 ROOF PLAN.dwg, 6/16/2021 4:03 PM, Deane Townsend



A JOINT DETAIL
SCALE: 1" = 1'-0"



B JOINT DETAIL
SCALE: 1" = 1'-0"

ROOF CALCULATIONS

- METAL ROOF SECTION:**
- 7,338 S.F.
 - 130 RAINFALL FACTOR FOR 100 YEAR STORMS.
 - SMACNA TABLE 1-2 CALCULATED ROOF AREA DRAINED PER DOWNSPOUT AREA FOR STORMS EXCEEDED ONLY ONCE IN 100 YEARS. BALTIMORE = 130.

- DS1 - DOWNSPOUT AREA 1:**
- 2,824 S.F. / 2 DOWNSPOUTS = 1,412 S.F. THEREFORE, 1,412 S.F./130 = EACH DOWNSPOUT SHOULD HAVE A MINIMUM AREA OF 10.46 SQUARE INCHES.
 - TYPICAL DOWNSPOUT SIZING SHALL BE 4" x 4" MINIMUM (16 SQUARE INCHES).
 - GUTTER SIZING SHALL BE 6" x 6" RECTANGULAR.

- DS2 - DOWNSPOUT AREA 2:**
- 470 S.F. / 1 DOWNSPOUT = 470 S.F. THEREFORE, 470 S.F./130 = EACH DOWNSPOUT SHOULD HAVE A MINIMUM AREA OF 3.62 SQUARE INCHES.
 - TYPICAL DOWNSPOUT SIZING SHALL BE 4" x 4" MINIMUM (16 SQUARE INCHES).
 - GUTTER SIZING SHALL BE 6" x 6" RECTANGULAR.

- DS3 - DOWNSPOUT AREA 3:**
- 4,044 S.F. / 3 DOWNSPOUTS = 1,348 S.F. THEREFORE, 1,348 S.F./130 = EACH DOWNSPOUT SHOULD HAVE A MINIMUM AREA OF 10.37 SQUARE INCHES.
 - TYPICAL DOWNSPOUT SIZING SHALL BE 4" x 4" MINIMUM (16 SQUARE INCHES).
 - GUTTER SIZING SHALL BE 6" x 6" RECTANGULAR.

- MEMBRANE ROOF SECTION:**
- 13,509 S.F.
 - THIS CALCULATION EXCLUDES MEMBRANE ROOFING OVER ENTRANCE CANOPY.
 - WHERE PRESENT, CALCULATIONS ACCOUNT FOR DRAINAGE FROM STANDING SEAM METAL ROOF. RAINFALL RATES ARE BASED ON A STORM OF 1-HOUR DURATION AND 100-YEAR STORM, GEORGETOWN, DE. 3.0 INCHES PER HOUR (PC 2018 - APPENDIX B)
 - GALLONS PER MINUTE = $0.104 \times R \times A$
 - 0.104 = RAINFALL CONVERSION FACTOR
 - R = RAINFALL INTENSITY
 - A = ROOF AREA

- D1 - DRAIN AREA 1:**
- 639 S.F. MAX. AREA PER DRAIN.
 - $0.104 \times 3.0 \text{ inch/hr} \times 639 \text{ SF} = 26.2 \text{ GPM}$
 - TYPICAL VERTICAL LEADER SIZING SHALL BE 3 INCHES MINIMUM (7.0 SQUARE INCHES) FOR A CAPACITY OF 92 GPM (PC 2018 - TABLE 106.3).

- D2 - DRAIN AREA 2:**
- 2,361 S.F. MAX. AREA PER DRAIN, WORSE-CASE SCENARIO: 1,013± S.F. MEMBRANE ROOFING + 1,348± S.F. STANDING SEAM METAL ROOFING.
 - $0.104 \times 3.0 \text{ inch/hr} \times 2,361 \text{ SF} = 73.7 \text{ GPM}$
 - TYPICAL VERTICAL LEADER SIZING SHALL BE 3 INCHES MINIMUM (7.0 SQUARE INCHES) FOR A CAPACITY OF 92 GPM (PC 2018 - TABLE 106.3).

- D3 - DRAIN AREA 3:**
- 426 S.F. MAX. AREA PER DRAIN.
 - $0.104 \times 3.0 \text{ inch/hr} \times 426 \text{ SF} = 13.3 \text{ GPM}$
 - TYPICAL VERTICAL LEADER SIZING SHALL BE 3 INCHES MINIMUM (7.0 SQUARE INCHES) FOR A CAPACITY OF 92 GPM (PC 2018 - TABLE 106.3).

- D4 - DRAIN AREA 4:**
- 616 S.F. MAX. AREA PER DRAIN.
 - $0.104 \times 3.0 \text{ inch/hr} \times 616 \text{ SF} = 19.2 \text{ GPM}$
 - TYPICAL VERTICAL LEADER SIZING SHALL BE 3 INCHES MINIMUM (7.0 SQUARE INCHES) FOR A CAPACITY OF 92 GPM (PC 2018 - TABLE 106.3).

- D5 - DRAIN AREA 5:**
- 1,108 S.F. MAX. AREA PER DRAIN, WORSE-CASE SCENARIO: 638± S.F. MEMBRANE ROOFING + 470± S.F. STANDING SEAM METAL ROOFING.
 - $0.104 \times 3.0 \text{ inch/hr} \times 1,108 \text{ SF} = 34.6 \text{ GPM}$
 - TYPICAL VERTICAL LEADER SIZING SHALL BE 3 INCHES MINIMUM (7.0 SQUARE INCHES) FOR A CAPACITY OF 92 GPM (PC 2018 - TABLE 106.3).

NOTES

- DOWNSPOUT SIZE SHALL BE BASED ON WORST CASE AND ALL DOWNSPOUTS ON MAIN ROOF TO BE THE SAME SIZE. THEREFORE DOWNSPOUTS ARE GENERALLY OVERSIZED. GUTTER SIZE ON CANOPY TO BE DESIGNED BY CANOPY MANUFACTURER.
- MAXIMUM GUTTER LENGTH OF 50 FEET BETWEEN ENDS OR EXPANSION JOINTS. INSTALL EXPANSION JOINTS AS REQUIRED BY LATEST SMACNA EDITION REQUIREMENTS.
- GUTTER AND DOWNSPOUT SIZES SHOWN ARE FOR MINIMUM GUIDELINES ONLY. CONTRACTOR SHALL PROVIDE GUTTER AND DOWNSPOUT SHOP DRAWINGS THAT CERTIFY SIZES MEET OR EXCEED THE 100 YEAR STORM REQUIREMENTS PER LATEST SMACNA EDITION FOR APPROVAL PRIOR TO FABRICATION.
- TAPERED ROOF INSULATION LAYOUT SHALL BE CONFIGURED TO PREVENT PONDING, & MAINTAIN TYPICAL CROWN ELEVATION WHEREVER POSSIBLE.

AREA OF CONCRETE TOPPING ON ROOF DECK

1 ROOF PLAN
1/8" = 1'-0"

DATE	6/16/2021
REVISION	ADDENDUM 1
NO.	1

GEORGE, MILES & BUHR, LLC
ARCHITECTS & ENGINEERS
BALTIMORE • BALTIMORE • SEAFORD
www.gmbnet.com

NEW ADDITION FOR:
SUSSEX COUNTY PUBLIC SAFETY BUILDING
GEORGETOWN, DELAWARE

ROOF PLAN

SCALE	AS NOTED
DESIGN BY	MHH
DRAWN BY	LEV
CHECKED BY	MHH
GMB FILE	180173
DATE	5-28-21

BLDG NORTH

A1.8

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ACCESSORY PRICE LIST - Effective 4/1/23 (Supercedes price sheet issued 6/1/22)

Non-Stock Items Available By Full Carton Qty's Only

Expires 5/31/23

** with current market conditions, prices are subject to change without notice **

Order Qty	Code	Product	Stock	Qty per CT	Price
Polymer Gyptec Fasteners					
	300750	2" Gyptec Plate	N	1,000	\$ 292.00
	300751	3" Gyptec Plate	N	1,000	\$ 292.00
	300718	2 1/2IN POLYMER GYPTEC	N	500	\$ 229.00
	300719	3IN POLYMER GYPTEC	N	500	\$ 261.00
	300720	3 1/2IN POLYMER GYPTEC	N	500	\$ 293.00
	300721	4IN POLYMER GYPTEC	N	500	\$ 306.00
	300722	4 1/2IN POLYMER GYPTEC	N	500	\$ 326.00
	300723	5IN POLYMER GYPTEC	N	500	\$ 360.00
	300724	5 1/2IN POLYMER GYPTEC	N	500	\$ 377.00
	300725	6IN POLYMER GYPTEC	N	500	\$ 420.00
	300726	6 1/2IN POLYMER GYPTEC	N	500	\$ 442.00
	300727	7IN POLYMER GYPTEC	N	500	\$ 467.00
	300728	7 1/2IN POLYMER GYPTEC	N	500	\$ 496.00
	300729	8IN POLYMER GYPTEC	N	250	\$ 326.00
	300730	8 1/2IN POLYMER GYPTEC	N	250	\$ 340.00
Sure-Flex™ PVC Flashings, Cover Strips, Corners, Pockets					
	327840	.060 PVC Flashing - 12" X 50' - White/Gray	Y	1	\$ 242.00
	327841	.060 PVC Flashing - 24" X 50' - White/Gray	Y	1	\$ 485.00
	327852	Overlayment Strip - 6" X 100' White/Gray	Y	2	\$ 251.00
	325168	Rein Cover Strip - 8" X 75' White	Y	1	\$ 272.00
	332616	PVC PS Cover Strip 6" X 100' White (Requires Activator/Primer below)	Y	2	\$ 567.00
	332651	PVC Step 1 Activator Low-VOC	Y	2	\$ 59.00
	332652	PVC Step 2 Primer Low-VOC	Y	2	\$ 130.00
	308224	T-Joint Cover - White	Y	100	\$ 1.39
	329284	Inside Corners - White/Gray	Y	12	\$ 6.25
	329286	Outside Corners - White/Gray	Y	12	\$ 6.25
	316542	Molded Sealant Pocket - White	Y	5	\$ 40.00
	336712	Walkway Rolls 36" X 60' - Gray	Y	1	\$ 825.00
	316537	Molded Pipe Flashing 3/4" - 8" - White	Y	8	\$ 60.00
	307727	Split Pipe Boot 2" - White	N	8	\$ 45.00
	307730	Split Pipe Boot 3" - White	N	8	\$ 47.00
	307733	Split Pipe Boot 4" - White	N	8	\$ 49.00
	307736	Split Pipe Boot 5" - White	N	8	\$ 50.00
	307739	Split Pipe Boot 6" - White	N	8	\$ 51.00
Sure-Flex™ PVC Adhesives and Sealants					
	309126	Low VOC PVC Bonding Adhesive 5G	Y	1	\$ 350.00
	335178	PVC Cav-Grip - Standard 40#	Y	1	\$ 722.00
	336090	PVC Cav-Grip Un-Tack 16#	Y	1	\$ 321.00
	307754	PVC Clear Cut-Edge Sealant 12 - 16oz bottles	Y	12	\$ 24.00
	329729	PVC & KEE HP Membrane Cleaner 5G	Y	1	\$ 279.00



Bancroft Construction
2324 West Zion Road Suite 108
Salisbury, Maryland 21801
Phone: +14108448080

Project: CSED0001 - Public Safety Bldg. Addition
21911 Rudder Lane
Georgetown, Delaware 19947

DRAFT

Prime Contract Potential Change Order #032: CE #106.1 - Credit for Fence S

Table with 4 columns: Field Name, Value 1, Field Name, Value 2. Includes fields like TO, FROM, PCO NUMBER/REVISION, CONTRACT, REQUEST RECEIVED FROM, CREATED BY, STATUS, CREATED DATE, REFERENCE, PRIME CONTRACT CHANGE ORDER, FIELD CHANGE, LOCATION, ACCOUNTING METHOD, SCHEDULE IMPACT, PAID IN FULL, TOTAL AMOUNT.

POTENTIAL CHANGE ORDER TITLE: CE #106.1 - Credit for Fence S

CHANGE REASON: Owner Directive

POTENTIAL CHANGE ORDER DESCRIPTION: (The Contract Is Changed As Follows)
CE #106.1 - Credit for Fence Screen Not Provided
Credit for screening not provided CE 106, PCO #027

ATTACHMENTS:
Microsoft Outlook - Memo Style.pdf COM Quote.pdf

Table with 5 columns: #, Cost Code, Description, Type, Amount. Includes line item 1 for fences and gates, subtotal, profit, and grand total.

Morgan Helfrich (George, Miles & Buhr, LLC)
400 High Street
Seaford Delaware 19973

Sussex County Delaware
2 The Circle P.O. Box 589
Georgetown Delaware 19947

Bancroft Construction Company
1300 N. Grant Avenue Suite 101
Wilmington Delaware 19806

SIGNATURE DATE

SIGNATURE DATE

Handwritten signature: John H Sauter II
SIGNATURE DATE

Fearn, Cheryl

From: Jadick, Rob
Sent: Friday, April 21, 2023 10:34 AM
To: Thomas Van Dyke; Fearn, Cheryl; Shaffer, Dave; Sauter, John
Cc: Edward Leonhartt; Hans Medlarz
Subject: RE: Public Safety Bldg. Addition: Action Required for Submittal (#32 31 19-3.0: Decorative Fence Screening)

All,

As a follow up to my earlier conversation with Tom on this matter, Seagull fence will be out to the jobsite next Monday to remove the screening in its entirety and absorb the costs associated with it. Bancroft will revise the PCO we created with the screening (or create a new PCO for the deduct). After a few conversations with Seagull Fence we don't have confidence the product requested and approved can be installed, adjusted or modified to meet the intended and desired needs of the County. Seagull is more than willing to continue to work with the County on other solutions should the County want to engage them directly at some point going forward.

Thank you,
Rob

Rob Jadick
Regional Director



O. 410.844.8080 x 3001 M. 302.690.6934 E. rjadick@bancroftusa.com

WILMINGTON | PRINCETON | SALISBURY

www.bancroftconstruction.com | [facebook](#) | [twitter](#) | [linkedin](#)

From: Thomas Van Dyke <thomas.vandyke@sussexcountyde.gov>
Sent: Monday, April 17, 2023 3:22 PM
To: Fearn, Cheryl <cfearn@bancroftusa.com>; Shaffer, Dave <DShaffer@bancroftusa.com>; Sauter, John <JSauter@bancroftusa.com>
Cc: Edward Leonhartt <edward.leonhartt@sussexcountyde.gov>; Hans Medlarz <hans.medlarz@sussexcountyde.gov>; Jadick, Rob <Rob@bancroftusa.com>
Subject: RE: Public Safety Bldg. Addition: Action Required for Submittal (#32 31 19-3.0: Decorative Fence Screening)

Hi Bancroft team,
I thought it would be easier to respond in an email versus in procore, so I could attach some different emails.

From what I can tell, this "submittal" from Seagull only address the concerns we had with the zip ties. It does seem like they purchased outdoor, UV rated fasters which is good.
This document does not address the issue of the screening being the wrong size for our fence. We have 7' tall fence and the screens they installed are 8' tall.
Because of this none of the grommets line up where they should on the fence panel and in some cases they had to wrap the excess screening around the bottom of the fence which looks terrible.

Attached are some emails from Mike. In response to Ed asking if the screening for the decorative gates was different than the screening for the standard panel Mike replied, "I'm done. Bancroft is no longer interested in performing the work." He later changed his mind and we moved forward with the work. Unfortunately, the gate screen panels are the same exact panels as the standard fence, and because of the odd shape, Seagull had to wrap approximately 1' of screening around the bottom the fence as they installed them on an angle. This looks particularly horrendous.

In an earlier Seagull proposal (included in the "FW: Sussex PSB" email from Mike), they call out their screening being 7' tall to match the fence. Why Seagull then went and purchased the 8' fence is a mystery. The bottom line is that the fence screening as currently installed is not acceptable and the County will not be paying for it unless it is replaced with the 7' screening to match the fence panels.

Let me know if you have any questions.

Regards,

Thomas Van Dyke
Project Engineer I
Sussex County Government
2 The Circle – PO Box 589
Georgetown, DE 19947
Direct: 302-855-7733 | Mobile: 302-493-1532



From: Cheryl Fearn (Bancroft Construction Company) <Bancroft_Construction_Company@procoretech.com>
Sent: Friday, April 14, 2023 4:23 PM
To: Thomas Van Dyke <thomas.vandyke@sussexcountyde.gov>
Subject: Public Safety Bldg. Addition: Action Required for Submittal (#32 31 19-3.0: Decorative Fence Screening)

CAUTION: This email originated from outside of the organization. Do not click links, open attachments, or reply unless you recognize the sender and know the content is safe. Contact the IT Helpdesk if you need assistance.

Public Safety Bldg. Addition



More details: [View online](#)  [View PDF](#)

DO NOT REPLY TO THIS EMAIL

This is a notification sent from an unmonitored email address.
Please click on the "View Online" link in this Email to reply to this Submittal in Procore.

John Sauter requires action from you on this submittal.

Project:	Public Safety Bldg. Addition
Spec Section:	32 31 19 - Fence System
Submittal #:	32 31 19-3.0
Title:	Decorative Fence Screening
Cost Code:	02-860 - Screening Devices
Type:	Product Information
Responsible Contractor:	Seagull Fence & Concrete
Ball In Court:	Edward Leonhartt Hans Medlarz, P.E. Thomas Van Dyke
Submitter:	Fearn, Cheryl (Bancroft Construction Company)
Approvers:	Leonhartt, Edward (Sussex County Delaware) Medlarz, P.E., Hans (Sussex County Delaware) Van Dyke, Thomas (Sussex County Delaware) Sauter, John (Bancroft Construction Company)
Confirmed Delivery Date:	04/05/23
Actual Delivery Date:	04/05/23
Distribution:	Fearn, Cheryl (Bancroft Construction Company) Leonhartt, Edward (Sussex County Delaware) Medlarz, P.E., Hans (Sussex County Delaware) Shaffer, Dave (Bancroft Construction Company) Van Dyke, Thomas (Sussex County Delaware)
Due Date:	05/12/23
Description:	Fence screening information and communication between Seagull Fence, Sussex County, and Bancroft.
Design Team Review Time:	10 day(s)
Internal Review Time:	5 day(s)
General Information Attachments:	Fence Submittal Email Screen shots.pdf 600-series-commercial-open-mesh-fence-screen.pdf

Submitter: **Fearn, Cheryl (Bancroft Construction Company)**

Date: **Sent:**
Returned: 04/14/23

Response: **Submitted**

Attachments: **None**

Comments: **Please see fence submittal information on John's behalf**

Approver: **Leonhartt, Edward (Sussex County Delaware)**

Date: **Sent:**
Returned:

Response: **Pending**

Attachments: **None**

Comments: **None**

Approver: **Medlarz, P.E., Hans (Sussex County Delaware)**

Date: **Sent:**
Returned:

Response: **Pending**

Attachments: **None**

Comments: **None**

Approver: **Van Dyke, Thomas (Sussex County Delaware)**

Date: **Sent:**
Returned:

Response: **Pending**

Attachments: **None**

Comments: **None**

Approver: **Sauter, John (Bancroft Construction Company)**

Date: **Sent:**
Returned:

Response: **Pending**

Attachments: **None**

Comments: **None**

More details: [View online](#)  [View PDF](#)

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Tuesday February 21, 2023

Prepared by: Clayton H.



Owner: Bancroft Construction

Project Name: Sussex County Admin Building Chiller, Dumpster, and Screening

Address: Gerogetown, DE

Job Description: REVISED

Dumpster: Supply and install 32'LF of 7't Ameristar to match existing fence. Fence posts will be saw cut and set in concrete footings.

~~Cost: \$6,975.00~~

Dumpster Screen Cost: \$880.00

(26) Screens on to AC unit existing fence: Windowed Screen: \$5,720.00

(5) Replacement Screening Per Panel: \$220.00 (Prices may vary depending on order time and quantities.)

Seagull Fence provides 1 year workmanship warranty and Fence Screen offers a 5 year warranty on their 600 series screen.

NOTE: QUOTE IS VALID FOR 7 DAYS DUE TO PRICE INCREASE IN FENCE MATERIALS, TOOLS & SUPPLIES .

EXCLUDED UNLESS IS MENTIONED IN ABOVE JOB DESCRIPTION: Private Utilities, Irrigation lines, Permits, Engineering, PE Stamps, Surveys, Stakeout, Clearing, Grounding, Spoil remove, Restoring finish grade, All Seeding, Setting of Anchor Bolts, Concrete other than Fence Posts, Prevailing Wages, Core Drilling, Hydro Excavating, As built Drawings.

*** SCHEDULING WILL BEGIN AFTER SEAGULL FENCE & CONCRETE RECEIVES APPROVED AND SIGNED DOCUMENTS BY CUSTOMER (IF APPROVED & SIGNED, PLEASE INFORM A APPROXIMATE DATE OF INSTALLATION. SEAGULL FENCE WILL NEED 1-2 MONTHS TO GATHER ALL MATERIALS NEEDED) . ALL CREDIT CARD PAYMENTS ARE SUBJECT TO A 3.75% PROCESSING FEE. ANY BALANCE DUE PAST 30 DAYS ARE SUBJECT TO A 2% MONTHLY FINANCE CHARGE

Signature: _____ Date: _____



Bancroft Construction
2324 W Zion Rd, Suite 108
Salisbury, Maryland 21801
Phone: (410) 844-8080

Project: CSED0001 - Public Safety Bldg. Addition
21911 Rudder Lane
Georgetown, Delaware 19947

DRAFT

Prime Contract Potential Change Order #033: CEs 122 & 130

Table with contract details including TO, FROM, PCO NUMBER/REVISION, CONTRACT, REQUEST RECEIVED FROM, CREATED BY, STATUS, CREATED DATE, REFERENCE, PRIME CONTRACT CHANGE ORDER, FIELD CHANGE, LOCATION, ACCOUNTING METHOD, SCHEDULE IMPACT, PAID IN FULL, and TOTAL AMOUNT.

POTENTIAL CHANGE ORDER TITLE: CEs 122 & 130

CHANGE REASON: Owner Directive

POTENTIAL CHANGE ORDER DESCRIPTION: (The Contract Is Changed As Follows)

CE #122 - Additional Electrical Work at County's Request

- 1. Add C3 light fixtures to be installed in top of display case in Memorial Corridor, in lieu of the rope lighting. Quantity to be confirmed. Black finish preferred instead of white finish.
2. Add dimming functionality to light fixtures in all Simulation Rooms, Sim Lab and Control Room All rooms
3. Additional light fixture(s) above memorial section in lieu of the F3 fixture. Currently working on product selection. - We may have found a fixture to serve as a replacement to the F3 fixture for the Memorial Corridor. See link below and info below.
Accentra Wall Mount (https://penlighting.com/products/accentra-wall-mount/) which advertises a 359° light rotation and appears to have legs that can offer 6", 12", 18, or 24" off the wall. The ACC HO 35K 4 LOH ITL80856ECJ appears to be 41.5 watts at 120 volts.
4. Revise voltage for coffee pot to 208 per RFI #82

CE #130 - Replace Damaged Brick at Owner's Request
WE DO NOT HAVE ANY BRICK OR MORTAR LEFT.

THE MORTAR HAS TO BE ORDERED, & THE 13 BRICK MAY COME AS A "SAMPLE" FOR US AT NO COST.

SO, THE LABOR AND MATERIALS (NO BRICK COST) TO OBTAIN AND PICK UP MATERIALS, CUT OUT DAMAGED BRICK, INSTALL NEW BRICK IS \$1,420.

PLEASE ADVISE IF YOU WANT ME TO ORDER MATERIALS.

ATTACHMENTS:

CO 18 - Added Recessed Fixtures for Existing Display Case REV 1.pdf CO #6 Replace Brick from Panel.pdf IMG_0064.jpg CO 16 - Dimming Fixtures.pdf CO 15 - F3 Replacement.pdf CO 14 - Coffee Pot.pdf

Table with 5 columns: #, Cost Code, Description, Type, Amount. Contains two rows of cost items.



#	Cost Code	Description	Type	Amount
3	16-001 - Electrical	CO 15 Additional light fixture(s) above memorial section in lieu of the F3 fixture.	Subcontract	\$1,809.00
4	16-001 - Electrical	CO 14 Revise voltage for coffee pot to 208 per RFI #82	Subcontract	\$2,280.00
5	1-515 - Project Manager	10 days/80 hours of supervision	Regular Labor	\$7,688.00
6	03-330 - Architectural Concrete	Replace damaged brick	Subcontract	\$1,420.00
			Subtotal:	\$27,206.00
			BCC GCs (5.00% Applies to all line item types.):	\$1,360.30
			Bond (1.00% Applies to all line item types.):	\$285.66
			Profit (5.00% Applies to all line item types.):	\$1,442.60
			Grand Total:	\$30,294.56

Morgan Helfrich (George, Miles & Buhr, LLC)
 400 High Street
 Seaford Delaware 19973

Sussex County Delaware
 2 The Circle P.O. Box 589
 Georgetown Delaware 19947

Bancroft Construction Company
 1300 N. Grant Avenue Suite 101
 Wilmington Delaware 19806

 SIGNATURE DATE

 SIGNATURE DATE

John H Sauter II 05/30/2023

 SIGNATURE DATE



Bancroft Construction
 2324 W Zion Rd, Suite 108
 Salisbury, Maryland 21801
 P: (410) 844-8080

Project: CSED0001 - Public Safety Bldg. Addition
 21911 Rudder Lane
 Georgetown, Delaware 19947

CHANGE EVENT #122 - Additional Electrical Work at County's Request

Origin:

Date Created: 4/6/2023 **Created By:** Cheryl Fearn
Status: Pending **Scope:** Out of Scope
Type: Contract Change **Change Reason:** Owner Directive

Description:

1. Add C3 light fixtures to be installed in top of display case in Memorial Corridor, in lieu of the rope lighting. Quantity to be confirmed. Black finish preferred instead of white finish.
2. Add dimming functionality to light fixtures in all Simulation Rooms, Sim Lab and Control Room All rooms
3. Additional light fixture(s) above memorial section in lieu of the F3 fixture. Currently working on product selection. - We may have found a fixture to serve as a replacement to the F3 fixture for the Memorial Corridor. See link below and info below.
 Accentra Wall Mount (<https://pennlighting.com/products/accentra-wall-mount/>) which advertises a 359° light rotation and appears to have legs that can offer 6", 12", 18, or 24" off the wall. The ACC HO 35K 4 LOH ITL80856ECJ appears to be 41.5 watts at 120 volts.
4. Revise voltage for coffee pot to 208 per RFI #82

Attachments: [CO 18 - Added Recessed Fixtures for Exisitng Display Case REV 1.pdf](#), [CO 16 - Dimming Fixtures.pdf](#), [CO 15 - F3 Replacement.pdf](#), [CO 14 - Coffee Pot.pdf](#)

CHANGE EVENT LINE ITEMS

Budget Code	Vendor / Contract	Revenue			Cost				Over/ Under	Budget Mod.
		ROM	Prime PCO	Latest Price	ROM	RFQ	Commit.	Latest Cost		
16-001.06	Continental Electrical	\$5,733.00		\$5,733.00	\$5,733.00			\$5,733.00	\$0.00	
Electrical.Subcontract	Service CSED0001-016									

Budget Code	Vendor / Contract	Revenue			Cost				Over/ Under	Budget Mod.
		ROM	Prime PCO	Latest Price	ROM	RFQ	Commit.	Latest Cost		
Description: CO 18 3 light fixtures to be installed in top of display case in Memorial Corridor										
16-001.06	Continental Electrical	\$8,276.00		\$8,276.00	\$8,276.00			\$8,276.00	\$0.00	
Electrical.Subcontract	Service CSED0001-016									
Description: CO 16 dimming functionality to light fixtures in all Simulation Rooms, Sim Lab and Control Room All rooms										
16-001.06	Continental Electrical	\$1,809.00		\$1,809.00	\$1,809.00			\$1,809.00	\$0.00	
Electrical.Subcontract	Service CSED0001-016									
Description: CO 15 Additional light fixture(s) above memorial section in lieu of the F3 fixture.										
16-001.06	Continental Electrical	\$2,280.00		\$2,280.00	\$2,280.00			\$2,280.00	\$0.00	
Electrical.Subcontract	Service CSED0001-016									
Description: CO 14 Revise voltage for coffee pot to 208 per RFI #82										
1-515.02	Bancroft Construction	\$7,688.00		\$7,688.00	\$7,688.00			\$7,688.00	\$0.00	
Project	Company									
Manager.Regular Labor										
Description: 10 days/80 hours of supervision										
1-511.02		\$1,289.30	\$0.00	\$1,289.30				\$0.00	\$1,289.30	
Sr. Project										
Manager.Regular Labor										
90-999.10		\$1,638.06	\$0.00	\$1,638.06				\$0.00	\$1,638.06	

		Revenue			Cost					
Budget Code	Vendor / Contract	ROM	Prime PCO	Latest Price	ROM	RFQ	Commit.	Latest Cost	Over/ Under	Budget Mod.
Fee.Fee & Field Cost										
Grand Totals		\$28,713.36	\$0.00	\$28,713.36	\$25,786.00	\$0.00	\$0.00	\$25,786.00	\$2,927.36	\$0.00

CONTINENTAL Electrical Services LLC.

CHANGE ORDER REQUEST

Submitted To: Bancroft Construction

Original Contract: _____

Job Name: Sussex County Public Safety Bldg

Date: 5/30/2023

Job #: 21-257

Change Order #: 18

This Change Order Request (C.O.R.) contains an itemized quotation for changes in the Contract Sum or Contract Time in response to proposed modifications to the Original Contract: _____.

Description of Proposed Changes:

- Furnish and install (16) recessed cans for the existng case work.

All cutting and modifications of the case work to be by others.

Attached supporting information from: Subcontractor Supplier

<u>Labor:</u>				<u>Total</u>
<u>Class</u>	<u>Rate</u>	<u>Hours</u>		
Foreman	\$ -			\$ -
Journeyman	\$ 95.00	41		\$ 3,895.00
Apprentice	\$ -			\$ -
PM/Office	\$ 175.00	1		\$ 175.00
Labor Total =				\$ 4,070.00
<u>Material:</u>				
Misc. Material				\$ 494.50
Quoted Material		YALE		\$ 716.00
Quoted Material				\$ -
Quoted Material				\$ -
Quoted Material				\$ -
Material Total =				\$ 1,210.50
Safety				\$ 101.75
Shipping / Receiving				\$ 16.95
Consumables				\$ 18.16
Warranty				\$ 81.40
Gross / Receipts Tax				\$ 52.81
Bond				\$ -
Misc. Total =				\$ 271.06
Sub Total =				\$ 5,551.56
				\$ -
Overhead & Profit				\$ 181.58
Grand Total =				\$ 5,733

We propose hereby to furnish material and labor in accordance with above specifications for the sum of:

Five Thousand Seven Hundred Thirty Three Dollars and 00/100..... **\$ 5,733**

Above additional work to be performed under same conditions as specified in original contract unless otherwise stipulated. The Revision becomes part of and in conformance with, the existing contract and can be voided.

Authorized Signature: John McKee

Signature: _____

Date: _____

PRICING SHEET

PROJECT: Sussex County Public Safety

WORK ITEM: CO 18

SHT 2
 OF _____
 DATE _____
 EXT BY _____
 EST BY _____
 CHK BY _____

DESCRIPTION	QTY	MATERIAL		LABOR HOURS		LIFT
		UNIT	TOTAL	LABOR	TOTAL	
			-		-	
Recessed Fixtures	16	2.000	32.00	2.000	32.00	
			-		-	
12/2 MC Cable	250	1.250	312.50	0.020	5.00	
			-		-	
Suppports	1	150.000	150.00	4.000	4.00	
			-		-	
			-		-	
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			-		-	
			-		-	
Scizzor lift	-		-		-	0
TOTAL MATERIAL			494.50	TOTAL HOURS		41.00

Change Order - Quotation

TO:
YAL CONTINENTAL ELECTRIC SERVICE
Attn:Suellen Lewandowski
3 MILL PARK CT
NEWARK, DE 19713-1986

Project: Sussex County Public Safety Bldg
Date: 05/23/23
PO #: 257-03
Change #: 34
Freight in Exempt : Yes

Material Change: **716.00**

Change Type	Quantity Description	Unit or Lot#	Unit Price	Ext Price	Change Amt
-------------	----------------------	--------------	------------	-----------	------------

✓	16 RL375-500L-DIMTR-120-27K/30K/35K/40 K/50K-90-WH		29.000/EA	464.00	464.00					
	<table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 33%;"><u>Prev Qty</u></th> <th style="width: 33%;"><u>Change Qty</u></th> <th style="width: 33%;"><u>New Qty</u></th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">0</td> <td style="text-align: center;">16</td> <td style="text-align: center;">16</td> </tr> </tbody> </table>	<u>Prev Qty</u>	<u>Change Qty</u>	<u>New Qty</u>	0	16	16			
<u>Prev Qty</u>	<u>Change Qty</u>	<u>New Qty</u>								
0	16	16								

✓	16 RL375-RT-BK		15.750/EA	252.00	252.00					
	<table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 33%;"><u>Prev Qty</u></th> <th style="width: 33%;"><u>Change Qty</u></th> <th style="width: 33%;"><u>New Qty</u></th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">0</td> <td style="text-align: center;">16</td> <td style="text-align: center;">16</td> </tr> </tbody> </table>	<u>Prev Qty</u>	<u>Change Qty</u>	<u>New Qty</u>	0	16	16			
<u>Prev Qty</u>	<u>Change Qty</u>	<u>New Qty</u>								
0	16	16								

✓

✓

From:
YALE WEST CHESTER C371
MAIN OFFICE 610-719-9253
200 GARFIELD AVENUE
WEST CHESTER, PA 19380-4512
Printed By: LYNN COLACHINO
Lynn Colachino
P: 484 983-3500
F: (610) 719-0650

Authorizing Name: LYNN COLACHINO File Number:308978
Display Case

These items are not ordered! To complete this order, sign below and provide a PO # for the order.

Signature: _____

CONTINENTAL Electrical Services LLC.

CHANGE ORDER REQUEST

Submitted To: Bancroft Construction
 Job Name: Sussex County Public Safety Bldg
 Job #: 21-257

Original Contract: _____
 Date: 5/5/2023
 Change Order #: 16

This Change Order Request (C.O.R.) contains an itemized quotation for changes in the Contract Sum or Contract Time in response to proposed modifications to the Original Contract: _____.

Description of Proposed Changes:

- Add Dimming to fixtures already installed

Attached supporting information from: Subcontractor Supplier

<u>Labor:</u>				<u>Total</u>
<u>Class</u>	<u>Rate</u>	<u>Hours</u>		
Foreman	\$ -			\$ -
Journeyman	\$ 95.00	57		\$ 5,410.25
Apprentice	\$ -			\$ -
PM/Office	\$ 175.00	1		\$ 175.00
Labor Total =				\$ 5,585.25
<u>Material:</u>				
Misc. Material				\$ 2,005.00
Quoted Material				\$ -
Quoted Material				\$ -
Quoted Material				\$ -
Quoted Material				\$ -
Material Total =				\$ 2,005.00
Safety				\$ 139.63
Shipping / Receiving				\$ 28.07
Consumables				\$ 30.08
Warranty				\$ 111.71
Gross / Receipts Tax				\$ 75.90
Bond				\$ -
Misc. Total =				\$ 385.38
Sub Total =				\$ 7,975.63
Overhead & Profit				\$ -
				\$ 300.75
Grand Total =				\$ 8,276

We propose hereby to furnish material and labor in accordance with above specifications for the sum of:

Eight Thousand Two Hundred Seventy Six Dollars and 00/100..... **\$ 8,276**

Above additional work to be performed under same conditions as specified in original contract unless otherwise stipulated. The Revision becomes part of and in conformance with, the existing contract and can be voided.

Authorized Signature: John McKee Signature: _____
 Date: _____

PRICING SHEET

PROJECT: Sussex County Public Safety

WORK ITEM: CO 16

SHT 2
 OF _____
 DATE _____
 EXT BY _____
 EST BY _____
 CHK BY _____

DESCRIPTION	QTY	MATERIAL		LABOR HOURS		LIFT
		UNIT	TOTAL	LABOR	TOTAL	
18/2 Cable	1000	0.600	600.00		-	
			-		-	
18/2 Install	600		-	0.027	16.20	
			-		-	
Terminate in Fixtures	31	5.000	155.00	1.000	31.00	
			-		-	
New Switches	7	175.000	1,225.00	1.000	7.00	
			-		-	
Remove Old Switches	7		-	0.250	1.75	
			-		-	
Wire Nuts / Ty Wraps	1	25.000	25.00	1.000	1.00	
			-		-	
			-		-	
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			-		-	
Scizzor lift	-		-		-	0
		TOTAL MATERIAL		2,005.00	TOTAL HOURS	56.95

CONTINENTAL Electrical Services LLC.

CHANGE ORDER REQUEST

Submitted To: Bancroft Construction
 Job Name: Sussex County Public Safety Bldg
 Job #: 21-257

Original Contract: _____
 Date: 5/5/2023
 Change Order #: 15

This Change Order Request (C.O.R.) contains an itemized quotation for changes in the Contract Sum or Contract Time in response to proposed modifications to the Original Contract: _____.

Description of Proposed Changes:

- Replacement F3 Fixture

Attached supporting information from: Subcontractor Supplier

<u>Labor:</u>				<u>Total</u>
<u>Class</u>	<u>Rate</u>	<u>Hours</u>		
Foreman	\$ -			\$ -
Journeyman	\$ 95.00	1		\$ 95.00
Apprentice	\$ -			\$ -
PM/Office	\$ 175.00	1		\$ 175.00
Labor Total =				\$ 270.00
<u>Material:</u>				
Misc. Material				\$ -
Quoted Material		Yale		\$ 1,281.50
Quoted Material				\$ -
Quoted Material				\$ -
Quoted Material				\$ -
Material Total =				\$ 1,281.50
Safety				\$ 6.75
Shipping / Receiving				\$ 17.94
Consumables				\$ 19.22
Warranty				\$ 5.40
Gross / Receipts Tax				\$ 15.52
Bond				\$ -
Misc. Total =				\$ 64.83
Sub Total =				\$ 1,616.33
				\$ -
Overhead & Profit				\$ 192.23
Grand Total =				\$ 1,809

We propose hereby to furnish material and labor in accordance with above specifications for the sum of:

One Thousand Eight Hundred Nine Dollars and 00/100..... **\$ 1,809**

Above additional work to be performed under same conditions as specified in original contract unless otherwise stipulated. The Revision becomes part of and in conformance with, the existing contract and can be voided.

Authorized Signature: John McKee Signature: _____
 Date: _____

Change Order - Quotation

TO:
YAL CONTINENTAL ELECTRIC SERVICE
Attn:Suellen Lewandowski
3 MILL PARK CT
NEWARK, DE 19713-1986

Project: Sussex County Public Safety Bldg
Date: 05/02/23
PO #: 257-03
Change #: 32
Freight in Exempt : Yes

Material Change: **1,281.50**

Change Type	Quantity Description	Unit or Lot#	Unit Price	Ext Price	Change Amt
-------------	----------------------	--------------	------------	-----------	------------

MARK TYPES ON CARTONS

CALL SUELLEN 48 HOURS BEFORE DELIVERY @ 1-302-294-6311

SHIP UPS/FEDEX GROUND TO:
CONTINENTAL ELECTRIC
PO# 257-03
3 MILL PARK CT
NEWARK, DE 19713

NOTE: FUTURE RELEASE MAY SHIP INTO YALE-LANCASTER
SITE CONTACT Ron 302 887-6591

From:
YALE WEST CHESTER C371
MAIN OFFICE 610-719-9253
200 GARFIELD AVENUE
WEST CHESTER, PA 19380-4512
Printed By: LYNN COLACHINO
Lynn Colachino
P: 484 983-3500
F: (610) 719-0650

Authorizing Name: LYNN COLACHINO File Number:308978
QUOTE SUSSEX

These items are not ordered! To complete this order, sign below and provide a PO # for the order.

Signature: _____

Project: Sussex County Public Safety Bldg

Change Order - Quotation

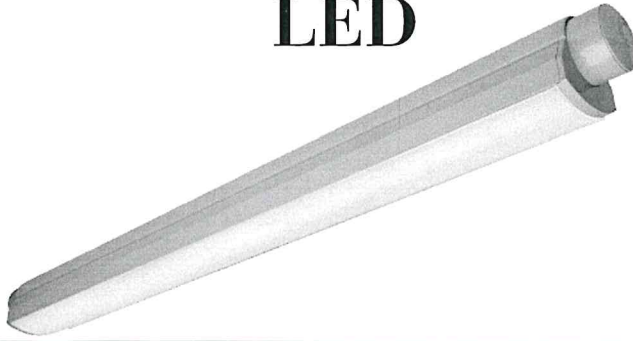
Change Type	Quantity	Description	Unit or Lot#	Unit Price	Ext Price	Change Amt
✓	1	ACC-HO-K40-TW-80-4-W-LOH-F01M-UN V-DIM1 Dual Tech Occupancy Sensor 24 VDC center mount 360		1,281.500/EA	1,281.50	1,281.50
	<u>Prev Qty</u>	<u>Change Qty</u>	<u>New Qty</u>			
	0	1	1			
	** New Item **					

Total	1281.50
--------------	----------------

From:
 YALE WEST CHESTER C371
 MAIN OFFICE 610-719-9253
 200 GARFIELD AVENUE
 WEST CHESTER, PA 19380-4512
 Printed By: LYNN COLACHINO
 Lynn Colachino
 P: 484 983-3500
 F: (610) 719-0650

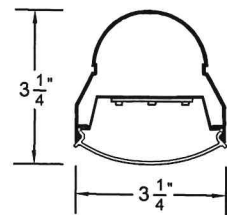
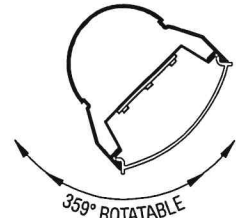
Authorizing Name: LYNN COLACHINO
 File Number: 308978
 QUOTE SUSSEX
 These items are not ordered! To complete this order, sign below and provide a PO # for the order.
 Signature: _____

Accentra™ Series - LED



ACC - LED

3 1/4" x 3 1/4" Direct Rotatable (359°)



S P E C I F I C A T I O N S

Housing

One-piece, .063" thick extruded aluminum with locking provisions on both ends. Die-cast aluminum support modules and end plates are secured with no visible fasteners. Standard lengths are 2', 3', 4', 6' and 8'. Provisions may be made for patterns and continuous rows.

Finish

Standard and premium finishes are baked powder coat electrostatically applied (2.0 mil minimum thickness) to assure aesthetics and durability. Standard finish for stems and canopies is white.

Optical Control

(LOH) LED optimized high transmittance extruded snap-in acrylic lens.

Reflector

.040" thick die-formed aluminum finished with a high reflectance white enamel.

Circuitry

All fixtures are factory pre-wired for a single circuit. Provision for multiple switching/circuiting is optional.

Controls

Contact factory for control by Occupancy Sensors, Photo Controls and Daylight Harvesting.

Driver (Standard)

Osram-Sylvania "Optotronic" power supply is UL/CUL recognized, 0-10V dimming available, 120-277 universal voltage.

Light Engine (Standard)

Osram-Sylvania LED modules available for 3000K, 3500K and 4000K CCT:

HO - High Output

*3326 Total Delivered Lms. at 42 System Watts (Values per 4' using 3500K LED modules)

MO - Medium Output

*2106 Total Delivered Lms. at 24 System Watts (Values per 4' using 3500K LED modules)

Driver (Tunable White)

EldoLED power supply is UL recognized, DALI, 0-10V or DMX available, 120-277 universal voltage.

Light Engine (Tunable White)

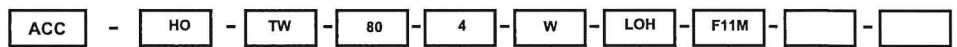
Tunable White LED light source available for 2700K thru 6500K CCT, and 80 or 90 CRI. Contact factory for available outputs.

*Due to continued advancement in LED technology, lumen performance is subject to change. Please visit our website for the most up-to-date information.

Certification

All fixtures are ETL listed conforming to UL/CUL standards and are suitable for use in dry or damp locations.

Sample Catalog Number: ACC - HO - K40 - 80 - 4 - CN - LOH - F01M - 120 - DIM1



PAL Accentra (ACC)

Lumen Output / 4': HO - High Output = 3326 Total Lms. - 80 Lm/W (Using 3500K)

MO - Medium Output = 2106 Total Lms. - 88 Lm/W

CO - Custom Output (Contact factory for available output range)

CCT: K30-3000K, K35-3500K, K40-4000K, TW-Tunable White (2700K-6500K)

CRI: 80 (Standard), 90 (Optional)

Fixture Lengths: 2', 3', 4', 6', and 8'

Mounting: CN = Cable (Non T-Bar) Fully Adj. (36" Std.) CT = Cable (15/16" T-Bar) Fully Adj. (36" Std.)

P = Rigid Stem (Up to 48" Std.) K = Swivel Stem (Up to 48" Std.) JT = Ceiling Mount - Tbar Ceiling

JN = Ceiling Mount - Non-Tbar Ceiling W = Wall Mount (6", 12", 18" or 24" Arm)

Direct Optical Control: LOH = LED Optimized Acrylic Snap-in Lens

Standard Finish: F01M Matte White

Premium Finishes: F01G Gloss White

F08 Gray Seal

F14 Red Skies

F02 Ivory

F09 Mocha

F15 Lemon

F03 Stonewash

F10 Bronzed

F16 Forest Hunter

F04 Camel

F11G Gloss Black

F20 Blue Print

F05 Gray Day

F11M Matte Black

F21 Reflex Blue

F06 Pebble Beach

F12 Ultrasonic Clear

F22 Navy

F07 Steel

F13 Merlot

FCC Custom Color

Voltage: 120V, 277V, 347V or UNV (Universal Voltage)

Options: NLCKT = Night-Light Circuit (Common Neutral) EMCKT = Emergency Circuit (Separate Hot & Neutral) EBPLST = Self-Testing Battery Pack (6 Watt) (*N/A for 2' or 3')

EBPHST = Self-Testing Battery Pack (10 Watt) (*N/A for 2' or 3') DALI = DALI Protocol Driver (Tunable White) DMX = DMX Protocol Driver (Tunable White)

0-10V/TW = 0-10V Driver (Tunable White) DIM1 = Dimming - to 1% (Std.) DIM0 = Dimming - to 0% (Dark) FS = Fused Drivers DL = Damp Location



Precision Architectural Lighting 4830 Timber Creek Drive Houston, Texas 77017



Made in America

Suspended/Ceiling/Wall Mount

ACC-HO-K35-LOH



High Output

LED Optimized High Transmittance Lens

Catalog Number: ACC-HO-K35-80-4'-X-LOH-120

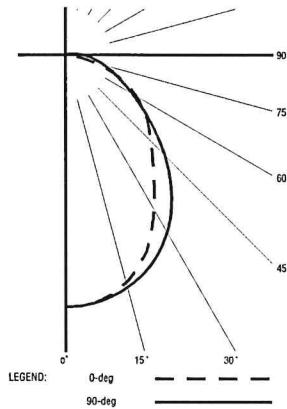
Report Number: IFL#80856.ies

Luminaire Description: Extruded Aluminum Housing with White Aluminum Reflector and LED Optimized Acrylic Lens with Insert

LED Module: Multiple White Low-Power Light Emitting Diodes (LEDs) in a precise lay-out.

Total Luminaire Efficacy = 80.1 Lm/W

Color Rendering Index (CRI) = 83



ZONAL LUMEN SUMMARY

Zone	Lumens	%Fixture
0- 30	1016	30.5
0- 40	1602	48.2
0- 60	2620	78.8
0- 90	3284	98.8
90- 180	42	1.2
0- 180	3326	100.0

CANDELA DISTRIBUTION

	0.0	22.5	45.0	67.5	90.0
0	1360	1360	1360	1360	1360
5	1356	1350	1354	1358	1354
15	1272	1265	1289	1301	1300
25	1086	1103	1154	1184	1188
35	842	872	955	998	1006
45	657	671	723	758	764
55	520	517	518	520	521
65	361	356	352	345	343
75	168	184	213	223	225
85	21	54	98	123	131
90	0	19	56	83	92

PRECISION ARCHITECTURAL LIGHTING

LED lighting facts
A Program of the U.S. DOE

Light Output (Lumens) **3326**

Watts **41.5**

Lumens per Watt (Efficacy) **80**

Color Accuracy **83**

Color Rendering Index (CRI)

Light Color **3465 (Bright White)**

Correlated Color Temperature (CCT)

2700K 3000K 4500K 6500K

Warranty** **Yes**

All results, except LED Lumen Maintenance, are according to IESNA LM-79-2008. Approved Method for the Electrical and Photometric Testing of Solid-State Lighting. The U.S. Department of Energy (DOE) verifies product test data and results.

** See www.lightingfacts.com/products for details.

Registration Number: 1NRP-EVKWRA (4/21/2014)
Model Number: ACC-HO-35K-4-LOH-UV
Type: Luminaire - Linear

ACC-MO-K35-LOH



Medium Output

LED Optimized High Transmittance Lens

Catalog Number: ACC-MO-K35-80-4'-X-LOH-120

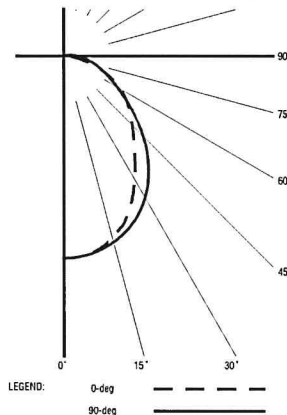
Report Number: IFL#80857.ies

Luminaire Description: Extruded Aluminum Housing with White Aluminum Reflector and LED Optimized Acrylic Lens with Insert

LED Module: Multiple White Low-Power Light Emitting Diodes (LEDs) in a precise lay-out.

Total Luminaire Efficacy = 88.1 Lm/W

Color Rendering Index (CRI) = 83



ZONAL LUMEN SUMMARY

Zone	Lumens	%Fixture
0- 30	644	30.6
0- 40	1014	48.1
0- 60	1659	78.8
0- 90	2080	98.8
90- 180	26	1.2
0- 180	2106	100.0

CANDELA DISTRIBUTION

	0.0	22.5	45.0	67.5	90.0
0	863	863	863	863	863
5	859	851	858	860	859
15	806	802	817	824	824
25	689	696	733	749	752
35	534	551	603	632	636
45	417	424	458	481	482
55	330	327	329	330	329
65	229	226	222	220	217
75	108	117	134	142	142
85	14	34	62	79	82
90	0	12	35	52	57

PRECISION ARCHITECTURAL LIGHTING

LED lighting facts
A Program of the U.S. DOE

Light Output (Lumens) **2106**

Watts **23.9**

Lumens per Watt (Efficacy) **88**

Color Accuracy **83**

Color Rendering Index (CRI)

Light Color **3455 (Bright White)**

Correlated Color Temperature (CCT)

2700K 3000K 4500K 6500K

Warranty** **Yes**

All results, except LED Lumen Maintenance, are according to IESNA LM-79-2008. Approved Method for the Electrical and Photometric Testing of Solid-State Lighting. The U.S. Department of Energy (DOE) verifies product test data and results.

** See www.lightingfacts.com/products for details.

Registration Number: 1NRP-MXWGGY (4/21/2014)
Model Number: ACC-MO-35K-4-LOH-120
Type: Luminaire - Linear

For more information, visit our website at www.pal-lighting.com



Precision Architectural Lighting 4830 Timber Creek Drive Houston, Texas 77017



Made in America

CONTINENTAL Electrical Services LLC.

CHANGE ORDER REQUEST

Submitted To: Bancroft Construction

Original Contract: _____

Job Name: Sussex County Public Safety Bldg

Date: 5/5/2023

Job #: 21-257

Change Order #: 14

This Change Order Request (C.O.R.) contains an itemized quotation for changes in the Contract Sum or Contract Time in response to proposed modifications to the Original Contract: _____.

Description of Proposed Changes:

- Coffee Pot Changes

Attached supporting information from: Subcontractor Supplier

Labor:				Total
Class	Rate	Hours		Total
Foreman	\$ -			\$ -
Journeyman	\$ 95.00	9		\$ 883.50
Apprentice	\$ -			\$ -
PM/Office	\$ 175.00	1		\$ 175.00
			Labor Total =	\$ 1,058.50
Material:				
Misc. Material				\$ 978.50
Quoted Material				\$ -
Quoted Material				\$ -
Quoted Material				\$ -
Quoted Material				\$ -
			Material Total =	\$ 978.50
Safety				\$ 26.46
Shipping / Receiving				\$ 13.70
Consumables				\$ 14.68
Warranty				\$ 21.17
Gross / Receipts Tax				\$ 20.37
Bond				\$ -
			Misc. Total =	\$ 96.38
			Sub Total =	\$ 2,133.38
				\$ -
Overhead & Profit				\$ 146.78
			Grand Total =	\$ 2,280

We propose hereby to furnish material and labor in accordance with above specifications for the sum of:

Two Thousand Two Hundred Eighty Dollars and 00/100..... \$ 2,280

Above additional work to be performed under same conditions as specified in original contract unless otherwise stipulated. The Revision becomes part of and in conformance with, the existing contract and can be voided.

Authorized Signature: John McKee

Signature: _____

Date: _____

PRICING SHEET

PROJECT: Sussex County Public Safety

WORK ITEM: CO 14

SHT 2

OF _____

DATE _____

EXT BY _____

EST BY _____

CHK BY _____

DESCRIPTION	QTY	MATERIAL		LABOR HOURS		LIFT
		UNIT	TOTAL	LABOR	TOTAL	
			-		-	
10/3 MC Cable	250	2.750	687.50		-	
			-		-	
Install Cable	1	10.000	10.00	6.000	6.00	
			-		-	
Breaker	1	250.000	250.00	1.000	1.00	
			-		-	
Old Work Box	2	5.750	11.50	0.400	0.80	
			-		-	
Hold Its	2	2.250	4.50	0.250	0.50	
			-		-	
Connector/wire nuts	1	15.000	15.00	1.000	1.00	
			-		-	
			-		-	
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			-		-	
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			-		-	
Scizzor lift	-		-		-	0
TOTAL MATERIAL			978.50	TOTAL HOURS		9.30



Bancroft Construction
 2324 W Zion Rd, Suite 108
 Salisbury, Maryland 21801
 P: (410) 844-8080

Project: CSED0001 - Public Safety Bldg. Addition
 21911 Rudder Lane
 Georgetown, Delaware 19947

CHANGE EVENT #130 - Replace Damaged Brick at Owner's Request

Origin:

Date Created: 5/22/2023 **Created By:** Cheryl Fearn
Status: Pending **Scope:** Out of Scope
Type: Contract Change **Change Reason:** Owner Directive
Description: WE DO NOT HAVE ANY BRICK OR MORTAR LEFT.

THE MORTAR HAS TO BE ORDERED, & THE 13 BRICK MAY COME AS A "SAMPLE" FOR US AT NO COST.

SO, THE LABOR AND MATERIALS (NO BRICK COST) TO OBTAIN AND PICK UP MATERIALS, CUT OUT DAMAGED BRICK, INSTALL NEW BRICK IS \$1,420.

PLEASE ADVISE IF YOU WANT ME TO ORDER MATERIALS.

Attachments: [CO #6 Replace Brick from Panel.pdf](#), [IMG_0064.jpg](#)

CHANGE EVENT LINE ITEMS

Budget Code	Vendor / Contract	Revenue			Cost			Over/ Under	Budget Mod.
		ROM	Prime PCO	Latest Price	ROM	RFQ	Commit.		
03-330.06	D.W. Masonry, Inc.	\$1,420.00		\$1,420.00	\$1,420.00		\$1,420.00	\$1,420.00	\$0.00
Architectural	CSED0001-015								
Concrete.Subcontract									

Description:
 Replace damaged brick

Budget Code	Vendor / Contract	Revenue			Cost				Over/ Under	Budget Mod.
		ROM	Prime PCO	Latest Price	ROM	RFQ	Commit.	Latest Cost		
1-511.02	Sr. Project Manager.Regular Labor	\$71.00	\$0.00	\$71.00				\$0.00	\$71.00	
90-999.10	Fee.Fee & Field Cost	\$90.21	\$0.00	\$90.21				\$0.00	\$90.21	
Grand Totals		\$1,581.21	\$0.00	\$1,581.21	\$1,420.00	\$0.00	\$1,420.00	\$1,420.00	\$161.21	\$0.00



D.W. MASONRY, INC.

THE MASONRY EXPERTS

Sussex Public Safety

CO #6 Replace Brick from Panel

Qty	Item	Cost / Hour	Total
	8 hours Mason	\$78.00	\$624.00
	8 hours Labor	\$68.00	\$544.00
	0 4" Block	\$1.10	\$0.00
	13 Brick	\$2.50	\$32.50
	1 Bags of Mortar	\$35.00	\$35.00
	0.50 ton of sand	\$85.00	\$42.50
	1.00 Griders for Day	\$125.50	\$125.50
		O/H & Profit	\$16.50
		Total	\$1,420.00



Bancroft Construction
 2324 W Zion Rd, Suite 108
 Salisbury, Maryland 21801
 P: (410) 844-8080

Project: CSED0001 - Public Safety Bldg. Addition
 21911 Rudder Lane
 Georgetown, Delaware 19947

CHANGE EVENT #127 - Lightning Protection

Origin:

Date Created: 5/8/2023 **Created By:** Cheryl Fearn
Status: Open **Scope:** Out of Scope
Type: Owner Change **Change Reason:** Other
Description: Provide Lightning Protection per Continental CO #17
Attachments: [CO 17 - Lightning Protection Report.pdf](#), [Summary of Findings Sussex County.pdf](#)

CHANGE EVENT LINE ITEMS

Budget Code	Vendor / Contract	Revenue			Cost			Over/ Under	Budget Mod.
		ROM	Prime PCO	Latest Price	ROM	RFQ	Commit.		
16-001.06 Electrical.Subcontract	Continental Electrical Service CSED0001-016	\$7,913.00		\$7,913.00	\$7,913.00			\$7,913.00	\$0.00
Description: Lightning Protection									
1-511.02 Sr. Project Manager.Regular Labor		\$395.65	\$0.00	\$395.65				\$0.00	\$395.65
90-999.10 Fee.Fee & Field Cost		\$502.67	\$0.00	\$502.67				\$0.00	\$502.67
Grand Totals		\$8,811.32	\$0.00	\$8,811.32	\$7,913.00	\$0.00	\$0.00	\$7,913.00	\$898.32 \$0.00



B&B Lightning Protection, LLC
47 Virginia Avenue
Trenton, NJ 08611

Date: April 25, 2023

Summary of Findings Report – Sussex County Public Safety

NOTICE: LIGHTNING PROTECTION SYSTEM SEVERLY COMPROMISED: NON-FUNCTIONING

(Corresponding Photos Attached)

1. Lower roof does not have a lightning protection system
 - a. Corrective Action: install new system on lower roof
2. Conductor lose from cable holders and missing cable holders
 - a. Corrective Action: install new cable holders and connect conductor
3. Camera does not have an air terminal
 - a. Corrective Action: install air terminal and conductor on camera
4. Missing air terminal
 - a. Corrective Action: install new air terminal
5. Missing air terminal on edge
 - a. Corrective Action: install new air terminal

Jacy Clayton

Project Manager

B & B Lightning Protection LLC

B & B
Lightning Protection

CONTINENTAL Electrical Services LLC.

CHANGE ORDER REQUEST

Submitted To: Bancroft Construction
 Job Name: Sussex County Public Safety Bldg
 Job #: 21-257

Original Contract: _____
 Date: 5/9/2023
 Change Order #: 17

This Change Order Request (C.O.R.) contains an itemized quotation for changes in the Contract Sum or Contract Time in response to proposed modifications to the Original Contract: _____.

Description of Proposed Changes:

- Lightning Protection Findings Report

Repair and existng system will need to take place prior UL Master Label approval.

Attached supporting information from: Subcontractor Supplier

Labor:				Total
Class	Rate	Hours		Total
Foreman	\$ -			\$ -
Journeyman	\$ 95.00	0		\$ -
Apprentice	\$ -			\$ -
PM/Office	\$ 175.00	1		\$ 175.00
Labor Total =				\$ 175.00
Material:				
Misc. Material				\$ -
Quoted Material		B n B		\$ 6,500.00
Quoted Material				\$ -
Quoted Material				\$ -
Quoted Material				\$ -
Material Total =				\$ 6,500.00
Safety				\$ 4.38
Shipping / Receiving				\$ 91.00
Consumables				\$ 97.50
Warranty				\$ 3.50
Gross / Receipts Tax				\$ 66.75
Bond				\$ -
Misc. Total =				\$ 263.13
Sub Total =				\$ 6,938.13
				\$ -
Overhead & Profit				\$ 975.00
Grand Total =				\$ 7,913

We propose hereby to furnish material and labor in accordance with above specifications for the sum of:

Seven Thousand Nine Hundred Thirteen Dollars and 00/100..... \$ 7,913

Above additional work to be performed under same conditions as specified in original contract unless otherwise stipulated. The Revision becomes part of and in conformance with, the existing contract and can be voided.

Authorized Signature: John McKee Signature: _____
 Date: _____



B&B Lightning Protection

ESTIMATE

Main Office
47 Virginia Ave
Trenton NJ 08611
609-392-1929
www.bblightning.com

Satellite Office
165 Martell Court
Keene NH 03431
603-292-0880

ADDRESS

Continental Electrical Services
Llc
3 Mill Park CT
Newark, DE 197131986 USA

ESTIMATE NO. 14014
DATE 04/25/2023

ACTIVITY	AMOUNT
The is Change Order #1 for the Lightning Protection System at Sussex County Public Safety	
Services Scope of Work: Provide labor and material to complete the repairs as outlined in the Summary of Findings Report	6,500.00
<hr/>	
If you have any questions please contact: John McNamara jmcnamara@bblightning.com 609-392-1929	
TOTAL	\$6,500.00

ACCEPTED BY: _____

DATE: _____



B&B Lightning Protection, LLC
47 Virginia Avenue
Trenton, NJ 08611

Date: April 25, 2023

Summary of Findings Report – Sussex County Public Safety

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 - a. Corrective Action: install new air terminal

Jacy Clayton

Project Manager

B & B Lightning Protection LLC

WW Grainer	\$670.72	USB Chargers, cords and connectors
United Rentals	\$764.00	Network Cabling Sleeve

penn dell	\$230.00	install general grade pass
	\$14,531.00	

Mumford Sheet metal	\$6,600.00	power pedestals
Jerrys paving	\$14,108.07	

innoplast	\$1,738.00	parking block
dukes lumber	\$692.60	
fidelity	\$600.00	load bank services
b safe	\$147.50	remove smoke detectors
crestron	\$4,000.00	
	\$6,267.00	surveillance equip
	\$198.36	lighting
	\$92.06	amazon
	\$256.87	synchrony bank
	\$19.59	synchrony bank
	\$81.82	synchrony bank
	\$6.84	synchrony bank
	\$15.17	synchrony bank
	\$29.51	synchrony bank

tri-gas and oil	\$895.00	connection of gas piping
-----------------	----------	--------------------------

ajem	wall beds	w/ blanco
rescue safety	\$15,000.00	relocate ambulance sim facility
comprehensive fire	\$2,372.00	move network cabling for pain facility
feguson	\$1,639.00	chilled water pump facility
siemens	\$15,438.00	supp chiller facility
slide loc	\$4,090.00	flooring facility
towers signs	\$2,940.00	signage facility

consolidated electric	3764.74
graybar electric	\$1,407.93
United Electric	\$11,904.93

\$110,500.71

WW Grainer	\$670.72	USB Chargers, cords and connectors
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	\$81.82	synchrony bank
	\$6.84	synchrony bank
	\$15.17	synchrony bank
	\$29.51	synchrony bank

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consolidated electric	3764.74
graybar electric	\$1,407.93
United Electric	\$11,904.93

\$110,500.71

**SUSSEX COUNTY PUBLIC SAFETY BUILDING
BUDGET WORKSHEET
June 2, 2023**

EXPENSE DESCRIPTION	COST	TOTAL PROJECT COSTS	TOTAL PROJECT BUDGET
			\$12,000,000.00
Design			
GMB Base Contract	\$300,000.00		
GMB Amd 1	\$61,500.00		
GMB Amd 2	\$75,000.00		
GMB Amd 3	\$244,500.00		
RMF Specialty Services	\$31,720.00		
Hillis Carnes Geotechnical Services	\$2,745.00		
Total Design Costs		\$715,465.00	
Administrative			
Builder's Risk	\$32,749.88		
Advertising & Permits	\$8,040.78		
Total Administrative Costs		\$40,790.66	
Construction			
Bancroft Construction + C.O.'s	\$8,929,282.48		
Total Construction Costs		\$9,080,451.64	
Information Technology Contracts			
Cxtec	\$15,006.12		
Info Solutions of North America	\$17,501.42		
Audio/Visual Switches	\$4,800.00		
Total I.T. Contracts		\$32,507.54	
Facility Initiated Purchase Orders			
T&M - Electrical Conduit	\$60,667.62		
Cahall Temporary Natural Gas	\$15,000.00		

Mason Industries Cooling Tower Support	\$10,790.00	
DPL Power Relocation	\$27,404.00	
Other Costs	\$110,500.71	
Total Facilities Costs		\$224,362.33
3rd Party Contracts		
G.A. Blanco	\$388,677.30	
Assurance	\$115,816.96	
Advantech	\$188,120.00	
Visual Sound	\$608,054.92	
AJEM	\$40,300.00	
Total 3rd Party Contract Costs		\$1,340,969.18
Total Project Costs		\$11,434,546.35
Under/Over Budet	5%	\$565,453.65

ENGINEERING DEPARTMENT

HANS M. MEDLARZ
COUNTY ENGINEER

(302) 855-7370 T
(302) 854-5391 F

hans.medlarz@sussexcountyde.gov



Sussex County

DELAWARE
sussexcountyde.gov

Memorandum

TO: Sussex County Council
The Honorable Michael H. Vincent, President
The Honorable Douglas B. Hudson, Vice President
The Honorable Cynthia C. Green
The Honorable John L. Rieley
The Honorable Mark G. Schaeffer

FROM: Hans Medlarz, P.E., County Engineer

RE: ***Mulberry Knoll Sewer District Area***
A. Change Order No. 1
B. Granting of Substantial Completion

DATE: June 6, 2023

On June 6, 2017 Resolution R 011 17 was adopted by County Council establishing the Mulberry Knoll Unified Sewer District Area. On August 13, 2019, After conducting a public hearing for the State Clean Water State Revolving Fund offer, Ordinance No. 2672 was adopted, for the issuance of a General Obligation Bond up to \$3,135,379 for the project, with principal forgiveness up to \$1,941,000 reducing the principal amount to \$1,194,379 upon completion.

After design completion, Project S20-14, Mulberry Knoll Pump Station & Force Main was advertised and on September 25, 2020, seven (7) bids were received. On November 17, 2020, Council awarded the project to Teal Construction Inc. upon concurrence of DNREC to ensure the State's commitment to total project financing. On March 26, 2021, DNREC notified the Department there was no objection with the understanding a supplemental funding request would have DNREC's support.

Contract Documents for Project S20-22, Mulberry Knoll Collection System were advertised and on September 23, 2021, seven (7) bids were received. The Department initiated a bid evaluation, noting the low bidder appeared to provide a response without acknowledging Addendum #1 of the bidding documents and on October 12, 2021, Council rejected all bids and authorized readvertisement of the Project.

Updated Contract Documents were re-advertised, and ten (10) bids were received. On November 30, 2021, Council awarded Project S20-22 to Carrow Construction for a total amount of \$1,861,538.00 contingent upon DNERC concurrence of project financing.

Total project financing was evaluated using the bids received for Project S20-22 in combination with the construction contract for Project S20-14 and related costs. Construction market and



material pricing required additional funding to maintain overall project financing and on November 30, 2021, Council authorized submission of a supplemental SRF funding request in the amount of \$1,329,000. The request was reviewed by the State's WIAC on March 16, 2022 and subsequently approved by DNREC with 100% principal loan forgiveness and interest only during construction. On May 17, 2022, Council approved the introduction and approval of the associated Ordinance.

Construction efforts commenced shortly after issuance of the Notice to Proceed effective April 26, 2022. The depth of excavation coupled with significant dewatering needs, unanticipated utility conflicts and singular DeIDOT roadway access into and out of the community resulted in relatively slow construction. However, steady progress continued, and pipeline work was mostly completed before the end of 2022. At times issues arose between constructability and DeIDOT permit requirements resulting in various changes to temporary roadway conditions as well as modifications to permit defined permanent restoration. An agreement was reached between Sussex County, DeIDOT and Carrow Construction whereas Carrow Construction would provide additional roadway construction outside of the base contract work in accordance with a time and materials compensation method. Additionally, based on time of year / weather conditions and sub-contractor scheduling, all roadway restoration work was scheduled to occur in spring under improved paving conditions.

The sewer project is now substantially complete and operational; sewer connection notices were mailed to property owners with permit availability effective May 22, 2023. A final progress meeting and walk through with DNREC occurred May 25, 2023.

Carrow Construction submitted the attached Change Order No. 1 in the amount of \$119,215.57 encompassing the DeIDOT related roadway restoration above permit requirements, the undocumented utility conflict resolution as well as a no-cost time extension through May 25th. The Department has reviewed the time & material summaries and considers the amounts acceptable.

Therefore, the Engineering Department recommends County Council approve Change Order No. 1 at the referenced amount, to increase the contract total of Project S20-22 to \$1,980,753.57 with no-cost contract time extension through May 25, 2023.

The Department further recommends Substantial Completion be granted effective May 25, 2023, with release of retainage authorized in accordance with contract documents.

Date of Issuance: 5/26/2023	Effective Date: 5/26/2023
Owner: Sussex County	Owner's Contract No.: S20-22
Contractor: Carrow Construction	Contractor's Project No.:
Engineer: Sussex County	Engineer's Project No.:
Project: Mulberry Knoll Sewer Collection System	Contract Name:

The Contract is modified as follows upon execution of this Change Order:

DeIDOT Road work as per permit changes; Utility conflict resolution; No cost contract time extension to substantial completion

CHANGE IN CONTRACT PRICE	CHANGE IN CONTRACT TIMES <i>[note changes in Milestones if applicable]</i>
Original Contract Price: \$ <u>1,861,538.00</u>	Original Contract Times: NTP 4/26/2022 Substantial Completion: _____ Ready for Final Payment: _____ 240 calendar days
Increase from previously approved Change Orders No. to No. <u>N/A</u> : \$ <u>0</u>	Increase from previously approved Change Orders No. <u>N/A</u> to No. <u> </u> : Substantial Completion: _____ Ready for Final Payment: _____ 0 calendar days
Contract Price prior to this Change Order: \$ <u>1,861,538.00</u>	Contract Times prior to this Change Order: Substantial Completion: _____ Ready for Final Payment: _____ 240 calendar days
Increase of this Change Order: \$ <u>119,215.57</u>	[Increase] [Decrease] of this Change Order: 0 days Substantial Completion: <u>5/25/2023</u> Ready for Final Payment: _____
Contract Price incorporating this Change Order: \$ <u>1,980,753.57</u>	Contract Times with all approved Change Orders: Substantial Completion: <u>5/25/2023</u> Ready for Final Payment: _____

RECOMMENDED: By: <u>[Signature]</u> Engineer (if required)	ACCEPTED: By: _____ Owner (Authorized Signature)	ACCEPTED: By: <u>Dean Carrow</u> Contractor (Authorized Signature)
Title: <u>PROJECT ENGINEER</u>	Title: _____	Title: <u>Operations manager</u>
Date: <u>5/26/2023</u>	Date: _____	Date: <u>5/31/2023</u>

Approved by Funding Agency (if applicable)

By: _____ Date: _____
Title: _____

April, 26, 2022

Attn: Sussex County Engineering Department

Re: Mullberry Knoll Sewer Collection system
Contract S20-22
Change order No.1 Request

Scope of Work A – DelDOT Road Patching

Reconstructing roadway from west Love Dr down Mulberry Rd to Stardust including patching on Riveria Rd to cover all areas directed by DelDOT. Scope of work included all new sub base 7” (GABC) and 3” (Base), restoring the road way daily to drivable conditions using GABC and paving weekly to restore the road to asphalt. Work and Cost per agreement to track time and material as discussed, to address DelDOT permit changes to original scope of work.

1. Man Power

- a. Laborers @ \$50.55 Per Hr x 227 Hrs = \$11,474.85
- b. Operators @ \$75.29 Per Hr x 119 Hrs = \$8,959.51
- c. Truck driver @ \$34.42 Per Hr X 21.5 Hrs = \$740.03
Higher rate based of truck driver base pay at my cost.

Man Power = \$21,174.39
Labor burden 24% = \$5,081.85
Markup plus over head 15% = \$3,176.15
Man Power Total = \$29,432.39

2. Equipment based off Fema construction Rates 2021

- a. Kubota SVL 95 @ \$36.76 Per Hr X 12.5 Hrs = \$459.50
- b. Leeboy 1000B @ \$92.45 Per Hr X 14.5 Hrs = \$1,340.52
- c. Hamm HD12VV @ \$52.15 Per Hr X 16.5 Hr = \$860.47
- d. Tri axle Dump @ \$73.31 X 21.5 Hrs = \$1,576.16
- e. 315 ex @ \$82.48 X 38 HRS = \$3,134.24
- f. D5 dozer @ \$73.31 X 26.5 HRS = \$1,942.71
- g. Truck @ \$16.81 X 108 Hrs = \$1,815.48
- h. Inger sol ran @ \$52.15 X 1.5 Hrs = \$78.22
- i. Loader @ \$46.45 X 9.5 Hrs = \$882.54
- j. Chopsaw @ \$2.50 X 17 Hrs = \$42.50

Total equipment = \$12,132.34

3. Material

- a. Super pave Type B @ \$66.15 Per Ton X 291.48 = \$19,281.40
Totals after subtracting 48.60 tons of base contract work.
- b. Gabc @ \$34.28 Per ton X 398.76 tonage = \$13,669.49
Totals after subtracting 119.88 ton as base contract work.

Materials = \$32,950.89
Markup plus over head 15% = \$4,942.63
Total Materials = \$ 37,893.52

4. Sub Contractors

- a. Flaggers @ \$80.88 per hr X 100 Hrs = \$8,088.00
- b. Lees trucking @ \$95.00 Per Hr X 115.75 = \$10,996.25

Sub contractor = \$19,084.25
Markup / over head 5% = \$954.21
Total sub Contractor = \$20,038.46

Subcontractors= \$20,038.46
Material = \$37,893.52
Equipment = \$12,132.34
Labor = \$29,432.39
Total Sum= \$99,496.71

Subtracted half the time for labor and machines from the 20th because we excavated and half the day from the end of Mulberry Knoll to west Sand and a third of the days time for the 22nd as the day we paved from intersection to west Mint. I dropped the full day of the 29th as we used that to finish the end of Mullberry Knoll Rd and the 90 lf coming down as all of this should have been owned as base contract work.

Scope of Work B – Utility Conflict Resolution

Digging around electric line not in original scope of base contract work.

On days 7/6/22 and 7/8/2022

1. Man Power

- a. Forman/ operator @ \$75.29 Per Hr x 12 Hrs = \$903.48
 - b. Laborers @ \$50.55 Per Hr x 66 Hrs = \$3,336.30
 - c. Operators @ \$75.29 Per Hr x 24 Hrs = \$1,806.96
 - d. Truck driver @ \$34.42 Per Hr X 24 Hrs = \$826.08
- Higher rate based of truck driver base pay at my cost.

Man Power = \$6,872.82
Labor burden 24% = \$1,649.48
Markup plus over head 15% = \$1,030.92
Man Power Total = \$9,553.22

2. Equipment based of blue book& rental rates

- a. Rental Komatsu PC390LCI-11 @ \$84.37 per hr X 12 Hrs = \$5,71,012.44 X 15% profit = \$1,164.30
- b. Cat 926M Loader @ \$75.04 Per Hr X 12 Hrs = \$900.48
- c. Kubota SVL75-2 @ \$76.14 Per Hr X 12 Hrs = \$913.68
- d. Cat 323 @ 120.20 Per Hr X 12 Hrs = \$1,442.40
- e. Tri axle Dump @ \$66.18 X 24 Hrs = \$1,588.32
- f. Trench Boxes Per Month @ \$27.59 Per hr X 12 Hrs = \$331.08

Total equipment = \$6,340.26

3. Material

- a. Steel plate @ \$1.90 per SY of plate per day X 400 SY of additional plates = \$760
- b. Pumping fuel 2 gallons per hour @ \$5.70 X 24 HRS = \$136.80
- c. Fuel for Komatsu @ 5.71 Per Gallon X 5.5 gallons per hr X 12 Hrs = \$376.86

Materials = \$1,273.66

Markup / over head 15% = \$191.05

Total materials = \$1,464.71

4. Sub- contractors

- a. Pumping Per Day @ \$307.14 Per pump X 1 day = \$307.14
- b. Flaggers @ \$80.88 per hr @ 24 hrs = \$1,941.12

Sub contractor = \$2,248.26

Markup / over head 5% = \$112.41

Total Sub contractor = \$2,360.67

Subcontractors= \$2,360.67

Material = \$1,464.71

Equipment = \$6,340.26

Labor = \$9,553.22

Lump Sum= \$19,718.86

Total Scope A = \$99,496.71

Total Scope B = \$19,718.86

Total Sum change of change order = \$119,215.57

ENGINEERING DEPARTMENT

HANS M. MEDLARZ
COUNTY ENGINEER

(302) 855-7370 T
(302) 854-5391 F

hans.medlarz@sussexcountyde.gov



Sussex County

DELAWARE
sussexcountyde.gov

Memorandum

TO: Sussex County Council
The Honorable Michael H. Vincent, President
The Honorable John L. Rieley, Vice President
The Honorable Cynthia C. Green
The Honorable Douglas B. Hudson
The Honorable Mark G. Schaeffer

FROM: Hans Medlarz, P.E., County Engineer

RE: ***South Coastal Library Roof Top Unit Replacement
A. Recommendation to Award***

DATE: June 6, 2023

The rooftop HVAC unit serving the Childrens Room and several other spaces within the South Coastal Library is at the end of its service life. Refrigerant leaks and issues with the heat exchanger have plagued the unit and at times, forced the Children's Room to rely solely on electric baseboard heat.

A load calculation of the spaces was performed to confirm the heating and cooling loads, along with the ventilation requirements of the spaces. The Engineering Department then obtained selections and pricing from several manufacturers for packaged rooftop units. Because of the proximity to the ocean, corrosion resisting options were selected to maximize the life of the new unit.

Contract Documents for the South Coastal Roof Top Unit Replacement were advertised and distributed to local vendors on April 14, 2023. On May 2, 2023, a pre-bid meeting was held with two (2) vendors in attendance. On May 12, 2023, two (2) bids were received.

The basis of design unit identified in the specifications has a component critical for the long-term maintenance of the facility. Review of the bids revealed the apparent low bidder did not meet said basis of design. Therefore, the bid should be awarded to the lowest bid which meets the design criteria identified in the specifications.

The Engineering Department recommends award to Joseph T. Richardson, Inc. for a total amount of \$63,300.00.



ENGINEERING DEPARTMENT

HANS M. MEDLARZ
COUNTY ENGINEER

(302) 855-7370 T
(302) 854-5391 F

hans.medlarz@sussexcountype.gov



Sussex County

DELAWARE
sussexcountype.gov

Memorandum

TO: Sussex County Council
The Honorable Michael H. Vincent, President
The Honorable Douglas B. Hudson, Vice President
The Honorable Cynthia C. Green
The Honorable John L. Rieley
The Honorable Mark G. Schaeffer

FROM: Hans Medlarz, P.E., County Engineer

RE: ***Cannon Road –Inland Bays Road Drainage Improvements and Constructed Wetlands, Project S22-05
A. Change Order No. 1***

DATE: June 6, 2023

The County's five (5) year capital plan, as approved in the FY 23 Capital Budget, contains several projects at the Inland Bays Regional Wastewater Facility. The Cannon Road –Inland Bays Road Drainage Improvements and Constructed Wetlands, Project S22-05 will reduce runoff discharges to Guinea Creek as well as reduce nuisance flooding in the Cannon Road area and within the spray fields. This project is creating a significant water quality credit which can be used as a stormwater management offset for future projects including the upcoming treatment plant expansion.

The initial design for the constructed wetlands portion of the project was first submitted to the Delaware Department of Natural Resources and Environmental Control (DNREC) in 2020. As a result of DNREC's comments additional data acquisition, soil testing, hydrogeologic evaluations and surface water assessments were conducted summarized in the October 2022 Hydrogeological Report. The wetland is an innovative land application enhanced polishing and disposal option for wastewater effluent **and** groundwater with elevated nutrient levels.

The wetland was designed in coordination with DNREC under a 5-year "operational-testing" program. Once wetland dosing commences spray irrigation on the North Burton Field will cease and the center pivot equipment removed. This project utilizes a portion of the Council approved American Rescue Plan Act (ARPA) funding.



On November 17, 2022, invitations to bid for the Cannon Road/Inland Bays Road Drainage Improvements and Constructed Wetlands, Project S22-05 were publicly advertised and on December 21, 2022, six (6) bids were received.

The bid review revealed imbalances and mathematical errors in the apparent low bid and considering these errors and irregularities the bid was withdrawn. Kinsley Construction, Inc. of Dagsboro, Delaware submitted the lowest, responsive base bid and on January 10, 2023, Council awarded the project to Kinsley Construction, Inc. in the amount of \$11,467,000.00.

The project has been progressing well, allowing Environmental Services staff to get a better understanding of all the objectives. During several meetings, three improvement (3) requests were made associated with the South Field irrigation area. The first one involved an expanded hydroseeded buffer area on the downstream southern end of the field; the second one involved an additional structure and piping next to Wetland 1 to drain an adjacent low area ponding along the wetland maintenance access area; the third one was associated with the stabilization of the irrigation rig ruts.

Therefore, the Engineering Department recommends acceptance of Change Order No. 1 in the aggregate amount of \$34,953.00.



**SUSSEX COUNTY
CHANGE ORDER REQUEST**

A. ADMINISTRATIVE:

1. Project Name: **Cannon Rd/Inland Bays Rd Drainage Improvements**
2. Sussex County Project No. S22-05
3. Change Order No. 1
4. Date Change Order Initiated - 5/25/23
5.
 - a. Original Contract Sum \$11,467,000.00
 - b. Net Change by Previous Change Orders \$0.00
 - c. Contract Sum Prior to Change Order \$11,467,000.00
 - d. Requested Change \$ 34,953.00
 - e. Net Change (No. of days) 0
 - f. New Contract Amount \$11,501,953.00
6. Contact Person: Hans Medlarz, P.E.
Telephone No. (302) 855-7728

B. REASON FOR CHANGE ORDER (CHECK ONE)

1. Differing Site Conditions
2. Errors and Omissions in Construction Drawings and Specifications
3. Changes Instituted by Regulatory Requirements
4. Design Change
5. Overrun/Underrun in Quantity

- 6. Factors Affecting Time of Completion
- 7. Other (explain below):

C. BRIEF DESCRIPTION OF CHANGE ORDER:

Create an additional buffer area downstream of the South Irrigation Field; alleviate ponding along our Wetland maintenance access area; and stop erosion in the South Field.

D. JUSTIFICATION FOR CHANGE ORDER INCLUDED?

Yes No

E. APPROVALS

- 1. Kinsley Construction, Inc., Contractor

 6/2/23
Signature Date

Mitch Seitz
Representative's Name in Block Letters

- 2. Sussex County Engineer

Signature Date

- 3. Sussex County Council President

Signature Date



1110 E Princess St
York, PA 17403
Phone: 717-741-3841 Fax:

Pending Change Order Request: 1

To: Sussex County Delaware
Attn: Helen Naylor
Phone: 302-381-8181
Email: helen.naylor@sussexcountype.gov

From: James T. Givens
Phone: 302-614-1237
Email: jgivens@kinsleyconstruction.com

Date: 04/04/23
Project: CANNON ROAD DRAINAGE IMPROVEMENTS
KCI No: 234701-
Re: Change Order For Seeding additional 1.5 Acres

Priority: High
Req Return Date: 04/19/2023

We propose to modify our contract for the above referenced project as follows:

Item	Amount
1 Change Order For Permanent Seeding Additional 1.5 Acres	\$5,445.00

TOTAL CHANGE ORDER FOR THIS REQUEST \$5,445.00

We reserve the right to revise or withdraw this quotation if not accepted within 15 days. Estimated additional time required to complete job due to this change is 0 calendar days.

APPROVALS

Architect

Contractor

Owner

Kinsley Construction, Inc.
1110 E Princess St
York, PA 17403

Sussex County Delaware
2 The Circle
Georgetown, DE 19947

By: _____

Signed: *James T. Givens*

Signed: _____

Printed: _____

Printed: James T. Givens

Printed: _____

Date: _____

Date: 4/5/2023

Date: _____



1110 E Princess St
York, PA 17403
Phone: 717-741-3841 Fax:

Pending Change Order Request: 3

To: Sussex County Delaware
Attn: Helen Naylor
Phone: 302-381-8181
Email: helen.naylor@sussexcountyde.gov

From: Mitch Seitz
Phone: 302-233-2165
Email: mseitz@kinsleyconstruction.com

Date: 05/24/23
Project: CANNON ROAD DRAINAGE IMPROVEMENTS
KCI No: 234701-
Re: Change Order For Back Filling South Pivot Wheel Ruts
Priority: High
Req Return Date: 06/08/2023

We propose to modify our contract for the above referenced project as follows:

Item	Amount
1 Change Order For Back Filling South Pivot Wheel Ruts I) This C/O consists of the labor and material necessary to complete the above requested work. We will be supplying 135 CY of DE. No. 3 stone to backfill an estimated 5,088 LF of wheel ruts at the south pivot of the Inland Bay Road Waste Treatment Facility. Exclusions/Qualifications: A) An amount of Delaware No. 3 stone greater than 5088 LF shall be charged an additional price of \$4.10 / LF. B) Temporary seeding or stabilization of any kind.	\$20,858.00
TOTAL CHANGE ORDER FOR THIS REQUEST	\$20,858.00

We reserve the right to revise or withdraw this quotation if not accepted within 15 days. Estimated additional time required to complete job due to this change is 0 calendar days.



1110 E Princess St
York, PA 17403
Phone: 717-741-3841 Fax:

Pending Change Order Request: 3

APPROVALS

Architect

Contractor

Owner

Kinsley Construction, Inc.
1110 E Princess St
York, PA 17403

Sussex County Delaware
2 The Circle
Georgetown, DE 19947

By: _____

Signed: _____

Signed: _____

Printed: _____

Printed: **Shawn Thiede, PE**

Printed: _____

Date: _____

Date: 5/24/2023

Date: _____



1110 E Princess St
York, PA 17403
Phone: 717-741-3841 Fax:

Pending Change Order Request: 2

To: Sussex County Delaware
Attn: Helen Naylor
Phone: 302-381-8181
Email: helen.naylor@sussexcountyde.gov

From: Mitch Seitz
Phone: 302-233-2165
Email: mseitz@kinsleyconstruction.com

Date: 05/17/23
Project: CANNON ROAD DRAINAGE IMPROVEMENTS
KCI No: 234701-
Re: Change Order For additional Nyloplast and ADS Installation
Priority: High
Req Return Date: 05/26/2023

We propose to modify our contract for the above referenced project as follows:

Item	Amount
PCO Additional ADS and Nyloplast Basin Material For Wetland 1	\$8,650.00
TOTAL CHANGE ORDER FOR THIS REQUEST	
	\$8,650.00

We reserve the right to revise or withdraw this quotation if not accepted within 15 days. Estimated additional time required to complete job due to this change is 0 calendar days.

APPROVALS

Architect

Contractor

Owner

Kinsley Construction, Inc.
1110 E Princess St
York, PA 17403

Sussex County Delaware
2 The Circle
Georgetown, DE 19947

By: _____

Signed: _____

Signed: _____

Printed: _____

Printed: Mitch Seitz, PM

Printed: _____

Date: _____

Date: 5/17/2023

Date: _____

JAMIE WHITEHOUSE, AICP
DIRECTOR OF PLANNING & ZONING
(302) 855-7878 T
pandz@sussexcountyde.gov



Sussex County

DELAWARE
sussexcountyde.gov

Memorandum

To: Sussex County Council
The Honorable Michael H. Vincent
The Honorable Cynthia C. Green
The Honorable Douglas B. Hudson
The Honorable John L. Rieley
The Honorable Mark G. Schaeffer

From: Jamie Whitehouse, AICP, Director of Planning & Zoning

CC: Everett Moore, County Attorney

Date: June 2, 2023

RE: County Council Old Business Report for C/U 2336 filed on behalf of Community Power Group, LLC

The Planning and Zoning Department received an application (C/U 2336 filed on behalf of Community Power Group, LLC) for a Conditional Use for parcel 232-5.00-11.03 for a solar farm. The property is located on the north side of Woodland Ferry Road (SCR. 78) 0.15 mile east of the intersection of Woodland Ferry Road (SCR.78) and Bethel Road (SCR. 493). The parcel size is 25.012 acres +/-.

The Planning & Zoning Commission held a Public Hearing on the application on November 17, 2022. At the meeting of December 15, 2022, the Planning & Zoning Commission recommended approval of the application for the 9 reasons stated and subject to the 10 recommended conditions as outlined within the motion (copied below).

The County Council held a Public Hearing on the application at its meeting of January 24, 2023. At the conclusion of the Public Hearing action on the application was deferred for further consideration. Below is a link to the approved minutes of the January 24, 2023 County Council meeting:

[Minutes of the January 24, 2023 County Council Meeting](#)

Below are the minutes from the Planning & Zoning Commission meetings of November 17, 2022 and December 15, 2022.



COUNTY ADMINISTRATIVE OFFICES
2 THE CIRCLE | PO BOX 417
GEORGETOWN, DELAWARE

Minutes of the November 17, 2022 Planning & Zoning Commission Meeting

C/U 2336 Community Power Group, LLC

AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR A SOLAR FARM TO BE LOCATED ON A PORTION OF A CERTAIN PARCEL OF LAND LYING AND BEING IN BROAD CREEK HUNDRED, SUSSEX COUNTY, CONTAINING 25.012 ACRES, MORE OR LESS. The property is lying on the north side of Woodland Ferry Road (S.C.R. 78) 0.15 miles east of the intersection of Woodland Ferry Road (SCR 78) and Bethel Road (SCR 493) and on the east side of Bethel Road (SCR 493) 0.2 miles north of the intersection of Woodland Ferry Road (SCR 78) and Bethel Road (SCR 493). 911 Address: N/A. Tax Parcel: 232-5.00-11.03 (p/o).

Mr. Whitehouse advised the Commission that submitted into the record were the Applicant's Site Plan, Applicant Exhibits, the property deed, and the DelDOT Service Level Evaluation Response. Mr. Whitehouse advised the Commission zero comments were received.

The Commission found that Mr. Michael Borkowski, President of Community Power Group, LLC spoke on behalf of the Application; that Community Power Group, LLC has been established since 2010; that they have operations in Maryland, Delaware, Virginia, New York, Illinois, Massachusetts, Connecticut and Colorado; that they are community solar experts; that they are headquartered in Maryland; that the company emphasizes using local labor on all their projects; that the company uses domestic equipment, pollinator friendly ground covers and game fences when possible; that the proposed project is a three megawatt community solar project; that the Delaware DOT review was completed, which stated the project would have a diminutive impact on local traffic; that they did make recent revisions to the site plan; that they added double layered buffers in certain areas; that the extended buffering in other areas; that the owner of the land lives in the nearby area; that the owner and Community Power Group, LLC did field a few calls from neighbors regarding the Application; that there were neighbors located to the north who expressed concerns regarding buffering; that they had not proposed buffer in the area, as there was a robust buffer already in existence; that future development may be happening on that property; that due to this and the concern of the owner, they added landscaping to that area; that another property owner to the north, located across the street, approximately three football fields away from the property; that their porch did face the proposed project; that due to this the Applicant requested Community Power Group back up the project and place additional screening to remedy the concern; that the Application meets and/or exceeds all zoning requirements of the County; that the proposed landscaping will consist of deciduous and evergreen trees, which provides variety to the buffer zone; that they proposed to use polycrystalline panels; that thin-film panels do contain Cadmium in them; that there has been some negative feedback on thin-film panels; that polycrystalline panels have no adverse chemicals in them; that they will use Single Axis Trackers (SAT) racking system; that in the morning the trackers will face east, slowly moving throughout the day to face west; that Community Power Group did submit FAA approved glare studies; that they did submit noise studies; that solar fields generate less noise than the transformers attached to telephone poles; that telephone poles have a louder buzz than solar farm equipment; that the closest building to the project is located 520-ft. away from the site; that there will be no audible noise near any dwellings; that they propose pollinator-friendly ground cover for the site; that they propose game fencing to surround the site; that game fencing consist of wooden pole with

wire fencing; that the game fencing makes a huge difference in how solar fields are presented to the public; that when someone sees a chain-link fence, they think industrial; that the view of game fencing gives the area an agricultural activity orientation, blending the use into the area; that they have received a lot of positive feedback regarding game fencing; that a decommissioning plan was submitted; that a bond will be in place; that they do have financial security; that salvage costs tend to be more than the equipment; that they do have insurance in the event of natural disasters; that the solar panels can withstand three inch hail; that solar farms tend to be the most valuable asset of bankruptcy proceedings, as solar farms only require the sun to operate and generate revenue; that community solar is fairly new to Delaware; that there is a meter placed, which spins backward; that the solar farm will receive a negative invoice; that subscribers will subscribe to the farm; that if a person's electric bill is \$300, they will subscribe to the farm for \$300 worth of credits; that Community Power Group will obtain the persons meter number and will allocate the credits to the meter; that a person may see a 10% to 20% discount on their electric bill; that a person would also be able to claim they are using all renewable energy; that Cohenreznick did a study on property values near solar projects and the study found there was no negative impact on property values near solar farms; that property values can also be verified on Zillow.com.

Mr. Hopkins questioned if sheep would be placed on the property for maintenance.

Mr. Borkowski stated they have used sheep for their projects; that they will be placing sheep on a site they have in New York; that they requested the sheep not be included within the conditions, as there is no guarantee to the accessibility of sheep farmers in the future; that they do feel it is a great viable option for their sites and they are utilizing sheep at locations where sheep grazers are located nearby.

Mr. Robertson questioned if a Decommissioning Plan is a standard term within the industry.

Mr. Borkowski stated the Decommissioning Plan is a standard within the industry; that the Community Power Group plan is the best in class; that the plan has been improved by recent requirements in Virginia and a Decommissioning Plan is provided to all landowners within their lease.

Mr. Glen Jones spoke in support of the Application; that he is the currently land owner for the project; that his family has farmed the property and in the area since 1950s; that over the years their farming has created many local jobs; that they have a fruit stand in the nearby area of the project; that they chose to take a small portion of their operation, to offer some diversification; that diversification is important in any operation to help with the risk of farming; that the property was selected due to its necessary location to the power grid; that other properties considered, they did not feel would be as accepted by the community; that the farm is on the lower end of production scale due to the low percentage of irrigated land; that the property already had existing buffers; that they will place additional buffering where needed; that he felt the impact would be beneficial to the neighborhood; that the project will not create additional traffic, odors, or noise and he felt the proposed use would be good for the community as well as his farming operation.

The Commission found that Ms. Chasity Tolbert spoke in opposition to the Application; that she also was speaking on behalf of her parents who could not be present; that she did request to submit a

petition in opposition; that she and her parents live on Jay Run Dr.; that her father owns a business near the property; that her parents purchased their property in 2015; that she will see the solar farm from bedroom window; that her father had concern that if he needed to sell the business, the presence of a solar farm be an issue; that she does not want sheep next to her home; that her dog would not appreciate sheep next door; that she is opposed to game fencing, as she feels it does not look nice; that she questioned who is responsible for the maintenance of the property; that she felt the biggest concern for the community, is the placement of the project; that the Applicant has a lot of other farmland; that the community feels the Applicant is placing the project in the middle of residential area and other locations would allow for less visualization of the solar farm.

The Commission found that Mr. Travis Hastings spoke in opposition to the Application; that he is a farmer in the community; that he owns land adjacent to the subject property; that he is not as opposed to the particular application, as he is concerned for solar farms in general Sussex County; that he questioned if solar farms, located on agricultural land, is something Sussex County needs to promote; that he feels agricultural lands should be for open space and agricultural purposes and he does not feel solar panels are an agricultural operation.

The Commission found that Mr. Danny LeCates spoke in opposition to the Application; that he resides across the street from the property; that he has lived there since 1979; that he sits on his porch every afternoon; that he feels solar farms are very ugly; that the placement of small trees for a buffer will take years before the trees grow to provide a full buffer from the solar panels and he requested a fence be placed should the solar farm be approved.

The Commission found there was no one present by teleconference who wished to speak in support or opposition to the Application.

Ms. Stevenson questioned what trees are used to construct the buffer areas.

Ms. Wingate questioned if the Applicant would be agreeable to placing a topsoil berm to place the trees on.

Mr. Mears questioned what a game fence was constructed of.

Mr. Borkowski stated he had previously spoken with Mr. LeCates and appreciated his concern; that the buffer would be a mix of evergreens and deciduous trees; that they will be able to go a bit higher with the trees due to the proposed location; that in mixing the species, and the placement of double rows, it will keep from the monotonous look of the trees; that they would not desire to place a berm, as they do not want to disrupt the soil on the farm; that to get a meaningful berm, the berm would need to be five feet in height and the game fencing is constructed of wooden poles and chicken wire.

Upon there being no further questions, Chairman Wheatley closed the public hearing.

At the conclusion of the public hearing, the Commission discussed the Application.

In relation to C/U 2336 Community Power Group. Motion by Ms. Wingate to defer for further consideration, seconded by Ms. Stevenson and carried unanimously. Motion carried 5-0.

Minutes of the December 15, 2022 Planning & Zoning Commission Meeting

The Commission discussed the Application which had been deferred since November 17, 2022.

Mr. Mears moved that we recommend approval of C/U 2336 for Community Power Group, LLC for a solar farm in the AR-1 District based on the record made during the public hearing and for the following reasons:

1. The proposed facility is a public utility use under the Sussex County Zoning Code, and it meets the purposes of a Conditional Use because it has a public or semi-public character that is essential and desirable for the general convenience and welfare of Sussex County residents.
2. This is an adaptive use of farmland that will preserve it from more intensive development.
3. The proposed facility promotes Goal 7.9 of the Sussex County Comprehensive Plan which encourages the use of renewable energy options such as solar farms.
4. With the conditions imposed in this recommendation, the proposed use will not have any adverse impact on the neighboring or adjacent properties.
5. The proposed solar generation facility will not result in any noticeable increase in traffic on area roadways. There are no regular employees at the site, only periodic visits for inspections, maintenance, or repair of the solar panels.
6. The entire site is 39.45 acres in size. The solar farm will only utilize approximately 25 acres of the property.
7. Based upon the testimony in the record, it is evident that no significant noise, dust, or odor will be generated by the facility.
8. There will be a buffer to screen the view of the solar farm from the nearby residential properties while allowing the solar arrays to function properly.
9. The proposed use provides a renewable energy source that is a benefit to the residents and businesses of Sussex County.
10. This recommendation is subject to the following conditions:
 - a. The use shall be for a ground-mounted solar farm. No other types of electric generation shall be permitted at the site.
 - b. Any lighting on the facility shall only consist of perimeter lighting needed for security purposes. All lighting shall be downward screened so that it does not shine on neighboring properties or roadways.
 - c. One unlighted sign, not to exceed 32 square feet in size, shall be permitted. The sign shall identify the operator of the solar farm and shall provide contact information in case of emergency.
 - d. The site shall be secured by fencing with a gate with a “Knox Box” or similar device to accommodate emergency access by the local fire company or other emergency responders. The fence line shall be shown on the Final Site Plan.
 - e. Any transformers or similar equipment shall be centrally located on the site away from any nearby residential uses.
 - f. The entire site, including the area outside the fence, shall be maintained so that it does not become overgrown.

- g. Stormwater management and erosion and sedimentation control facilities shall be constructed in accordance with all applicable State and County requirements. These facilities shall be operated using Best Management Practices.
- h. There shall be a vegetated buffer that is at least 15 feet wide planted with deciduous and evergreen trees and shrubs around the perimeter of the solar arrays wherever there is not an existing vegetated buffer. These buffers shall screen solar arrays while allowing the solar arrays to function properly. These plantings shall include a double row of screening along the western boundary and the existing screening shall be bolstered along the southern and eastern boundaries.
- i. The Final Site Plan shall identify a Decommissioning Plan that includes financial security to ensure that funds are available for decommissioning and removal of the solar farm in its entirety throughout the life of the Conditional Use.
- j. The Final Site Plan shall be subject to the review and approval of the Sussex County Planning and Zoning Commission.

Motion by Mr. Mears, seconded by Ms. Stevenson and carried unanimously to recommend approval of C/U 2336 Community Power Group, LLC for the reasons and conditions stated in the motion. Motion carried 4-0.

Vote by roll call: Mr. Hopkins – yea, Ms. Stevenson – yea, Mr. Mears – yea, Chairman Wheatley – yea

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY J. WINGATE



Sussex County

DELAWARE
sussexcountyde.gov
302-855-7878 T
302-854-5079 F
JAMIE WHITEHOUSE, AICP, MRTPI
DIRECTOR OF PLANNING & ZONING

PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET
Planning Commission Public Hearing Date: November 17th, 2022

Application: CU 2336 Community Power Group, LLC

Applicant: Community Power Group, LLC c/o Michael Borkowski
5636 Connecticut Ave., #42729
Washington, DC 20015

Owner: Jade Run Farm, LLC c/o Glen & Laurie Jones
8268 Snake Road
Bethel, DE 19931

Site Location: Lying on the north side of Woodland Ferry Road (S.C.R. 78) about 800 feet east of the intersection with Bethel Road (S.C.R. 493) and on the east side of Bethel Road about 1,000 feet north of the intersection with Woodland Ferry Road.

Current Zoning: Agricultural Residential (AR-1) Zoning District

Proposed Use: Solar Farm consisting of photovoltaic electric generation facility with a capacity of generating up to 4 megawatts per acre on approximately 25 acres of the parcel.

Comprehensive Land Use Plan Reference: Low Density Area

Councilmanic District: Mr. Vincent

School District: Laurel School District

Fire District: Laurel Fire Department

Sewer: N/A

Water: N/A

Site Area: 52.23 acres +/- (p/o 25 acres +/-)

Tax Map ID: 232-5.00-11.03



JAMIE WHITEHOUSE, AICP MRTPI
PLANNING & ZONING DIRECTOR
(302) 855-7878 T
(302) 854-5079 F
jamie.whitehouse@sussexcountyde.gov



Sussex County

DELAWARE
sussexcountyde.gov

Memorandum

To: Sussex County Planning Commission Members
From: Mr. Michael Lowrey, Planner III
CC: Mr. Vince Robertson, Assistant County Attorney and Applicant
Date: October 6, 2022
RE: Staff Analysis for C/U 2336 Community Power Group, LLC

This memo is to provide background and analysis for the Planning Commission to consider as a part of application C/U 2336 Community Power Group, LLC to be reviewed during the November 17th, 2022, Planning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

The request is for a Conditional Use for Tax Parcel: 232-5.00-11.03 to allow for a solar farm consisting of a photovoltaic electric generation facility which may generate up to 4 megawatts per acre on approximately 25 acres of the parcel. The property is located on the north side of Woodland Ferry Road (S.C.R. 78) about 800 feet east of the intersection with Bethel Road (S.C.R. 493) and on the east side of Bethel Road about 1,000 feet north of the intersection with Woodland Ferry Road. The parcel is comprised of a total area of 39.45 acres +/-.

Comprehensive Plan Analysis

The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework of how land is to be developed. As part of the Comprehensive Plan, a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use Map in the plan indicates that the parcel has a designation of "Low Density Area". The adjacent parcels surrounding the subject property retain the Future Land Use Map designation of "Low Density Area." The properties on the opposite side of Woodland Ferry Road (S.C.R. 78) are also designated as "Low Density Areas." The parcels to the north and to the west on the opposite side of Bethel Road (S.C.R. 493) also have a Future Land Use Map designation of "Low Density Area."

As outlined within the 2018 Sussex County Comprehensive Plan, the primary uses envisioned in Low Density Areas are agricultural activities and homes. Business development should be largely confined to businesses addressing the needs of these two uses. Industrial and agribusiness uses that support or depend on agriculture should be permitted. The focus of retail and office uses in Low Density Areas should be providing convenience goods and services to nearby residents. Commercial uses in these residential areas should be limited in their location, size, and hours of operation. More intense commercial uses should be avoided in these areas. Institutional and commercial uses may be appropriate depending on surrounding uses. (Sussex County Comprehensive Plan, 4-19). Additionally, the Plan notes that Sussex County "hopes to retain the rural environment" in Low Density Areas and adds that "Sussex County Council supports land use State and local land use policies that will preserve the value of farmland" noting the County's



approach emphasizes sustaining “reasonable development rights” (Sussex County Comprehensive Plan, 4-18).

Zoning Information

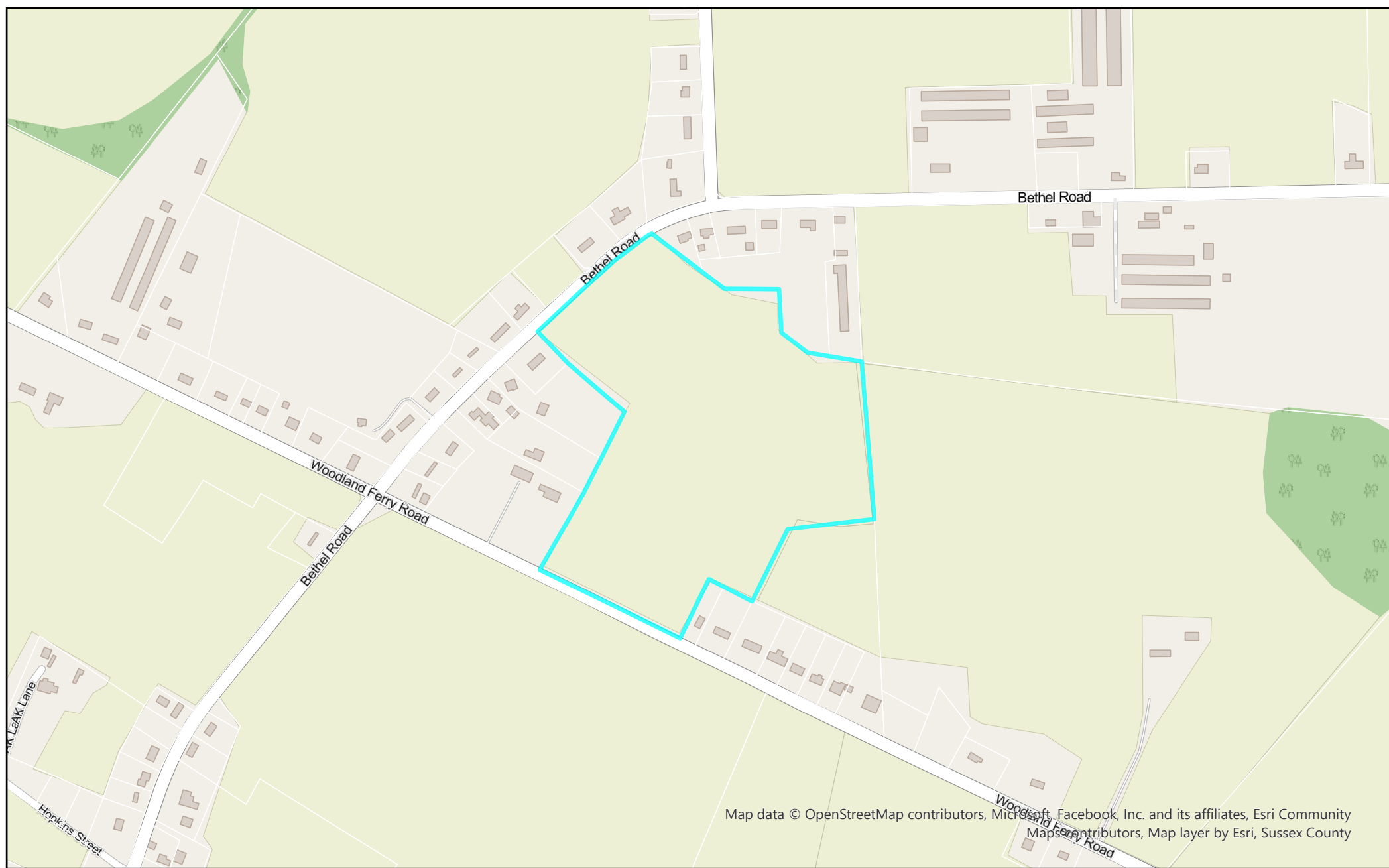
The subject properties are zoned Agricultural Residential (AR-1) District. The adjacent properties on both sides of Bethel Road (S.C.R. 493) are zoned Agricultural Residential (AR-1) District. The adjacent properties on the both sides of Woodland Ferry Road (S.C.R. 78) are zoned Agricultural Residential (AR-1) District. The parcels to the east of the subject property are zoned Agricultural Residential (AR-1) District.

Existing Conditional Uses within the Vicinity of the Subject Site

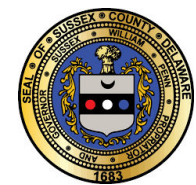
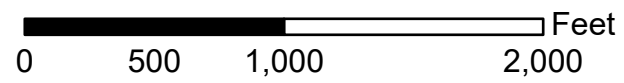
Since 1970, there have been six (6) Conditional Use applications within less than a 1-mile radius of the application site. The first application is Conditional Use No. 1580 Crawford and David Matthews to allow for a lumber business/equipment storage within an Agricultural Residential (AR-1) Zoning District. The Application was approved by the Sussex County Council at their meeting of Tuesday, January 18, 2005 and the change was adopted through Ordinance No. 1746. The second application is Conditional Use No. 998 Jade Run Sod Farm to allow for the sale & service of agricultural irrigation systems within an Agricultural Residential (AR-1) Zoning District. The Application was approved by the Sussex County Council at their meeting of Tuesday, May 12, 1992 and the change was adopted through Ordinance No. 827. The third application is Conditional Use No. 739 Steven & Dorothy Cucinotta to allow for a chicken house on less than 5 acres to be located within the Agricultural Residential (AR-1) Zoning District. The Application was denied by the Sussex County Council at their meeting of Tuesday, January 17, 1984. The fourth application is Conditional Use No. 377 Herbert C. and Bonnie B. Carey to allow for a beauty salon within an (MR) Medium Density Residential District. The Application was approved by the Sussex County Council at their meeting of Tuesday, October 12, 1976. The fifth application is Conditional Use No. 1062 Excel Leasing Corp to operate an equipment leasing company within an Agricultural Residential (AR-1) Zoning District. The Application was approved by the Sussex County Council at their meeting of Tuesday, February 1, 1994, and the change was adopted through Ordinance No. 951. The sixth application is Conditional Use No. 2383 Consolidated Edison Development, Inc to operate a solar farm within an Agricultural Residential (AR-1) Zoning District. The Application was received by the Sussex County Planning & Zoning Department on June 29th, 2022.

Based on the analysis of the land use, surrounding zoning and uses, the Conditional Use to allow for the placement of a photovoltaic electric generation facility in this location, subject to considerations of scale and impact, could be considered as being consistent with the land use, area zoning and surrounding uses.

Conditional Use Applications						
(Within a 1.0-mile radius of the subject site)						
Application Number	Application Name	Zoning District	Proposed Use	CC Decision	CC Decision Date	Ordinance Number
CU 1580	Crawford and David Matthews	AR-1	Lumber Business / Equipment Storage	Approved	1/18/2005	1746
CU 998	Jade Run Sod Farm	AR-1	Sale & Service of Agricultural Irrigation Systems	Approved	5/12/1992	827
CU 739	Steven & Dorothy Cucinotta	AR-1	Chicken House on Less Than 5 Acres	Denied	1/17/1984	N/A
CU 377	Herbert C. Carey & Bonnie B.	MR	Beauty Salon	Approved	10/12/1976	N/A
CU 1062	Equipment Leasing Company	AR-1	Equipment Leasing Company	Approved	2/1/1994	951
CU 2383	Consolidated Edison Development, Inc	AR-1	Solar Farm	Pending	N/A	N/A

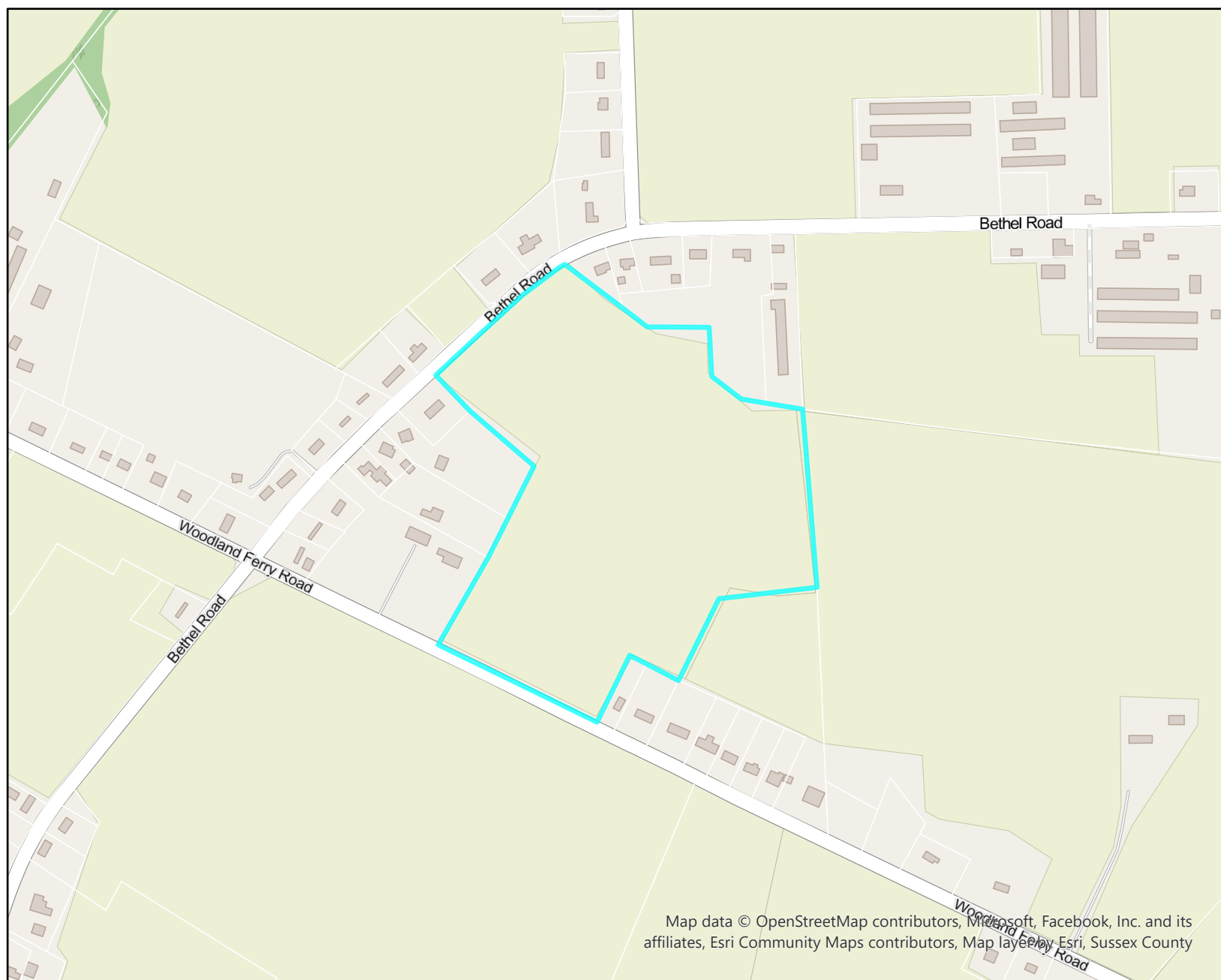


CU 2336 Community Power Group, LLC - Woodland Ferry Rd -
Street Map
TP#232-5.00-11.03
Planning Commission Hearing Date: November 17, 2022



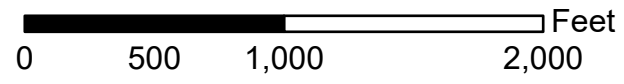
Zoning

- Agricultural Residential - AR-1
- Agricultural Residential - AR-2
- Medium Residential - MR
- General Residential - GR
- High Density Residential - HR-1
- High Density Residential - HR-2
- Vacation, Retire, Resident - VRP
- Neighborhood Business - B-1
- Neighborhood Business - B-2
- Business Research - B-3
- General Commercial - C-1
- General Commercial - C-2
- General Commercial - C-3
- General Commercial - C-4
- General Commercial - C-5
- Commercial Residential - CR-1
- Institutional - I-1
- Marine - M
- Limited Industrial - LI-1
- Light Industrial - LI-2
- Heavy Industrial - HI-1



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CU 2336 Community Power Group, LLC - Woodland Ferry Rd -
 Street Map
 TP#232-5.00-11.03
 Planning Commission Hearing Date: November 17, 2022



To Be Reintroduced: 10/11/22

Council District 1: Mr. Vincent
Tax I.D. No.: 232-5.00-11.03 (p/o)
911 Address: N/A

ORDINANCE NO. ____

AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR A SOLAR FARM TO BE LOCATED ON A PORTION OF A CERTAIN PARCEL OF LAND LYING AND BEING IN BROAD CREEK HUNDRED, SUSSEX COUNTY, CONTAINING 25.012 ACRES, MORE OR LESS

WHEREAS, on the 11th eleventh day of January 2022, a conditional use application, denominated Conditional Use No. 2336 was filed on behalf of Community Power Group LLC; and

WHEREAS, on the ____ day of _____ 2022, a public hearing was held, after notice, before the Planning and Zoning Commission of Sussex County and said Planning and Zoning Commission recommended that Conditional Use No. _____ be _____; and

WHEREAS, on the ____ day of _____ 2022, a public hearing was held, after notice, before the County Council of Sussex County and the County Council of Sussex County determined, based on the findings of facts, that said conditional use is in accordance with the Comprehensive Development Plan and promotes the health, safety, morals, convenience, order, prosperity and welfare of the present and future inhabitants of Sussex County, and that the conditional use is for the general convenience and welfare of the inhabitants of Sussex County.

NOW, THEREFORE, THE COUNTY OF SUSSEX HEREBY ORDAINS:

Section 1. That Chapter 115, Article IV, Subsection 115-22, Code of Sussex County, be amended by adding the designation of Conditional Use No. 2336 as it applies to the property hereinafter described.

Section 2. The subject property is described as follows:

A PORTION OF that certain tract, piece or parcel of land, lying and being situate in Broad Creek Hundred, Sussex County, Delaware, and lying on the north side of Woodland Ferry Road (SCR 78) 0.15 miles east of the intersection of Woodland Ferry Road (SCR 78) and Bethel Road (SCR 493) and on the east side of Bethel Road (SCR 493) 0.2 miles north of the intersection of Woodland Ferry Road (SCR 78) and Bethel Road (SCR 493) being more particularly described in the attached legal description prepared by Steven M. Adkins Land Surveying, LLC, said parcel containing 25.012 acres, more or less.

This Ordinance shall take effect immediately upon its adoption by majority vote of all members of the County Council of Sussex County, Delaware.

Schaeffer.
Yes. 5/17

Casey Hall

From: notifications=d3forms.com@mg.d3forms.com on behalf of Sussex County DE <notifications@d3forms.com>
Sent: Monday, May 15, 2023 3:47 PM
To: Casey Hall
Subject: Sussex County DE - Council Grant Form: Form has been submitted

CAUTION: This email originated from outside of the organization. Do not click links, open attachments, or reply unless you recognize the sender and know the content is safe. Contact the IT Helpdesk if you need assistance.

Council Grant Form

Legal Name of Agency/Organization True Blue Jazz Festival Inc. ✓

Project Name 2023's 11th Anniversary True Blue Jazz Festival

Federal Tax ID 47-1429059 ✓

Non-Profit Yes

Does your organization or its parent organization have a religious affiliation? (If yes, fill out Section 3B.) No

Organization's Mission Our Mission Statement reads "Preservation through Performance". We accomplish this in several ways; the first and most obvious method is by bringing to Coastal Sussex County, bonafide American Jazz Artists that are committed purveyors of the American Jazz Catalogue. These are current Jazz Artists building their reputation, or the Legends of Jazz, who have helped to forge Jazz into as a globally recognized, uniquely American Art Form. We bring these Jazz Artist Professionals to perform as a special attraction to Coastal Delaware REAL JAZZ Audiences, as well as an educational opportunity, conducting Jazz Masterclass Workshops for our local & area Jazz Students.

Address 31408 Heron Circle

City Lewes

State DE

Zip Code 19958

Contact Person Eddie Sherman

Contact Title Pres. / Exec Prd

Contact Phone Number 6108045048

Contact Email Address info@truebluejazz.org

Total Funding Request 10,000.00

Has your organization received other grant funds from Sussex County Government in the last year? Yes

If YES, how much was received in the last 12 months? 7500.00

Are you seeking other sources of funding other than Sussex County Council? Yes

If YES, approximately what percentage of the project's funding 7

does the Council grant represent?

Program Category (choose all that apply) Cultural
Educational
Other

Program Category Other Tourism

Primary Beneficiary Category Youth

Approximately the total number of Sussex County Beneficiaries served, or expected to be served, annually by this program 5000

Scope In support of our Mission Statement ("Preservation through Performance"), Youth Jazz Education is our primary focus. Providing opportunities to perform Live On Stage for area Jazz Students, as well as access to Real Life Working Professional Artists through Masterclass Workshops & Clinics is extremely inspirational for young musicians. Here, in a Workshop setting, Jazz Students receive mentoring as a Band, as a Section, & individually. It's here, also, that discussion occurs regarding the "business" side of working professionally as a musician....learning "the ropes" of the business. True Blue Jazz also offers Instrument Donations to Students of Need. Additionally, we make Merit-based Scholarship Awards. 2023 Cape Henlopen Graduates will receive 4 Scholarship of \$1000 each this year, a Masterclass Workshop with Sax & Vocal Artist Camille Thurman, plus opportunities to attend all 3 of our 2023 True Blue Jazz Headliner Concerts featuring Camille Thurman & the Darrell Greene Quartet, 8 time Grammy Nominee Latin Jazz Percussionist Bobby Sanabria & His Multiverse Big Band, and Vocalist Libby York with Guitarist Randy Napoleon &

Bassist Herman Burney.

Education is the issue we are addressing through the work of our True Blue Jazz Festival. We can easily point many other "JINO" Festivals (that's JAZZ IN Name ONLY), & they are perhaps racking up larger Ticket Sales, drawing more people to their location....but they are operating oblivious to the Music Students of their Community. Most Schools in our State don't feature a single Jazz Chart for their Music Students to develop their jazz performance skills. We KNOW we are making a difference here in our community, & beyond, working the Youth Jazz Programs that we make available to area music students. In 2022, True Blue Jazz conducted an Opera Clinic with Internationally Acclaimed & Award Winning Tenor - Paul Spencer Adkins, with the Cape High School Choral Department. And, in 2022...Cape HS Jazz Band Director produced Band Students that captured all FIVE of the "1st Chair Positions" in our Delaware All-State Band. That means that our Cape Henlopen High School Jazz Band Rhythm Section Members BECAME the Rhythm Section for our Delaware "All-State" Band.

We KNOW we are getting results. Rare in many....practically any, academic programs. But the Contribution that we receive from Sussex County Council is helping to make that difference! These SCC Grant Funds go straight to our Music Students, either as Scholarships Recipients, or through the ability to offer our Masterclass Workshop Sessions conducted by Touring Professional Jazz Artists there in the Cape HS Band Room, where they share a universe of Jazz Experiences with our True Blue Jazz Kids.

Please enter the current support your organization receives for this project (not entire organization revenue if not applicable to request)

122,231.87

Description

Artist & Entertainer Fees

Amount	53,000.00
Description	Ads / Promo
Amount	16,737.19
Description	Travel / Hotel
Amount	15,512.28
Description	Scholarships / Donations
Amount	6,000.00
Description	Festival / Indie Event Insurance / Office Exps
Amount	7,175.02
Description	Staff / Svc Tech Payroll
Amount	14,303.97
Description	Venue / Equipt Rent & Purchase
Amount	21,864.64
Description	F&B
Amount	5,811.01
TOTAL EXPENDITURES	140,404.11
TOTAL DEFICIT FOR PROJECT OR ORGANIZATION	-18,172.24
Name of Organization	True Blue Jazz Inc.

**Applicant/Authorized
Official** Eddie Sherman

Date 05/15/2023

**Affidavit
Acknowledgement** Yes

GREEN
Yes. 5/17

Casey Hall

From: notifications=d3forms.com@mg.d3forms.com on behalf of Sussex County DE <notifications@d3forms.com>
Sent: Wednesday, May 10, 2023 11:00 AM
To: Casey Hall
Subject: Sussex County DE - Council Grant Form: Form has been submitted

CAUTION: This email originated from outside of the organization. Do not click links, open attachments, or reply unless you recognize the sender and know the content is safe. Contact the IT Helpdesk if you need assistance.

Council Grant Form

Legal Name of Agency/Organization	Greenwood Police Department ✓
Project Name	2023 Greenwood PD Night Out
Federal Tax ID	51-0107189 ✓
Non-Profit	Yes
Does your organization or its parent organization have a religious affiliation? (If yes, fill out Section 3B.)	No
Organization's Mission	It is the mission of the Greenwood Police Department by performing its law enforcement function in a professional, high quality and effective manner, to protect the rights of all citizens to be free of criminal attack, to be secure in their possessions, and to live in peace.
Address	PO Box 208
Address 2	100 W. Market St.
City	Greenwood

State Delaware
Zip Code 19950
Contact Person Amy Carey
Contact Title Administrative Assistant
Contact Phone Number 3023494822
Contact Email Address amy.carey@cj.state.de.us

Total Funding Request

1,000.00

Has your organization received other grant funds from Sussex County Government in the last year?

No

If YES, how much was received in the last 12 months?

N/A

Are you seeking other sources of funding other than Sussex County Council?

Yes

If YES, approximately what percentage of the project's funding does the Council grant represent?

25

Program Category (choose all that apply) Other

Program Category Other Community Awareness

Primary Beneficiary Category Other

Beneficiary Category Other All Greenwood Residents

Approximately the total number of Sussex County Beneficiaries served, or expected to be served, annually by this program 400

Scope Night Out is an event that promotes a night out against crime in the community. The Greenwood PD provides a night of free entertainment, activities, educational demonstrations, and food for the community to allow the officers and community to interact in an environment that is more comfortable for the attendees, specifically the youth in the community.

Please enter the current support your organization receives for this project (not entire organization revenue if not applicable to request) 1,000.00

Description All operating Costs

Amount 6,000.00

TOTAL EXPENDITURES 6,000.00

**TOTAL DEFICIT FOR
PROJECT OR
ORGANIZATION** -5,000.00

Name of Organization Greenwood Police Department

**Applicant/Authorized
Official** Amy Carey

Date 05/10/2023

**Affidavit
Acknowledgement** Yes

Green.
Yes. 5/17.



SUSSEX COUNTY GOVERNMENT

GRANT APPLICATION

SECTION 1 APPLICANT INFORMATION

ORGANIZATION NAME: **Slaughter Neck Community Action Organization INC**

PROJECT NAME: **Senior Center**

FEDERAL TAX ID: **51 010 9444** ✓ NON-PROFIT: YES NO

DOES YOUR ORGANIZATION OR ITS PARENT ORGANIZATION HAVE A RELIGIOUS AFFILIATION?
 YES NO *IF YES, FILL OUT SECTION 3B.

ORGANIZATION'S MISSION: The mission of the Slaughter Neck Community Action Organization is to create a positive environment for the Slaughter Neck community & to enhance programs that will help our senior's, youth, and children to grow, be health, & enjoy the services provided for them.

ADDRESS: **22942 Slaughter Neck Rd**

Lincoln **De** **19960**
 (CITY) (STATE) (ZIP)

CONTACT PERSON: **Vance G. Daniels / Roslyn D. Harris**

TITLE: **President Director**

PHONE: _____ EMAIL: _____

TOTAL FUNDING REQUEST: **\$ 3,000.00**

Has your organization received other grant funds from Sussex County Government in the last year? YES NO

If YES, how much was received in the last 12 months? **6,300.00**

If you are asking for funding for building or building improvements, do you own the building in which the funding will be used for? YES NO

Are you seeking other sources of funding other than Sussex County Council? YES NO

If YES, approximately what percentage of the project's funding does the Council grant represent?

SECTION 2: PROGRAM DESCRIPTION

PROGRAM CATEGORY (choose all that apply)		
Fair Housing Infrastructure ¹	<input type="checkbox"/> Health and Human Services <input type="checkbox"/> Other	<input type="checkbox"/> Cultural <input type="checkbox"/> Educational
BENEFICIARY CATEGORY		
<input type="checkbox"/> Disability & Special Needs <input type="checkbox"/> Elderly Persons <input type="checkbox"/> Minority	<input type="checkbox"/> Victims of Domestic Violence <input type="checkbox"/> Low to Moderate Income ² <input type="checkbox"/> Other	<input type="checkbox"/> Homeless <input type="checkbox"/> Youth
BENEFICIARY NUMBER		
Approximately the total number of Sussex County Beneficiaries served annually by this program:		

SECTION 3: PROGRAM SCOPE

- A. Briefly describe the program for which funds are being requested. The narrative should include the need or problem to be addressed in relation to the population to be served or the area to benefit.

The funds will be used for The senior program. The Slaughter Neck senior program operates four (4) days a week and offers breakfast daily from 7:30-11:30 daily. The seniors participate in various activities and enjoy socializing,with each other.

We are requesting funds to help out with the senior program.

The program is in need of operating funds to purchase new appliances, a computer, printer, and new tables and chairs for the hall. The Slaughter Neck Community Action Organization receives \$11, 580.00 a quarter which is for bills, salaries, and upkeep on the building. We always run out of funds before the next quarter.

We appreciate anything you can do for us, and thank you for what you have done for us in the pass.

B. IF RELIGIOUS AFFILIATION WAS CONFIRMED ABOVE IN SECTION 1, PLEASE FILL OUT THE FOLLOWING SECTION. IF RELIGIOUS AFFILIATION WAS NOT CHECKED IN SECTION 1, THIS SECTION MAY BE LEFT BLANK.

A faith-based nonprofit organization is eligible to receive and apply for a grant on the same basis as other nonprofit organizations, with respect to programs which are eligible. In the selection of grantees, the County will not discriminate for or against an organization on the basis of the organization's religious characterization or affiliation. However, certain requests to utilize funding for programs with religious purposes may not be eligible due to constitutional principles of the United States and/or the State of Delaware.

Briefly describe the components of the program that involve religious purposes and the components that involve secular purposes, or non-religious purposes. If both non-religious and religious purposes are involved in the program, this narrative must include the specific actions that will be implemented in order to ensure that the funding is solely used for non-religious purposes and will not be used to advance or inhibit religious or faith-based activities.

After the awarded funds have been made, receipts of the non-religious purchases shall be submitted in accordance with Section 5 below before funds will be disbursed.

SECTION 4: BUDGET

<p style="text-align: center;">REVENUE</p> <p>Please enter the current support your organization receives for this project (not entire organization revenue if not applicable to request)</p>	46,800.00
TOTAL REVENUES	
<p style="text-align: center;">EXPENDITURES</p> <p>Please enter the total projected budget for the project (not entire organization expense if not applicable to request). Example of expenditure items: PERSONNEL-one lump sum that would include benefits, OPERATING COSTS-supplies, equipment, rent/lease, insurance, printing telephone, CONSTRUCTION/ACQUISITION-acquisition, development, rehab hard cost, physical inspections, architectural engineering, permits and fees, insurance, appraisal. (Put amounts in as a negative)</p>	
Personnel	33,000.00
Insurance	3,800.00
Utilities	9,000.00
Food + Supplies	3,100.00
Inspections	5,500.00
Telephone	1,600.00
Supplies	6,000.00
Federal + State Tax	2,100.00
TOTAL EXPENDITURES	64,100.00
TOTAL DEFICIT FOR PROJECT OR ORGANIZATION	17,300.00


SECTION 5: STATEMENT OF ASSURANCES

If this grant application is awarded funding, the Slaughter Neck Community Action Organization agrees that:
(Name of Organization)

- 1) For non-religious organizations, all expenditures must have adequate documentation and must be expended within one (1) year of receipt of award funds. The funding awarded to the organization must be used in substantial conformity with the anticipated expenditures set forth in the submitted application. All accounting records and supporting documentation shall be available for inspection by Sussex County within thirty (30) days after the organization's expenditure of the awarded funding, or within one year after the receipt of the awarded funds, whichever first occurs.
- 2) For religious organizations, all accounting records and supporting documentation shall be provided for inspection by Sussex County after the award has been made by County Council but before the funding is released.
- 3) No person, on the basis of race, color, or national origin, should be excluded from participation in, be denied the benefit of, or be otherwise subjected to discrimination under the program or activity funded in whole or in part by these Grant funds.

SECTION 5: STATEMENT OF ASSURANCES (continued)

- 4) All information and statements in this application are accurate and complete to the best of my information and belief.
- 5) All funding will benefit only Sussex County residents.
- 6) All documents submitted by the applicant are defined as public documents and available for review under the Freedom of Information Act of the State of Delaware.
- 7) All funding will be used exclusively for secular purposes, i.e., non-religious purposes and shall not be used to advance or inhibit religious purposes.
- 8) In the event that the awarded funding is used in violation of the requirements of this grant, the awarded funding shall be reimbursed to Sussex County within a timeframe designated by Sussex County by written notice.


Applicant/Authorized Official Signature

May 9, 2023

Date



Witness Signature

5/9/23
Date

Completed application can be submitted by:

Email: gjennings@sussexcountyde.gov

Mail: Sussex County Government
Attention: Gina Jennings
PO Box 589
Georgetown, DE 19947

Re: 

SUSSEX COUNTY COUNCIL NON-PROFIT GRANT PROGRAM
GUIDELINES FOR SUBMITTAL AND AFFIDAVIT OF UNDERSTANDING

The Sussex County Council makes available a limited amount of funding to non-profit organizations that serve the citizens of Sussex County. Each application for funding shall be evaluated by Sussex County administrative staff and shall be subject to final approval from Sussex County Council.

In the attached application, each organization must outline its intended uses for the awarded funding and provide a detailed breakdown of the expenses and costs for such uses. Any funding awarded to the organization must be used in substantial conformity with anticipated expenditures of the submitted application.

All expenditures must have adequate documentation and must be expended within one (1) year of award of funds.

For non-religious organizations, all accounting records and supporting documentation shall be available for inspection by Sussex County within thirty (30) days after the organization's expenditure of the awarded funding, or within one year after the receipt of the awarded funds, whichever first occurs.

For religious organizations, all accounting records and supporting documentation shall be provided for inspection by Sussex County after the award has been made by County Council but before funding is released. Grant is relinquished if supporting documentation is not provided within one year of County Council award.

Certain programs are not eligible for funding pursuant to United States Constitution and State of Delaware Constitution. Those constitutional principles prohibit the use of funding to advance or inhibit religious activities. By signing below, the organization acknowledges that the funding shall be used exclusively for secular purposes, i.e., non-religious purposes and shall not be used to advance or inhibit religious activities.

In the event that such funding is used in violation of the requirements and assurances contained in this grant application, the awarded funding shall be reimbursed to Sussex County within a timeframe designated by Sussex County by written notice.

I acknowledge and represent on behalf of the applicant organization that I have read and understand the above statements.

Lashon D. Harris
Applicant/Authorized Official Signature

Director
Title

V. Buffin Daniels
Witness Signature

5/9/23
Date

VINCENT
YCS. 5/19.

Bobbi Albright

From: notifications@d3forms.com@mg.d3forms.com on behalf of Sussex County DE
<notifications@d3forms.com>
Sent: Wednesday, May 17, 2023 11:23 PM
To: Bobbi Albright
Subject: Sussex County DE - Council Grant Form: Form has been submitted

Follow Up Flag: Follow up
Flag Status: Flagged

CAUTION: This email originated from outside of the organization. Do not click links, open attachments, or reply unless you recognize the sender and know the content is safe. Contact the IT Helpdesk if you need assistance.

Council Grant Form

Legal Name of Agency/Organization Eastern Shore AFRAM Festival Inc

Project Name AFRAM FESTIVAL

Federal Tax ID 050-59-5124 ✓

Non-Profit Yes

Does your organization or its parent organization have a religious affiliation? (If yes, fill out Section 3B.) No

Organization's Mission ✨ Please Share

♥♥♥ PSA

SEAFORD, Delaware
(MAY 2023) - Vending spaces are available for the Eastern Shore AFRAM Festival

This family-friendly festival takes place on Saturday, August 12 2023; from 8am-6pm in Seaford, Sussex County, Delaware.

Vending spaces are available for the: Eastern Shore AFRAM Festival in the City of Seaford, Delaware.

Vendor spaces are categorized by Food, Non-food, and Non-Profit.

Email: [✉ EasternShoreAFRAM22@Gmail.com](mailto:EasternShoreAFRAM22@Gmail.com) for an application.

Early Bird Prices are NOW available!!!

The Eastern Shore AFRAM Festival is viewed as source of sales and networking opportunities for a wide variety of small business owners, organizations, and vendors of African, Pan-African and Afro-centric cultural products. Non-Profit Organizations are able to expand their outreach to a diverse community at a special rate. Even at standard rates, booth spaces are very affordable.

Each year this FREE outdoor African American multicultural festival attracts thousands of visitors to enjoy, and experience live music, cultural foods, exhibits and special presentations from across the diaspora. The line up includes 5k Walk for Change, Lil Ms. AFRAM Pageant ,Self Expression Auto Club Car Show, Traditional African Drumming and Dancing, live bands, performers, and DJ's presenting Jazz, Blues, Motown, R& B, Latin, Reggae and Calypso.

The new location for the Eastern Shore AFRAM Festival 26th Edition will be:

The Ross Station Event Center at the Ross Mansion; a historic landmark of the Seaford

Historical Society.

The festival is near the Seaford Sports Complex; the Festival's previous location.

For the best route visit
maps.app.goo.gl/Yw4nojGdP7m1ZDm26

23669 Ross Station Rd,
Seaford, DE 19973

The Eastern Shore AFRAM Festival is sponsored by:

♥ OUTLOUD, LLC

♥ Cornerstone Community Center, LLC.

&

♥ Eastern Shore AFRAM Festival DreamTeam Committee

Event information: links to the Facebook , Twitter and Instagram.

Eastern Shore AFRAM Festival, Inc. is a 501 c 3 corporation.

For additional information, contact:

Jalyn Powell, Executive Director

Eastern Shore AFRAM Festival, Inc.

P.O. Box 687

Seaford, DE 19973

Email:

EasternShoreAFRAM22@Gmail.com

	Phone 📞 (302) 228-5636
Address	P.O. Box 687
City	Seaford
State	Delaware
Zip Code	19973
Contact Person	Jalyn Powell
Contact Title	Executive Director
Contact Phone Number	302-228-5636
Contact Email Address	councilwomanpj@comcast.net
Total Funding Request	1,000
Has your organization received other grant funds from Sussex County Government in the last year?	Yes
If YES, how much was received in the last 12 months?	1000
Are you seeking other sources of funding other than Sussex County Council?	Yes

If YES, approximately what percentage of the project's funding does the Council grant represent?

10

Program Category (choose all that apply)

Cultural
Educational

Primary Beneficiary Category

Minority

Approximately the total number of Sussex County Beneficiaries served, or expected to be served, annually by this program

1000

Scope

The funds would be allotted to showcasing performing artist.
Which would include, but not limited to: Drummers, Dancers and Cultural bands.
It would also include and ethnicity education workshop.

Please enter the current support your organization receives for this project (not entire organization revenue if not applicable to request)

9,000.00

Description

Seaford Historical Society Rental facilities

Amount

3,500.00

Description

Sound

Amount 1,000.00

Description Stage Tent

Amount 3,000.00

Description Entertainment

Amount 3,000.00

TOTAL EXPENDITURES 10,500.00

**TOTAL DEFICIT FOR
PROJECT OR
ORGANIZATION** -1,500.00

Name of Organization Eastern Shore AFRAM Festival Inc

**Applicant/Authorized
Official** Jayln Powell

Date 05/17/2023

**Affidavit
Acknowledgement** Yes

To Be Introduced: 6/6/23

Council District 4: Mr. Hudson
Tax I.D. No. 134-17.07-173.02
911 Address: N/A

ORDINANCE NO. ____

AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN MR MEDIUM DENSITY RESIDENTIAL DISTRICT FOR MULTI-FAMILY DWELLINGS (5 UNITS) TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN BALTIMORE HUNDRED, SUSSEX COUNTY, CONTAINING 1.4 ACRES, MORE OR LESS

WHEREAS, on the 17th day of October 2022, a conditional use application, denominated Conditional Use No. 2400 was filed on behalf of Kent Walston, LLC; and

WHEREAS, on the ____ day of _____ 2023, a public hearing was held, after notice, before the Planning and Zoning Commission of Sussex County, and said Planning and Zoning Commission recommended that Conditional Use No. 2400 be _____; and

WHEREAS, on the ____ day of _____ 2023, a public hearing was held, after notice, before the County Council of Sussex County and the County Council of Sussex County determined, based on the findings of facts, that said conditional use is in accordance with the Comprehensive Development Plan and promotes the health, safety, morals, convenience, order, prosperity and welfare of the present and future inhabitants of Sussex County, and that the conditional use is for the general convenience and welfare of the inhabitants of Sussex County.

NOW, THEREFORE, THE COUNTY OF SUSSEX HEREBY ORDAINS:

Section 1. That Chapter 115, Article V, Subsection 115-39, Code of Sussex County, be amended by adding the designation of Conditional Use No. 2400 as it applies to the property hereinafter described.

Section 2. The subject property is described as follows:

ALL that certain tract, piece or parcel of land, lying and being situate in Baltimore Hundred, Sussex County, Delaware, and lying on the east side of Kent Avenue (S.C.R. 361), approximately 350 feet north of Jefferson Bridge Road (S.C.R. 361A), and being more particularly described in the attached deed prepared Sergovic, Carmean, Weidman, McCartney & Owens, P.A., said parcel containing 1.4 acres, more or less.

This Ordinance shall take effect immediately upon its adoption by majority vote of all members of the County Council of Sussex County, Delaware.

To Be Introduced: 6/6/23

Council District 4: Mr. Hudson
Tax I.D. No. 533-18.00-61.01
911 Address 38288 London Avenue, Units 50-53, Selbyville

ORDINANCE NO. ____

AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT TO AMEND CONDITIONS OF APPROVAL FOR CONDITIONAL USE NO. 1492 (ORDINANCE NO. 1653), RELATING TO CONTRACTING WORK, OFFICE WORK, AND GENERAL BUSINESS TO BE CONDUCTED ON THE SITE, AND ALSO RELATING TO OCCUPANCY OF THE UNITS AS A PRINCIPAL PLACE OF BUSINESS TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN BALTIMORE HUNDRED, SUSSEX COUNTY, CONTAINING 10.80 ACRES, MORE OR LESS.

WHEREAS, on the 22nd day of September 2022, a conditional use application, denominated Conditional Use No. 2403 was filed on behalf of Beach Buggies, LLC; and

WHEREAS, on the ____ day of _____ 2023, a public hearing was held, after notice, before the Planning and Zoning Commission of Sussex County, and said Planning and Zoning Commission recommended that Conditional Use No. 2403 be _____; and

WHEREAS, on the ____ day of _____ 2023, a public hearing was held, after notice, before the County Council of Sussex County and the County Council of Sussex County determined, based on the findings of facts, that said conditional use is in accordance with the Comprehensive Development Plan and promotes the health, safety, morals, convenience, order, prosperity and welfare of the present and future inhabitants of Sussex County, and that the conditional use is for the general convenience and welfare of the inhabitants of Sussex County.

NOW, THEREFORE, THE COUNTY OF SUSSEX HEREBY ORDAINS:

Section 1. That Chapter 115, Article IV, Subsection 115-22, Code of Sussex County, be amended by adding the designation of Conditional Use No 2403 as it applies to the property hereinafter described.

Section 2. The subject property is described as follows:

ALL that certain tract, piece or parcel of land, lying and being situate in Baltimore Hundred, Sussex County, Delaware, and lying on the south side of Lighthouse Road (Rt. 54) approximately 0.41-mile northwest of Dickerson Road (S.C.R. 389) and being more particularly described in the attached Lot Line Adjustment Plan prepared by John B. Roach, P.E., said parcel containing 10.80 acres, more or less.

This Ordinance shall take effect immediately upon its adoption by majority vote of all members of the County Council of Sussex County, Delaware.

To Be Introduced: 6/6/23

Council District 1: Mr. Vincent
Tax I.D. No. 331-3.00-138.00 (p/o)
911 Address N/A

ORDINANCE NO. ____

AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR A SOLAR FARM TO BE LOCATED ON A 26.7189 ACRE PORTION OF A CERTAIN PARCEL OF LAND LYING AND BEING IN SEAFORD HUNDRED, SUSSEX COUNTY, CONTAINING 40.9655 ACRES, MORE OR LESS

WHEREAS, on the 11th day of April 2022, a conditional use application, denominated Conditional Use No. 2364 was filed on behalf of Seaford Community Energy Initiative, LLC; and

WHEREAS, on the ____ day of _____ 2023, a public hearing was held, after notice, before the Planning and Zoning Commission of Sussex County and said Planning and Zoning Commission recommended that Conditional Use No. 2364 be _____; and

WHEREAS, on the ____ day of _____ 2023, a public hearing was held, after notice, before the County Council of Sussex County and the County Council of Sussex County determined, based on the findings of facts, that said conditional use is in accordance with the Comprehensive Development Plan and promotes the health, safety, morals, convenience, order, prosperity and welfare of the present and future inhabitants of Sussex County, and that the conditional use is for the general convenience and welfare of the inhabitants of Sussex County.

NOW, THEREFORE, THE COUNTY OF SUSSEX HEREBY ORDAINS:

Section 1. That Chapter 115, Article IV, Subsections 115-22, Code of Sussex County, be amended by adding the designation of Conditional Use No. 2364 as it applies to the property hereinafter described.

Section 2. The subject property is described as follows:

ALL that certain tract, piece or parcel of land, lying and being situate in Seaford Hundred, Sussex County, Delaware, and lying on the east side of Conrail Road (S.C.R. 546) approximately 0.71 mile south of Hearn's Pond Road (S.C.R. 544) and being more particularly described in the attached legal description prepared by Becker Morgan Group, Inc., said portion of the parcel containing 26.7189 acres, more or less.

This Ordinance shall take effect immediately upon its adoption by majority vote of all members of the County Council of Sussex County, Delaware.

To Be Introduced: 6/6/23

Council District 1: Mr. Vincent
Tax I.D. No.: 232-12.00-4.00 (p/o)
911 Address: N/A

ORDINANCE NO. ____

AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR A SOLAR FARM TO BE LOCATED ON A 30.1 ACRE PORTION OF A CERTAIN PARCEL OF LAND LYING AND BEING IN BROAD CREEK HUNDRED, SUSSEX COUNTY, CONTAINING 143.09 ACRES, MORE OR LESS

WHEREAS, on the 29th day of June 2022, a conditional use application, denominated Conditional Use No. 2383 was filed on behalf of Consolidated Edison Development, Inc.; and

WHEREAS, on the ____ day of _____ 2023, a public hearing was held, after notice, before the Planning and Zoning Commission of Sussex County and said Planning and Zoning Commission recommended that Conditional Use No. 2383 be _____; and

WHEREAS, on the ____ day of _____ 2023, a public hearing was held, after notice, before the County Council of Sussex County and the County Council of Sussex County determined, based on the findings of facts, that said conditional use is in accordance with the Comprehensive Development Plan and promotes the health, safety, morals, convenience, order, prosperity and welfare of the present and future inhabitants of Sussex County, and that the conditional use is for the general convenience and welfare of the inhabitants of Sussex County.

NOW, THEREFORE, THE COUNTY OF SUSSEX HEREBY ORDAINS:

Section 1. That Chapter 115, Article IV, Subsection 115-22, Code of Sussex County, be amended by adding the designation of Conditional Use No. 2383 as it applies to the property hereinafter described.

Section 2. The subject property is described as follows:

ALL that certain tract, piece or parcel of land, lying and being situate in Broad Creek Hundred, Sussex County, Delaware, and lying on the southwest side of Woodland Ferry Road (S.C.R. 78) approximately 635 feet northwest of Old Sailor Road (S.C.R. 78A) and being more particularly described in the attached legal description prepared by Langan Engineering and Environmental Services, Inc., said portion of the parcel containing 30.1 acres, more or less.

This Ordinance shall take effect immediately upon its adoption by majority vote of all members of the County Council of Sussex County, Delaware.



Memorandum

To: Sussex County Council
The Honorable Michael H. Vincent
The Honorable Cynthia C. Green
The Honorable Douglas B. Hudson
The Honorable John L. Rieley
The Honorable Mark G. Schaeffer

From: Jamie Whitehouse, AICP, Director of Planning & Zoning

CC: Everett Moore, County Attorney

Date: June 2, 2023

RE: County Council Report for C/U 2353 filed on behalf of Sussex CSG 2, LLC

The Planning and Zoning Department received an application (C/U 2353 filed on behalf of Sussex CSG 2, LLC) for a Conditional Use for parcels 433-6.00-18.00, 20.00 & 26.00 for a solar farm. The property is located on the south side of Gum Tree Road (SCR 405), the west side of DuPont Boulevard (Rt. 113), and the north side of Blueberry Lane (SCR 402). The parcel size is 55.00 acres +/-.

The Planning & Zoning Commission held a Public Hearing on the application on May 11, 2023. At the meeting of May 25, 2023, the Planning & Zoning Commission recommended approval of the application for the 10 reasons stated and subject to the 11 recommended conditions as outlined within the motion (copied below).

Below are the minutes from the Planning & Zoning Commission meetings of May 11, 2023 and May 25, 2023.

Minutes of the May 11, 2023, Planning & Zoning Commission Meeting

C/U 2353 Sussex CSG 2, LLC

AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR A SOLAR FARM TO BE LOCATED ON A 28.09 ACRE PORTION OF A CERTAIN PARCEL OF LAND LYING AND BEING IN DAGSBORO HUNDRED, SUSSEX COUNTY, CONTAINING 55.00 ACRES, MORE OR LESS. The properties are lying on the south side of Gum Tree Road (S.C.R. 405), the west side of DuPont Boulevard (Rt. 113), and the north side of Blueberry Lane (S.C.R. 402). Address: N/A. Tax Map Parcels: 433-6.00-18.00, 20.00 & 26.00.



Mr. Whitehouse advised the Commission that submitted into the record were the Applicant's Conceptual Site Plan, the Applicant's Exhibit Booklet, which includes a Wetland and Water Course Investigation Report, the Staff Analysis, the DelDOT Service Level Evaluation Response, and a response received from the Delaware Division of Fish and Wildlife. Mr. Whitehouse stated that zero comments had been received for the Application.

The Commission found that Mr. James Fuqua, Esq. with Fuqua, Willard & Schab, P.A., spoke on behalf of the Applicant. Mr. Fuqua stated also present were Mr. Kieran Siao on behalf of the Applicant and Mr. Alan Decktor of Pennoni Associates; that both this application and the following application are for solar fields, being filed by the same Applicant; that he requested to have the comments for the current Application be included into the record for the previous application, C/U 2354 Sussex CSG 1, LLC; that there was an exhibit booklet submitted into the record, containing information about the Application; that the applicant is owned by a company called Dimension Renewable Energy, who is a national company that focuses on community solar facilities and battery storage development; that Dimension operates many community facilities throughout the country; that he was first contacted by the company in October 2021; that the solar facilities Conditional Use applications were both filed in February 2022, being over 15 months ago; that at the time community solar facilities were fairly new to him and the Commission; that currently he believed the Commission had seen up to 10 solar field applications; that the frequent solar applications resulted in a Solar Ordinance which had recently been adopted; that he was notified within the past hour or two of an issue with the Application for the C/U 2353 site located in Frankford; that the Application and the staff analysis reference a parcel of land being 55 acres +/-; that the actual Conditional Use portion consists of 28 acres +/-; that the advertisement reflects a total site area of 28 acres +/-, with a Conditional Use portion of 14 acres +/-; that he was unsure where the 14 acres derived from; that he believed the number may have come from one of the three parcels which make up the entire property; that he would request to proceed with the presentation, unless staff felt the public hearing required readvertisement, and the public hearing date before County Council is scheduled for June 6, 2023.

Mr. Robertson questioned if the correct properties and road names were included in the advertisement and provided posted notification.

Mr. Fuqua stated the advertisement included the correct properties, the property address, and the yellow notice sign was posted on the correct property.

Mr. Whitehouse confirmed the advertisement included the correct parcel numbers and it was the acreage totals that are incorrect.

Ms. Stevenson questioned if all the adjacent property owners were notified.

Mr. Whitehouse stated that all adjacent property owners were provided notification by mail; that there were two acreage totals; that he would confirm the information and provide an update at the end of Mr. Fuqua's presentation.

Mr. Fuqua stated the application for C/U 2353 involves three different parcels; that the site contains approximately 54 acres of land; that the site is owned by Frankford Center, LLC; that the land is located just west of Frankford; that the site has road frontage on the south side of Gumtree Rd, being to the north; that the property is located to the west side of Rt. 113 and the north side of Blueberry Lane; that the Applicant is proposing to lease approximately 29.1 acres of the entire 54-acre site; that

the leased portion of land would be located on the western portion of the property; that the lease term would be a 25-year lease, with two five year options to extend the lease, equaling a maximum of 35 years; that the Conditional Use area borders the remainder of the site to the north and the east; that to the west there is a tax ditch right of way and a Delmarva Power easement; that to the south there are several residential properties; that a portion of the 54 acres parcel, being the portion located within 500 ft. of Rt. 113, is zoned C-1 (General Commercial); that the remainder of the site is located within AR-1 (Agricultural Residential); that the entire Conditional Use portion would be within the AR-1 portion of the site; that under the Comprehensive Plan's Future Land Use Map, the commercial zoned land is designated as being commercial; that the AR-1 portion of land is designated part Town Center and part Developing Area; that the Conditional Use area is located within the Town Center and Developing Area designations; that within the Comprehensive Plan, Goal 7.3 encourages the use of renewable energy options, such as the community solar facilities being proposed; that the entrance is proposed from Gumtree Rd.; that the entrance will be designed and constructed per DelDOT's requirements; that there will be a gravel access road that extends along the western side of the solar array fields; that there would be one unlight sign at the entrance; that the sign will not exceed 32 sq. ft. on each side; that DelDOT indicated in the Service Level Evaluation Response that the traffic impact would be diminutive, and that no further studies were required; that it is anticipated that after the construction of the facility, traffic to the site would be limited to bi-annual equipment inspections, routine property maintenance, grass cutting and equipment repair when required; that there are no on-site employees; that all equipment is monitored remotely; that the solar array field would have a seven foot security fence around the perimeter; that there would be an emergency key box at the entrance for emergency responders; that the solar arrays will be ground mounted, flex track, solar panels; that other equipment will consist of inverters and transformers, which are to be located on two separate equipment pads; that the solar grounds will be seeded with a pollinator seed mix, providing a slow growing and environmentally friendly ground cover; that the southern boundary, nearest to the residences, would have landscape buffers; that the landscape buffers will be 30 ft. wide; that there is a section where the 30 ft. width does slim down to about 15 ft; that there are about three homes located within the 15 ft. buffer area; that the access road to those homes is located on the subject property, in the area the buffer would be located; that there is a Operation and Maintenance Plan included within the exhibit booklet, which provides details on how maintenance will be performed; that the site maintenance will consist of conventional mowing and trimming; that no animals are involved in maintenance for the site; that minimal sound is associated with the Application; that the proposed sound is a low hum created by the inverters; that a Glare Analysis was performed, which predicted no potential glare resulting from the panels; that no odors, dust, smoke, or heat are associated with the operation; that stormwater management would comply with all State and County requirements; that there will be no impact on sewer or water; that the solar facility is anticipated to generate 7.62 GW hours of electricity, which will power approximately 850 homes; that the facility would connect to the Delmarva Power grid at a location near the entrance on Gumtree Rd.; that it is anticipated that the productive life of the facility will about 30 to 35 years, which would correspond to the lease terms; that there is a Decommissioning Plan included in the exhibit booklet, which explains that upon the expiration of the lease or the earlier termination of the use, all equipment and materials would be removed from the site and properly disposed of; that the site would return to its current condition; that the Decommissioning Plan provides for a security in the form of a decommissioning bond, to cover the cost of the restoration, if necessary; that the estimated cost in terms of the security bond will be provided as part of the Final Site Plan review, which would be reviewed by the Commission; that the proposed facility is authorized by and subject to the laws of the State of Delaware, specifically, Title 26 of the Delaware Code, which was the amendment to the law regulating community owned energy generating facilities and renewable energy; that the project will be operated

in compliance with that statute, and he requested to submit proposed Findings and Conditions for the Application.

Ms. Wingate questioned if the fence is proposed around the entire perimeter of the property and what the fence would be made of.

Mr. Fuqua stated the fence is proposed to be a seven-foot, chain-link security fence, with emergency access at the gate.

Mr. Whitehouse advised the Commission that approximately 26 notifications were sent out by mail to neighboring properties, and he believed there was sufficient time to re-notice with new postcards ahead of the scheduled public hearing before the County Council.

The Commission found there was no one present in the room or by teleconference who wished to speak in support of or opposition to the Application.

Upon there being no further questions, Chairman Wheatley closed the public hearing.

At the conclusion of the public hearing, the Commission discussed the Application.

In relation to C/U 2353 Sussex CSG 2, LLC. Motion by Mr. Mears to defer action for further consideration, seconded by Ms. Wingate and carried unanimously. Motion carried 4-0.

Minutes of the May 25, 2023, Planning & Zoning Commission Meeting

The Commission discussed the Application which had been deferred since May 11, 2023.

Mr. Mears moved that the Commission recommend approval of C/U 2353 Sussex CSG2, LLC for a solar farm in the AR-1 District based on the record made during the public hearing and for the following reasons:

1. The proposed facility is a public utility use under the Sussex County Zoning Code, and it meets the purposes of a Conditional Use because it has a public or semi-public character that is essential and desirable for the general convenience and welfare of Sussex County residents.
2. This is an adaptive use of farmland that will preserve it from more intensive development. The solar farm will be located on approximately 28.09 acres of a larger 54-acre tract.
3. The proposed facility promotes Goal 7.3 of the Sussex County Comprehensive Plan which encourages the use of renewable energy options such as solar farms. There was testimony that this solar farm will benefit residential, business, and municipal subscribers with lower power costs.
4. With the conditions imposed in this recommendation including landscaped buffers, the proposed use will not have any adverse impact on the neighborhood.
5. The proposed solar generation facility will not result in any noticeable increase in traffic on area roadways. There are no regular employees at the site, only periodic visits for inspections, maintenance, or repair of the solar panels.
6. The Applicant has included a Decommissioning Plan in the record for when their solar farm is no longer in use.

7. Based on the record there is no significant noise, glare, dust, or odor that will be generated by the facility.
8. There will be a buffer of planted vegetation along the southern, southeastern, and southwestern sides of this site to screen the view of the solar farm from the nearby residential properties while allowing the solar arrays to function properly.
9. The proposed use provides a renewable energy source that is a benefit to the residents and businesses of Sussex County.
10. There was no opposition to this Application.
11. This recommendation is subject to the following conditions:
 - A. The use shall be for ground-mounted solar farm. No other types of electric generation shall be permitted at the site.
 - B. The Final Site Plan shall clearly show the limits of the Conditional Use area for this solar farm as well as the remaining acreage that is not part of this Conditional Use.
 - C. Any lighting on the facility shall only consist of perimeter lighting needed for security purposes. All lighting shall be downward screened so that it does not shine on neighboring properties or roadways.
 - D. One unlit sign, not to exceed 32 square feet in size, shall be permitted. The sign shall identify the operator of the solar farm and shall provide contact information in case of emergency.
 - E. The site shall be secured by fencing with a gate with a “Knox Box” or similar device to accommodate emergency access by the local fire company or other emergency responders. The fence line shall be shown on the Final Site Plan.
 - F. The location of all transformers or similar equipment or structures shall be shown on the Final Site Plan.
 - G. The entire site, including the area outside the fence, shall be maintained so that it does not become overgrown.
 - H. Stormwater management and erosion and sedimentation control facilities shall be constructed in accordance with all applicable State and County requirements. These facilities shall be operated using Best Management Practices.
 - I. There shall be a 25-foot-wide buffer of planted vegetation along the southern, southeastern, and southwestern sides of the solar area. These buffer areas shall be clearly shown on the Final Site Plan. These buffers shall screen solar arrays while allowing the solar arrays to function properly. The Final Site Plan shall include a Landscape Plan showing the proposed tree and shrub landscape design in this buffer area. Areas where the 25-foot required buffer depth cannot be achieved shall be clearly shown on the Landscape Plan.
 - J. The Final Site Plan shall identify a Decommissioning Plan that includes a financial security to ensure that funds are available for decommissioning and removal of the solar farm in its entirety throughout the life of the Conditional Use.
 - K. The Final Site Plan shall be subject to the review and approval of the Sussex County Planning & Zoning Commission.

Motion by Mr. Mears, seconded by Ms. Wingate and carried to recommend approval of C/U 2353 Sussex CSG 2, LLC for the reasons and the conditions stated in the motion. Motion carried 4-0. Mr. Hopkins abstained.

Vote by roll call: Ms. Stevenson – yea, Ms. Wingate – yea, Mr. Mears – yea, Chairman Wheatley – yea

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY J. WINGATE



Sussex County

DELAWARE
sussexcountyde.gov
302-855-7878 T
302-854-5079 F
JAMIE WHITEHOUSE, AICP, MRTPI
DIRECTOR OF PLANNING & ZONING

PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET
Planning Commission Public Hearing Date: May 11th, 2023

Application: CU 2353 Sussex SG 2, LLC

Applicant: Sussex CSG 2, LLC c/o Sam Youneszadeh
3280 Peachtree Road, NE 7th floor
Atlanta, GA 30305

Owner: Frankford Center, LLC
11708 Bowman Green Drive
Reston, VA 20190

Site Location: Lying on the south side of Gum Tree Road (S.C.R. 405), to the west side of Dupont Boulevard (Rt. 113) and the north side of Blueberry Lane (S.C.R. 402).

Current Zoning: Agricultural Residential (AR-1) Zoning District/General Commercial (C-1) Zoning District

Proposed Zoning: Agricultural Residential (AR-1) Zoning District/General Commercial (C-1) Zoning District

Proposed Use: Solar Farm

Comprehensive Land Use Plan Reference: Commercial, Developing Area and Town Center

Councilmanic District: Mr. Hudson

School District: Indian River School District

Fire District: Frankford Fire Co.

Sewer: N/A

Water: N/A

Site Area: 28.09 acres +/- (p/o)

Tax Map ID: 433-6.00-18.00, 20.00 & 26.00



JAMIE WHITEHOUSE, AICP MRTPI
PLANNING & ZONING DIRECTOR
(302) 855-7878 T
jamie.whitehouse@sussexcountyde.gov



Sussex County

DELAWARE
sussexcountyde.gov

Memorandum

To: Sussex County Planning and Zoning Commission Members
From: Elliott Young, Planner I
CC: Mr. Vince Robertson, Assistant County Attorney and Applicant
Date: April 10, 2023
RE: Staff Analysis for CU 2353 Sussex CSG 2, LLC

The purpose of this memo is to provide background and analysis for the Planning and Zoning Commission to consider as a part of Application CU 2353 (Sussex CSG 2, LLC) to be reviewed during the May 11th, Planning and Zoning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

The request is for a Conditional Use for Tax Parcels: 433-6.00-18.00, 20.00 & 26.00 to allow for a Solar Farm. The property is lying on the south side of Gum Tree Road (S.C.R. 405, to the west side of Dupont Boulevard (Rt. 113) and the north side of Blueberry Lane (S.C.R. 402). The parcels contain 55.01-acres +/-, while the Conditional Use area contains 28.09-acres +/-.

Comprehensive Plan Analysis

The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework of how land is to be developed. As part of the Comprehensive Plan, a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use Map in the plan indicates that parcels 18.00 & 26.00 have a designation of "Developing Area" and parcel 20.00 has a designation of "Town Center." Parcels 18.00 & 20.00 have multiple comprehensive zonings (Commercial), but for the purpose of the Conditional Use application these areas of the parcels are not included in the application. Please see the Proposed Plan for reference.

As outlined in the 2018 Sussex County Comprehensive Plan, Town Center Areas are intended to support a range of housing types, including single-family homes, townhouses, and multi-family units. Commercial uses should serve the daily needs of residents, workers, and visitors. Retail and office use compatible with adjacent areas are appropriate. Institutional and commercial uses may be appropriate depending on surrounding uses. Some smaller scale, low-impact industrial operations may be appropriate, but larger industrial uses are proposed to be directed to General Industrial areas. Appropriate mixed-use development should also be allowed.

As outlined within the 2018 Sussex County Comprehensive Plan, The Developing Areas are newer, emerging growth areas that demonstrate the characteristics of developmental trends. Most of the proposed Developing Areas are adjacent to municipalities, within or adjacent to potential future annexation areas of a municipality, or adjacent to Town Centers. – A range of housing types are appropriate in Developing Areas, including single family homes, townhouses, and multi-family units. In selected areas and at appropriate intersections, commercial uses should be allowed. A variety of office uses would be appropriate in many areas. Portions of the Developing Areas with



good road access and few nearby homes should allow for business and industrial parks. Appropriate mixed-use development should also be allowed. In doing so, careful mixtures of homes with light commercial and institutional uses can be appropriate to provide for convenient services and to allow people to work close to home (Sussex County Comprehensive Plan, 4-14).

The adjoining parcels to the east also have a mix of Future Land Use Map designations, such as “Town Center” and “Commercial.” The parcels located south also have the Future Land Use Map Designation of “Developing Area.” The adjoining parcels to the west have the Future Land Use Map Designation of “Low Density” and the parcels located north across Gum Tree Road have the Future Land Use Map designation of Commercial.

Commercial Areas include concentrations of retail and service uses that are mainly located along arterials, and highways. As opposed to small, traditional downtown areas that are often historic and pedestrian-friendly, Commercial Areas include commercial corridors, shopping centers, and other medium and large commercial vicinities geared towards vehicular traffic. In addition to primary shopping destinations, this area would also be the appropriate place to locate hotels, motels, car washes, auto dealerships, and other medium and larger scale commercial uses not primarily targeted to the residents of immediately adjacent residential areas. These more intense uses should be located along main roads or near major intersections. Institutional and commercial uses may be appropriate depending on surrounding uses. Mixed-use buildings may also be appropriate for these areas.

As outlined within the 2018 Sussex County Comprehensive Plan, Low Density Areas are areas zoned Agricultural Residential (AR-1). The Plan notes that retail and office use in Low Density Areas should be focused on providing “convenience goods and services to nearby residents” as well as indicating that the commercial uses “should be limited in their location, size, and hours of operation.” (Sussex County Comprehensive Plan, 4-19) The Plan notes that these policy guidelines are provided to “maintain the rural landscape” in Low Density Areas (Sussex County Comprehensive Plan, 4-18).

Zoning Information

The subject properties have multiple zoning designations. Parcels 18.00 and 20.00 are dual zoned Agricultural Residential (AR-1) District, as well as General Commercial (C-1) District. Parcel 26.00 is zoned Agricultural Residential (AR-1).

All adjacent properties to the south and west of the subject property are zoned Agricultural Residential (AR-1) District. Most of the adjoining parcels to the east and the parcels to the north across Gum Tree Road (S.C.R. 402) are zoned General Commercial (C-1) District.

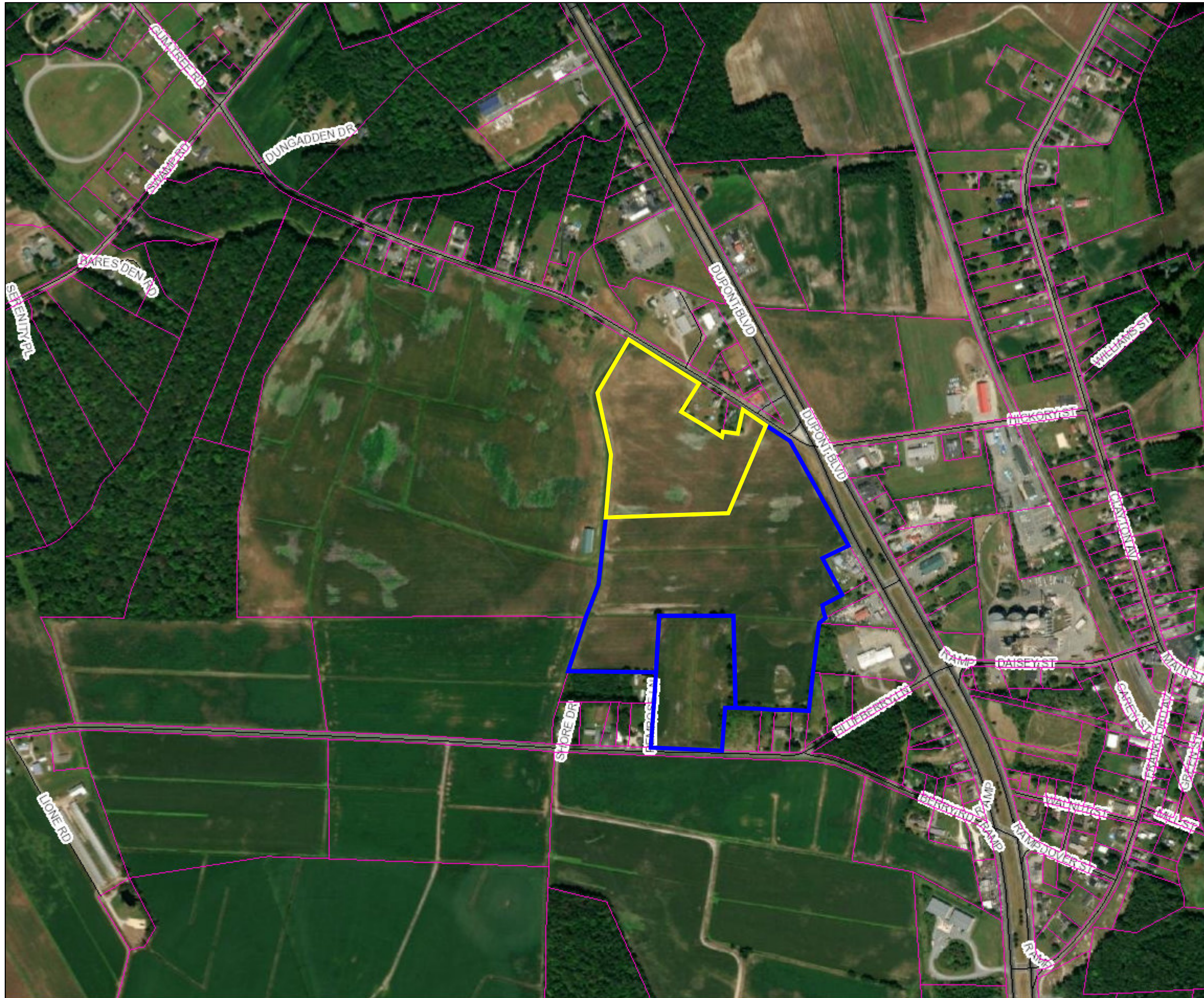
Existing Conditional Uses within the Vicinity of the Subject Property

Although historically there have been various other Conditional Use applications nearby, since 2011, there have been zero (0) Conditional Use applications within a one (1) mile radius of the application site.

Based on the analysis provided, the Conditional Use to allow for a solar farm in this location could be considered as being consistent with the surrounding land use, zoning, and uses, subject to considerations of scale and impact.



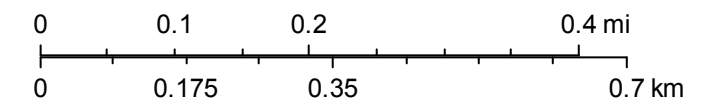
Sussex County



PIN:	433-6.00-18.00
Owner Name	FRANKFORD CENTER LLC
Book	4077
Mailing Address	11708 BOWMAN GREEN DR
City	RESTON
State	VA
Description	SW/RD 405
Description 2	NW/RT 13
Description 3	
Land Code	

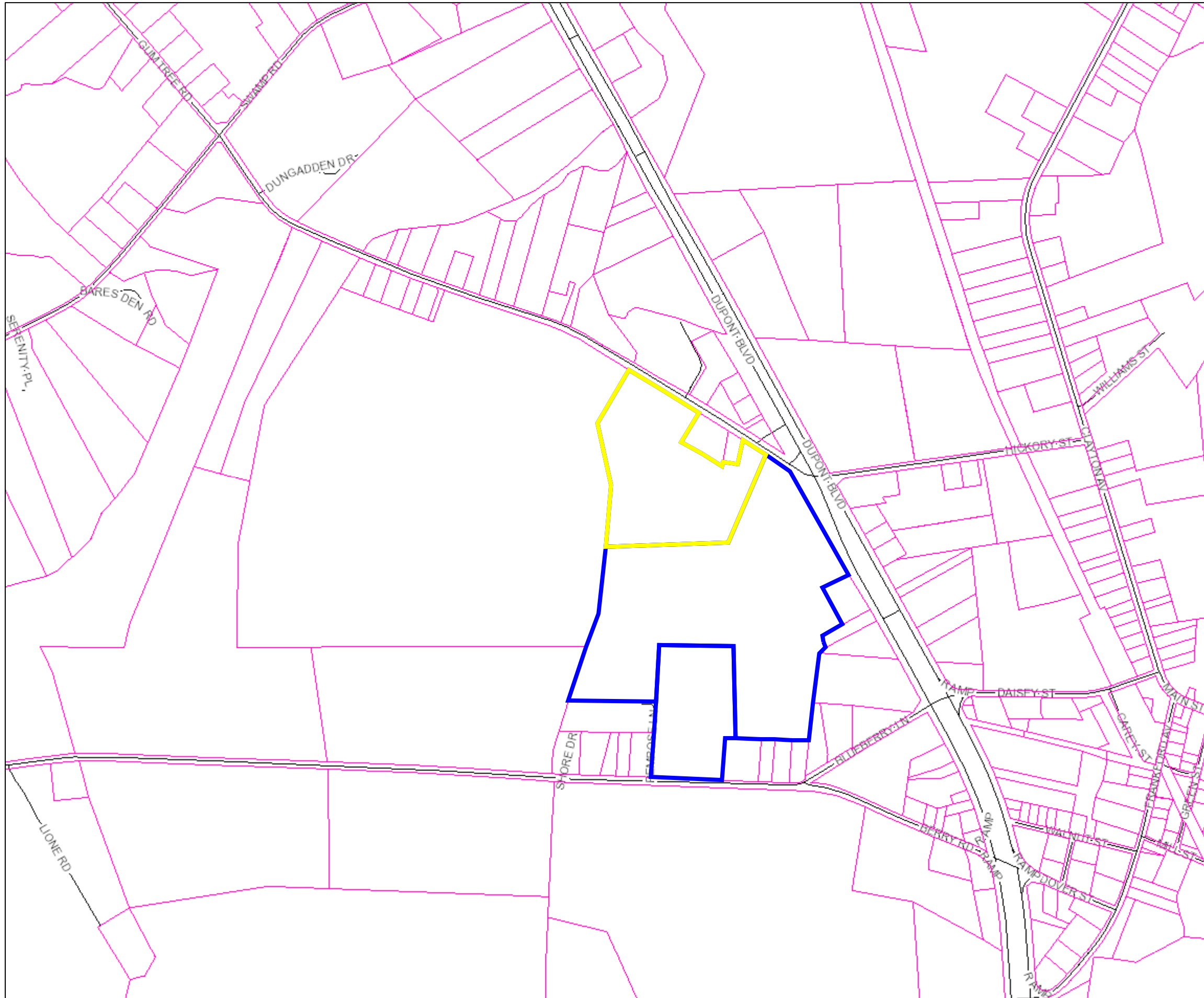
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- Tax Parcels
- Streets
- County Boundaries

1:9,028





Sussex County



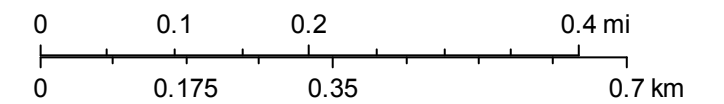
PIN:	433-6.00-18.00
Owner Name	FRANKFORD CENTER LLC
Book	4077
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City	RESTON
State	VA
Description	SW/RD 405
Description 2	NW/RT 13
Description 3	
Land Code	

- polygonLayer**

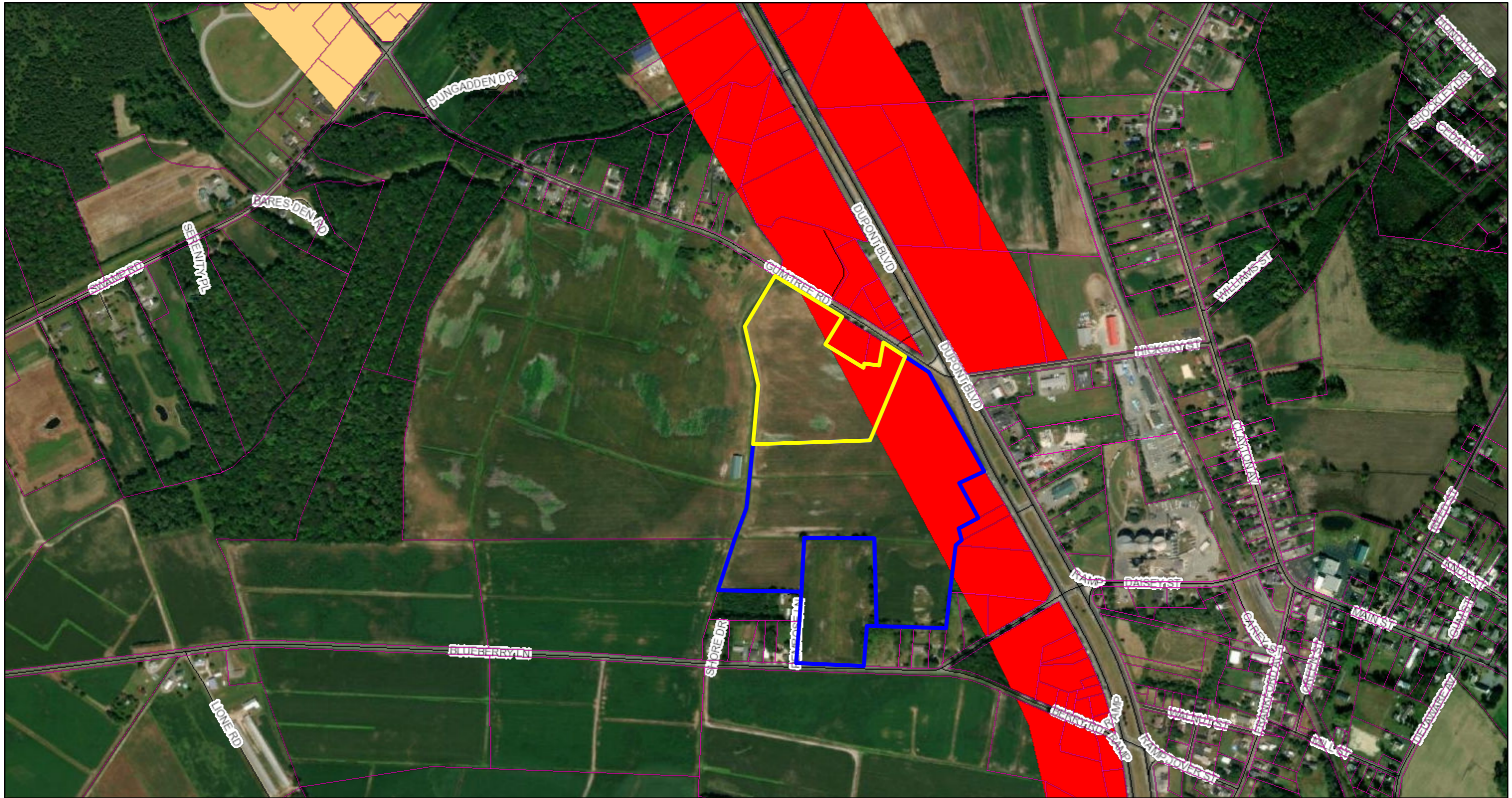
 - Override 1
- polygonLayer**

 - Override 1
- Tax Parcels
- Streets
- County Boundaries

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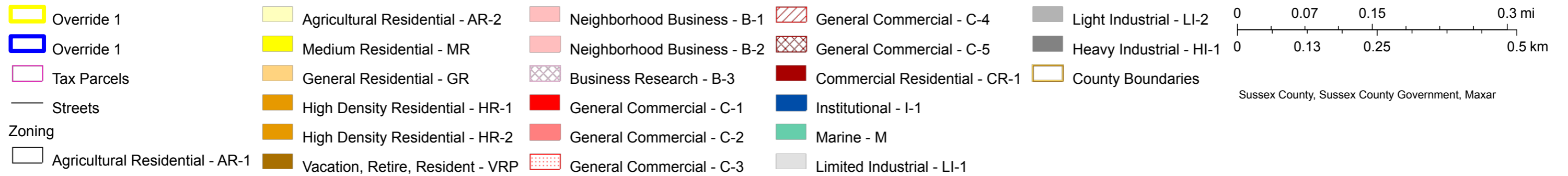


Sussex County



April 3, 2023

1:9,028



To Be Introduced: 07/26/22

Council District 4: Mr. Hudson
Tax I.D. No.: 433-6.00-18.00, 20.00, & 26.00
911 Address: N/A

ORDINANCE NO. ____

AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR A SOLAR FARM TO BE LOCATED ON A 14.64 ACRE PORTION OF A CERTAIN PARCEL OF LAND LYING AND BEING IN DAGSBORO HUNDRED, SUSSEX COUNTY, CONTAINING 28.09 ACRES, MORE OR LESS

WHEREAS, on the 23rd day of February 2022, a conditional use application, denominated Conditional Use No. 2353 was filed on behalf of Sussex CSG 2, LLC; and

WHEREAS, on the ____ day of _____ 2023, a public hearing was held, after notice, before the Planning and Zoning Commission of Sussex County and said Planning and Zoning Commission recommended that Conditional Use No. 2353 be _____; and

WHEREAS, on the ____ day of _____ 2023, a public hearing was held, after notice, before the County Council of Sussex County and the County Council of Sussex County determined, based on the findings of facts, that said conditional use is in accordance with the Comprehensive Development Plan and promotes the health, safety, morals, convenience, order, prosperity and welfare of the present and future inhabitants of Sussex County, and that the conditional use is for the general convenience and welfare of the inhabitants of Sussex County.

NOW, THEREFORE, THE COUNTY OF SUSSEX HEREBY ORDAINS:

Section 1. That Chapter 115, Article IV, Subsection 115-22, Code of Sussex County, be amended by adding the designation of Conditional Use No. 2353 as it applies to the property hereinafter described.

Section 2. The subject property is described as follows:

ALL that certain tract, piece or parcel of land, lying and being situate in Dagsboro Hundred, Sussex County, Delaware, and lying on south side of Gum Tree Road (S.C.R. 405), to the west side of DuPont Boulevard (Rt. 113), and the north side of Blueberry Lane (S.C.R. 402), and being more particularly described in the attached legal description prepared by Pennoni Associates Inc., said parcel containing 28.09 acres, more or less.

This Ordinance shall take effect immediately upon its adoption by majority vote of all members of the County Council of Sussex County, Delaware.



Memorandum

To: Sussex County Council
The Honorable Michael H. Vincent
The Honorable Cynthia C. Green
The Honorable Douglas B. Hudson
The Honorable John L. Rieley
The Honorable Mark G. Schaeffer

From: Jamie Whitehouse, AICP, Director of Planning & Zoning

CC: Everett Moore, County Attorney

Date: June 2, 2023

RE: County Council Report for C/U 2354 filed on behalf of Sussex CSG 1, LLC

The Planning and Zoning Department received an application (C/U 2353 filed on behalf of Sussex CSG 1, LLC) for a Conditional Use for parcel 532-20.00-14.00 for a solar farm. The property is located on the south side of Old Racetrack Road (SCR 502, approximately 0.75 mile east of Delmar Road. The parcel size is 23.58 acres +/-.

The Planning & Zoning Commission held a Public Hearing on the application on May 11, 2023. At the meeting of May 25, 2023, the Planning & Zoning Commission recommended approval of the application for the 9 reasons stated and subject to the 11 recommended conditions as outlined within the motion (copied below).

Below are the minutes from the Planning & Zoning Commission meetings of May 11, 2023 and May 25, 2023.

Minutes of the May 11, 2023, Planning & Zoning Commission Meeting

C/U 2354 Sussex CSG 1, LLC

AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR A SOLAR FARM TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN LITTLE CREEK HUNDRED, SUSSEX COUNTY, CONTAINING 23.58 ACRES, MORE OR LESS. The property is lying on the south side of Old Racetrack Road (S.C.R. 502), approximately 0.75 mile east of Delmar Road (Route 54). Address: N/A. Tax Map Parcel: 532-20.00-14.00.

Mr. Whitehouse advised the Commission that submitted into the record were the Applicant's Conceptual Site Plan, the Applicant's Exhibit Booklet, which includes a Wetland and Water Course



Investigation, the Staff Analysis, the DelDOT Service Level Evaluation Response, and a response from the Delaware Division of Fish and Wildlife. Mr. Whitehouse advised the Commission that zero comments had been received for the Application.

Chairman Wheatly granted the request to include the comments previously provided for C/U 2353 Sussex CSG 2, LLC into the current record for C/U 2354 Sussex CSG 1, LLC.

The Commission found that Mr. James Fuqua, Esq. with Fuqua, Willard & Schab, P.A., spoke on behalf of the Applicant. Mr. Fuqua stated also present were Mr. Kieran Siao on behalf of the Applicant and Mr. Alan Decktor of Pennoni Associates; that there was an exhibit booklet submitted into the record, containing information about the Application; that the applicant is owned by a company called Dimension Renewable Energy, who is a national company that focuses on community solar facilities and battery storage development; that Dimension operates many community facilities throughout the country; that he was first contacted by the company in October 2021; that the solar facilities Conditional Use applications were both filed in February 2022, being over 15 months ago; that at the time community solar facilities were fairly new to him and the Commission; that currently he believed the Commission had seen up to 10 solar field applications; that the frequent solar applications resulted in a Solar Ordinance which had recently been adopted; that the Conditional Use request is for a solar facility to be located on a portion of a 49 acre parcel that is owned by Shore Properties, Inc.; that the land is located on the south side of Old Racetrack Rd., being northwest of the Town of Delmar; that the Applicant would be leasing approximately 23.58 acres, located at the southeastern portion, of the 49 acre site; that the lease would be for 25 years, with two five year renewal options; that the Conditional Use area borders woodlands to the south; that the Conrail Railroad track is located to the east; that HI (Heavy Industrial) land is located to the north of the site; the entire parcel is zoned AR-1 (Agricultural Residential); that the site is designated as Industrial Area under the Comprehensive Plan's Future Land Use Map; that the solar field is located in the south east corner of the site; that the entrance would be from Old Racetrack Rd., located to the north; that the entrance would be designed and constructed to DelDOT's requirements; that a gravel access road would cross a portion of the unleashed land, to access the site, per an easement agreement; that DNREC has indicated that they have no objection to the proposed crossing of the Meadow Branch tax ditch, which runs across the property; that there would be on unlighted sign at the entrance, not exceeding 32 sq. ft. in size; that DelDOT indicated the traffic impact would be diminutive; that construction access would be very minimal and limited to inspections and maintenance; that there will be a seven-foot security fence around the perimeter of the solar array area, with an emergency key box located at the entrance; that the solar arrays will be ground mounted, flex track, solar panels; that other equipment will consist of inverters and transformers, which are to be located on an equipment pad in the middle of the solar array field; that the solar grounds will be seeded with a pollinator seed mix, providing a slow growing and environmentally friendly ground cover; the a Maintenance and Operations Plan is included within the exhibit book; that there will be no impact on sewer and water; that stormwater management will comply with State and County requirements; that there is a small area of Federal non-tidal wetlands located at the southern boundary of the solar array area; that the site design provides for a 25 ft. wide buffer around the edge of the wetlands; that in that area the perimeter boundary fence would be placed outside of the wetland buffer area; that the buffer would be located outside of the fence, with no intrusion within 25 ft of the wetland line; that there is an existing tree line located along a portion of the northern, eastern and southern boundaries of the site; that the trees will remain as a natural buffer, except for some selective trimming or removal of trees to allow the solar panels to function properly; that there is no noise or other nuisance type impacts associated with the facility; that a Glare Analysis was performed; that the study indicated a very minimal potential for glare at limited times of the year;

that glare would have a slight impact based on the location of the site; that the facility is anticipated to generate 6.69 GW of electricity, which is equivalent to service the annual power needs of 750 homes; that the project will connect to the Delmarva Power grid at a location near the site entrance along Old Racetrack Rd.; that he believed there is a substation located across the road; that a Decommissioning Plan was included within the exhibit booklet; that the estimated cost of the security decommissioning bond would be provided as part of the Final Site Plan; that the facility would operate in compliance with Title 26 of the Delaware Code, which regulates community owned energy generating facilities and he requested to submit proposed findings and conditions for the application.

Ms. Stevenson requested a definition of minimal impact relating to the glare analysis.

Mr. Fuqua stated the glare study indicated that there could be up to 300 minutes of glare could potentially be produced; that the glare would be observable from the roads located to the north and the east; that the glare potential was in the very early morning hours, within the winter and fall months; that there is roughly potential for glare on 40 days in the winter and 40 days in the fall, for a total of 80 days throughout the year; that if one were to take 300 minutes over 80 days, the potential for glare is about three minutes, 45 seconds for those 80 days; that glare impact is potential, not definitive, as there are trees that should buffer a lot of any glare impact.

Mr. Robertson questioned if the property's zoning classification was for industrial.

Mr. Fuqua stated according to the Future Land Use Map, the 54-acre site is classified as industrial.

Mr. Fred Baker spoke with concerns regarding the Application. Mr. Baker stated that he owns over 16 acres located adjacent to the site; that he does not necessarily oppose the Application; that he wanted to express his concerns regarding the negative impact on his property value, in the event he would want to develop his land; that he noticed there is a portion where no buffer is proposed, being adjacent to his land which is currently wooded; that if he chooses to keep his land wooded, there should be no impact, however, should he choose to develop there could be a negative impact; that he only wished to express his concern for the record and requested the Commission take his concern into consideration when making a decision.

The Commission found there was no one present by teleconference who wished to speak in support of or in opposition to the Application.

Upon there being no further questions, Chairman Wheatley closed the public hearing.

At the conclusion of the public hearing, the Commission discussed the Application.

In relation to C/U 2354 Sussex CSG 1, LLC. Motion by Ms. Wingate to defer action for further consideration, seconded by Mr. Mears and carried unanimously. Motion carried 4-0.

Minutes of the May 25, 2023, Planning & Zoning Commission Meeting

C/U 2354 Sussex CSG 1, LLC

AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR A SOLAR FARM TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN LITTLE CREEK

HUNDRED, SUSSEX COUNTY, CONTAINING 23.58 ACRES, MORE OR LESS. The property is lying on the south side of Old Racetrack Road (S.C.R. 502), approximately 0.75 mile east of Delmar Road (Route 54). Address: N/A. Tax Map Parcel: 532-20.00-14.00.

The Commission discussed the Application which had been deferred since May 11, 2023.

Ms. Wingate moved that the Commission recommend approval of C/U 2354 Sussex CSG1, LLC for a solar farm in the AR-1 District based on the record made during the public hearing and for the following reasons:

1. The proposed facility is a public utility use under the Sussex County Zoning Code, and it meets the purposes of a Conditional Use because it has a public or semi-public character that is essential and desirable for the general convenience and welfare of Sussex County residents.
2. This is an adaptive use of farmland that will preserve it from more intensive development. The solar farm will be located on approximately 23.58 acres of a larger 52-acre tract.
3. The proposed facility promotes Goal 7.3 of the Sussex County Comprehensive Plan which encourages the use of renewable energy options such as solar farms. This solar farm will create the ability for residential, business, and municipal subscribers to lower their power costs.
4. With the conditions imposed in this recommendation including landscaped buffers, the proposed use will not have any adverse impact on the neighborhood.
5. The proposed solar generation facility will not result in any noticeable increase in traffic on area roadways. There are no regular employees at the site, only periodic visits for inspections, maintenance, or repair of the solar panels.
6. Based upon the record, it is evident that no significant noise, glare, dust, or odor will be generated by the facility.
7. The Applicant has included a Decommissioning Plan in the record for when their solar farm is no longer in use.
8. The existing tree line along the northern, eastern, and southern perimeter of the solar array shall be maintained subject to limited trimming to screen the view of the solar farm from the nearby residential properties while allowing the solar arrays to function properly.
9. The proposed use provides a renewable energy source that is a benefit to the residents and businesses of Sussex County.
10. This recommendation is subject to the following conditions:
 - A. The use shall be for ground-mounted solar farm. No other types of electric generation shall be permitted at the site.
 - B. The Final Site Plan shall clearly show the limits of the Conditional Use area for this solar farm as well as the remaining acreage that is not part of this Conditional Use.
 - C. Any lighting on the facility shall only consist of perimeter lighting needed for security purposes. All lighting shall be downward screened so that it does not shine on neighboring properties or roadways.
 - D. One unlit sign, not to exceed 32 square feet in size, shall be permitted. The sign shall identify the operator of the solar farm and shall provide contact information in case of emergency.

- E. The site shall be secured by fencing with a gate with a “Knox Box” or similar device to accommodate emergency access by the local fire company or other emergency responders. The fence line shall be shown on the Final Site Plan.
- F. The location of all transformers or similar equipment or structures shall be shown on the Final Site Plan.
- G. The entire site, including the area outside the fence, shall be maintained so that it does not become overgrown.
- H. Stormwater management and erosion and sedimentation control facilities shall be constructed in accordance with all applicable State and County requirements. These facilities shall be operated using Best Management Practices.
- I. The existing tree line along the northern, eastern, and southern perimeter of the solar array area shall remain to serve as a buffer with the exception of reasonable trimming to allow the solar arrays to function properly.
- J. The Final Site Plan shall include a Decommissioning Plan that includes a financial security to ensure that funds are available for decommissioning and removal of the solar farm in its entirety throughout the life of the Conditional Use.
- K. The Final Site Plan shall be subject to the review and approval of the Sussex County Planning & Zoning Commission.

Motion by Ms. Wingate, seconded by Mr. Mears and carried to recommend approval of C/U 2354 Sussex CSG 1, LLC for the reasons and the conditions stated in the motion. Motion carried 4-0. Mr. Hopkins abstained.

Vote by roll call: Ms. Stevenson – yea, Ms. Wingate – yea, Mr. Mears – yea, Chairman Wheatley – yea

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY J. WINGATE



Sussex County

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JAMIE WHITEHOUSE, AICP, MRTPI
DIRECTOR OF PLANNING & ZONING

PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET
Planning Commission Public Hearing Date: May 11th, 2023

Application: C/U 2354 Sussex CSG 1, LLC

Applicant: Sussex CSG 1, LLC c/o Sam Youneszadeh
3280 Peachtree Road NE 7th Floor
Atlanta, GA 30305

Owner: Shore Properties, Inc.
30339 Foskey Lane
Delmar, MD 21875

Site Location: Lying on the south side of Old Racetrack Road (S.C.R. 502),
approximately 0.75 mile east of Delmar Road (Route 54).

Current Zoning: Agricultural Residential (AR-1) District

Proposed Zoning: Agricultural Residential (AR-1) District

Proposed Use: Solar Farm

Future Land Use Map Designation: Industrial Area

Councilmanic District: Mr. Vincent

School District: Delmar School District

Fire District: Delmar Fire Company

Sewer: N/A

Water: N/A

Site Area: 49 acres +/- (Conditional Use Site Area: 21.42 acres +/-)

Tax Map ID: 532-20.00-14.00



JAMIE WHITEHOUSE, AICP MRTPI
PLANNING & ZONING DIRECTOR
(302) 855-7878 T
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Sussex County

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Memorandum

To: Sussex County Planning and Zoning Commission Members
From: Ms. Lauren DeVore, AICP, Planner III
CC: Mr. Vince Robertson, Assistant County Attorney and Applicant
Date: April 25th, 2023
RE: Staff Analysis for C/U 2354 Sussex CSG 1 LLC (c/o Sam Youneszadeh)

The purpose of this Memo is to provide background and analysis for the Planning and Zoning Commission to consider as a part of Application C/U 2354 Sussex CSG 1 LLC (c/o Sam Youneszadeh) to be reviewed during the May 11th, 2023, Planning and Zoning Commission Meeting. This analysis should be included in the record of this Application and is subject to comments and information that may be presented during the public hearing.

The request is for a Conditional Use for Tax Parcel 532-20.00-14.00 to allow for a proposed Solar Farm. Specifically, the Application is for the installation and operation of a 4 megawatt +/- community solar facility consisting of photovoltaic solar panels affixed to steel racking and associated appurtenances. The property is located on the south side of Old Racetrack Road (S.C.R. 502), approximately 0.75-mile east of Delmar Road (Route 54). The site consists of 52.34 acres +/- with the Conditional Use area consisting of 21.42 acres +/- to be contained within the proposed fenced area.

Site Considerations

It is worth noting that, according to the County's Online Mapping platform, the property is located within a Tax Ditch, (the Meadow Branch Tax Ditch,) and that there are two (2) associated Tax Ditch Rights-Of-Way (ROW) on the property. The first of these Rights-Of-Way is oriented horizontally and reaches west to east from adjacent Parcel 15.00 on the westernmost side of the property to the rail line which runs adjacent to and appears to be coincident with the property line on the easternmost side of the property. The other Right-Of-Way bisects half of the southern end of the property and runs vertically from the approximate mid-point of the property into Parcel 54.00 to the south of the subject property, which is located within the incorporated town limits of the Town of Delmar. Furthermore, staff note that this Tax Ditch ROW was reduced to a width of 50-ft through a related Court Order Change (Court Order Change #10). A Tax Ditch Report from DNREC's Division of Watershed Stewardship Drainage Program has been included as part of the record for further information on this Tax Ditch and Tax Ditch Rights-Of-Way.

The subject property is not located within any established Transportation Improvement Districts.

Additionally, the County's Online Mapping System confirms that the site is located within Flood Zone "X" – Areas determined to be outside the 1% annual chance flood and outside the 500-year floodplain. DNREC's Flood Planning Tool also indicates that the Parcel is located outside of the FEMA 100-year floodplain, is within the Wicomico River Watershed and the North Prong



Wicomico River Subwatershed, and that the estimated Ground Elevation Height at the Parcel is anywhere from 46 to 53-ft.

A Supplemental Map has been provided which shows this information as provided through DNREC's Flood Planning Tool.

Comprehensive Plan Analysis

The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework of how land is to be developed. As part of the Comprehensive Plan, a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use Map in the plan indicates that the parcel has the Growth Area Future Land Use Map Designation of "Industrial Area." The surrounding and parcels to the north (on the opposite side of Old Racetrack Road (S.C.R. 502) and northeast of the subject property also contain the "Industrial Area" Future Land Use Map designation.

As outlined in the 2018 Sussex County Comprehensive Plan, "Industrial Areas are lands devoted to concentrations of larger industrial uses including heavier industry, light industry, warehousing, and flex space. Appropriate development in these areas could take the form of conventional industrial parks or planned business parks with a unified design that incorporate a combination of light industry and other business uses. Large, more intensive stand-alone industrial uses should also be directed to these areas" (2018 Sussex County Comprehensive Plan, 4-17).

The Parcels to the west of the subject property have a Growth Area Future Land Use Designation of "Developing Area." The Plan notes that, "Developing Areas are newer, emerging growth areas that demonstrate the characteristics of developmental pressures" and further note, "most of the proposed Developing Areas are adjacent to municipalities" as is the case in this location (2018 Sussex County Comprehensive Plan, 4-14).

The property is adjacent to the municipal boundary of the Town of Delmar, which surrounds the property on the south and east sides.

Zoning Information

The property contains the rural zoning classification of Agricultural Residential (AR-1) District.

Table 4.5-2 "Zoning Districts Applicable to Future Land Use Categories" in the 2018 Sussex County Comprehensive Plan notes that the Agricultural Residential District is an applicable Zoning District within the "Industrial Area" Future Land Use Map Designation.

There are approximately six (6) parcels to the northeast of the property which are zoned Heavy Industrial (HI-1) District. This includes three (3) parcels on the south side of Old Racetrack Road (S.C.R. 502) adjacent to the subject property and three (3) parcels on the north side of Old Racetrack Road (S.C.R. 502).

The balance of the remaining surrounding lands are also zoned Agricultural Residential (AR-1) District. There is an existing and previously approved Subdivision to the southwest of the property

of which a portion of the Subdivision is within the Town of Delmar and the other portion is within the County's jurisdiction and those lands are zoned Medium Density Residential (MR) District.

As previously mentioned, all properties on the east side of the railroad track which is coincident with the eastern boundary line of the property are within the incorporated limits of the Town of Delmar.

Existing Conditional Uses within the Vicinity of the Subject Property

There have been twelve (12) Conditional Uses within a 1-mile radius of the Application site. Of these Applications, a total of nine (9) were approved by the Sussex County Council.

One (1) Application (C/U 479 David Johnson & Willard Prigge,) to allow for a hardware store and appliance repair shop was denied by the Sussex County Council at their meeting of Tuesday, August 29th, 1978.

One (1) further Application (C/U 2385 Consolidated Edison Development, Inc.), also a Solar Farm application, is currently pending and awaiting scheduling for Public Hearings before the Planning and Zoning Commission and the Sussex County Council.

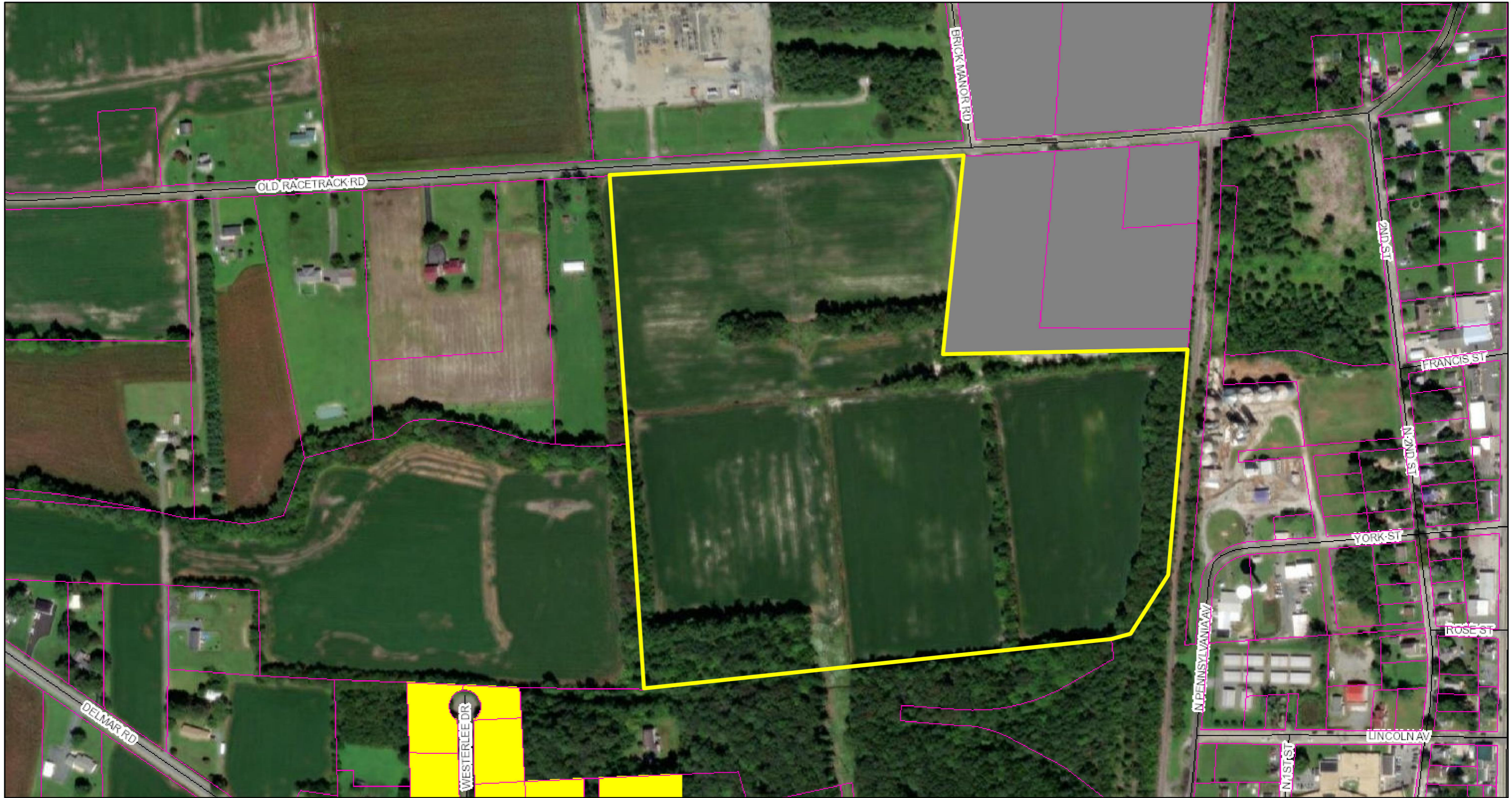
A Supplemental Table has been provided which contains further information regarding the abovementioned Conditional Use Applications which are located within a 1-mile radius of the Application site.

Based on the analysis provided, the Conditional Use to allow for a proposed Solar Farm; specifically, the installation and operation of a 4 megawatt +/- community solar facility consisting of photovoltaic solar panels affixed to steel racking and associated appurtenances, in this location could be considered as being consistent with the surrounding land use, zoning, and uses, subject to consideration of scale and impact.

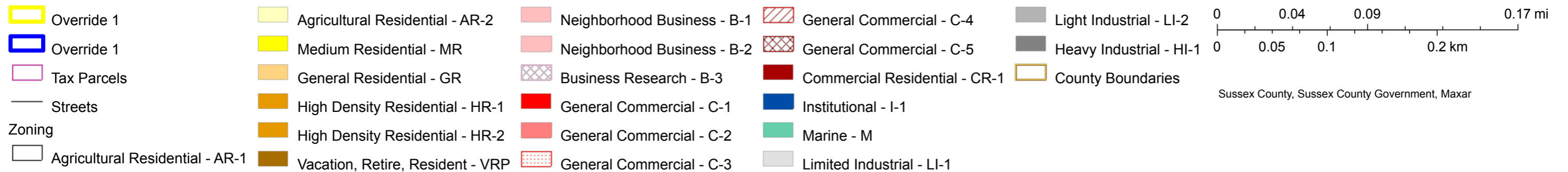
Conditional Use Applications (w/in a 1-mile radius of the subject site)*

Application Number	Applicant Name	Current Zoning	Proposed Use	P&Z Date	P&Z Recommendation	CC Date	CC Decision	Ordinance No.
C/U 4	William J. Cathell	AR-1	Automobile Raceway	N/A	N/A	7/6/1971	Approved	-
C/U 82	Houlihan Real Estates Inc.	AR-1	Extension to Existing Manufactured Home Park	N/A	N/A	11/14/1972	Approved	-
C/U 88	Delmar Volunteer Fire Company	UB	Fire House	N/A	N/A	10/24/1972	Approved	-
C/U 334	Robert Messick	AR-1	Sale of Farm Products & Supplies	N/A	N/A	4/13/1976	Approved	334
C/U 479	David Johnson & Willard Prigge	AR-1	Hardware Store & Appliance Repair Shop	N/A	N/A	8/29/1978	Denied	-
C/U 507	Robert Messick	AR-1	Store for Sale of Farm Products & Supplies	N/A	N/A	12/19/1978	Approved	-
C/U 580	Wayne Walbert	AR-1	Antique Shop	N/A	N/A	N/A	N/A	-
C/U 590	Daniel L. Ward	AR-1	Repair Shop	N/A	N/A	N/A	Approved	-
C/U 657	George & Phyllis Majors	AR-1	Data Processing Office	12/1/1981	Recommended Approval	12/1/1981	Approved	-
C/U 925	Robert J. Messick	AR-1	Expand C/U 507 Sales & Warehousing	12/28/1989	Recommended Approval	1/16/1990	Approved	-
C/U 2128	Larry Martin	AR-1	Auto Repair Shop	6/14/2018	Recommended Approval	10/23/2018	Approved	2607
C/U 2385	Consolidated Edison Development, Inc.	GR	Proposed Solar Farm	Pending Application	Public Hearing TBD	Pending Application	Public Hearing TBD	-

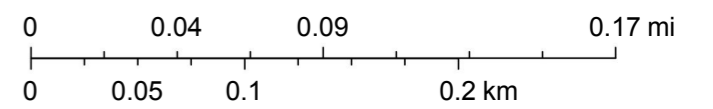
Sussex County



April 3, 2023



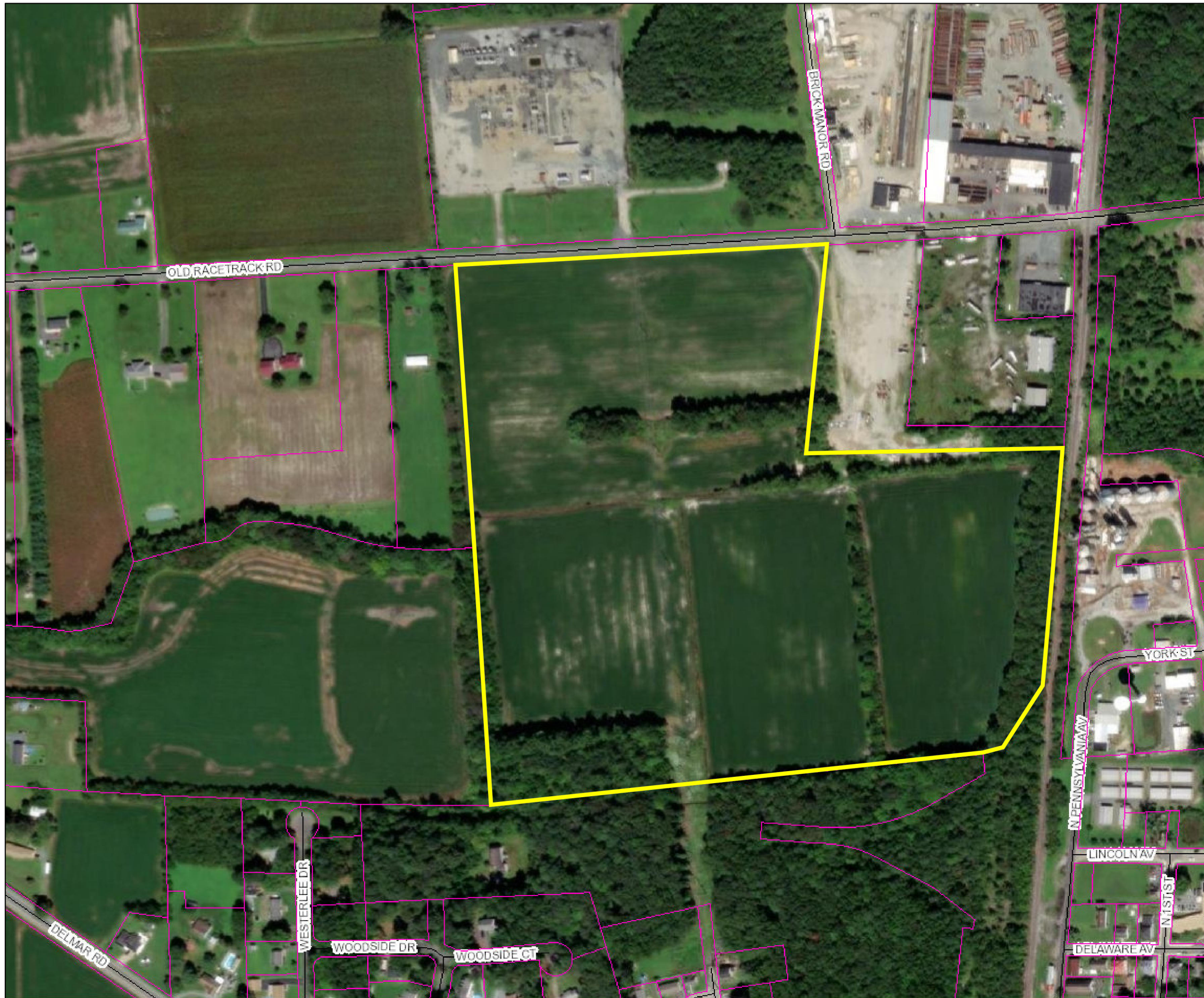
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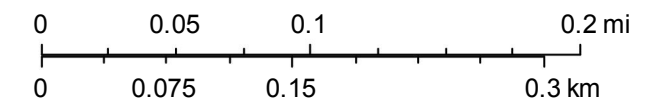
Sussex County



PIN:	532-20.00-14.00
Owner Name	SHORE PROPERTIES INC
Book	3927
Mailing Address	30339 FOSKEY LN
City	DELMAR
State	MD
Description	S/RT 502
Description 2	W/PENN CENTRAL
Description 3	N/A
Land Code	

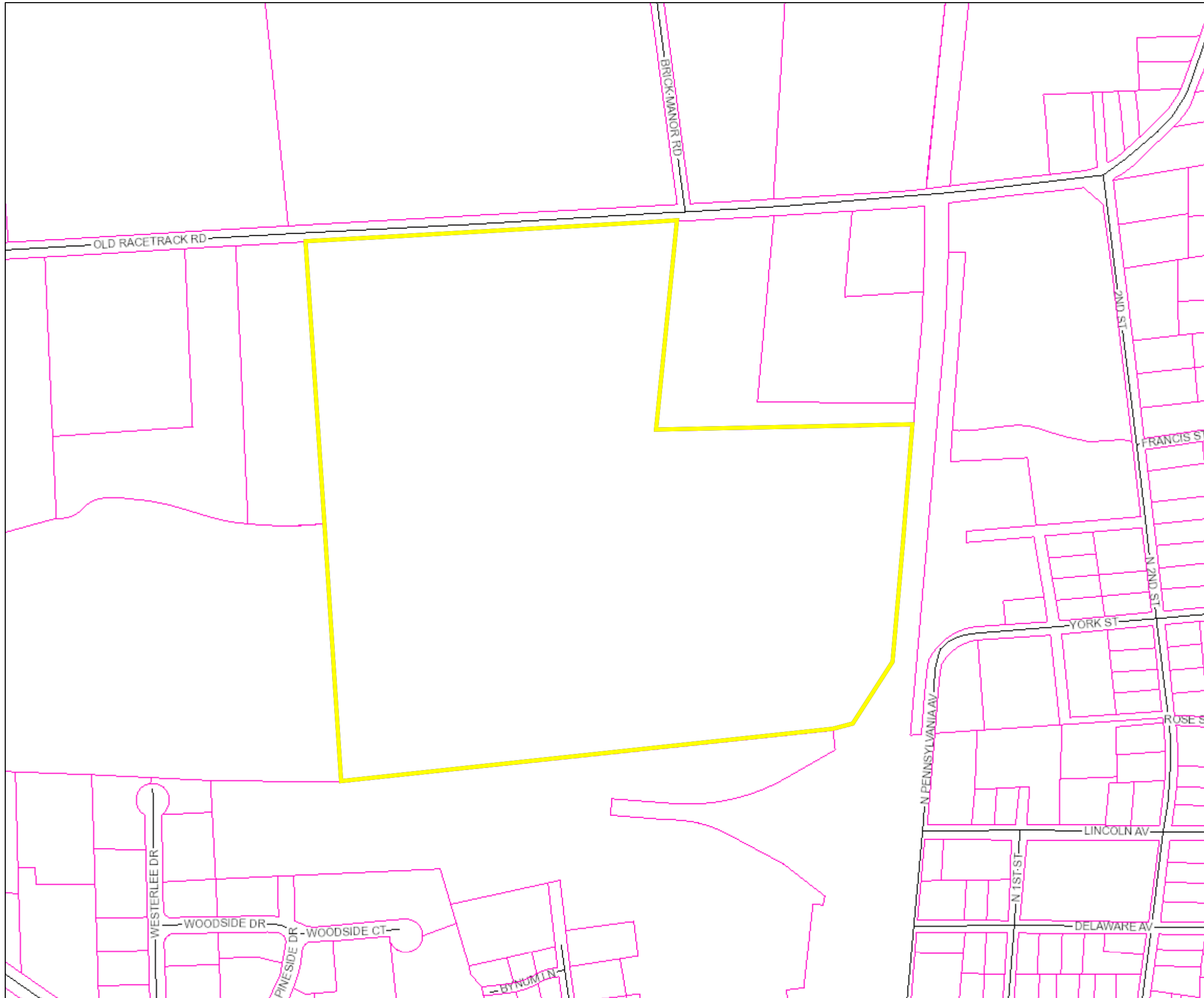
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- Tax Parcels
- Streets
- County Boundaries

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Sussex County



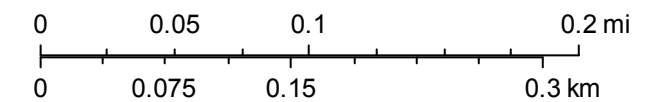
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Description 3	N/A
Land Code	

- polygonLayer**

 - Override 1
- polygonLayer**

 - Override 1
- Tax Parcels
- Streets
- County Boundaries

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Reintroduced: 4/18/23

Council District 1: Mr. Vincent
Tax I.D. No.: 532-20.00-14.00
911 Address: N/A

ORDINANCE NO. ____

AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR A SOLAR FARM TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN LITTLE CREEK HUNDRED, SUSSEX COUNTY, CONTAINING 23.58 ACRES, MORE OR LESS

WHEREAS, on the 23rd day of February 2022, a Conditional Use Application, denominated Conditional Use No. 2354 was filed on behalf of Sussex CSG 1, LLC; and

WHEREAS, on the ____ day of _____ 2023, a public hearing was held, after notice, before the Planning and Zoning Commission of Sussex County and said Planning and Zoning Commission recommended that Conditional Use No. 2354 be _____; and

WHEREAS, on the ____ day of _____ 2023, a public hearing was held, after notice, before the County Council of Sussex County and the County Council of Sussex County determined, based on the findings of facts, that said conditional use is in accordance with the Comprehensive Development Plan and promotes the health, safety, morals, convenience, order, prosperity and welfare of the present and future inhabitants of Sussex County, and that the conditional use is for the general convenience and welfare of the inhabitants of Sussex County.

NOW, THEREFORE, THE COUNTY OF SUSSEX HEREBY ORDAINS:

Section 1. That Chapter 115, Article IV, Subsection 115-22, Code of Sussex County, be amended by adding the designation of Conditional Use No. 2354 as it applies to the property hereinafter described.

Section 2. The subject property is described as follows:

ALL that certain tract, piece or parcel of land, lying and being situate in Little Creek Hundred, Sussex County, Delaware, and lying on south side of Old Racetrack Road (S.C.R. 502), approximately 0.75 mile east of Delmar Road (Route 54) and being more particularly described in the attached legal description prepared by Pennoni Associates Inc., said parcel containing 23.58 acres, more or less.

This Ordinance shall take effect immediately upon its adoption by majority vote of all members of the County Council of Sussex County, Delaware.



Memorandum

To: Sussex County Council
The Honorable Michael H. Vincent
The Honorable Cynthia C. Green
The Honorable Douglas B. Hudson
The Honorable John L. Rieley
The Honorable Mark G. Schaeffer

From: Jamie Whitehouse, AICP, Director of Planning & Zoning

CC: Everett Moore, County Attorney

Date: June 2, 2023

RE: County Council Report for C/U 2372 filed on behalf of Augusto Morales Morales

The Planning and Zoning Department received an application (C/U 2372 filed on behalf of Augusto Morales Morales) for a Conditional Use for parcel 430-17.00-62.00 for a landscaping business. The property is located at 17490 Cedar Corners Road, Bridgeville. The parcel size is 5.00 acres +/-.

The Planning & Zoning Commission held a Public Hearing on the application on May 11, 2023. At the meeting of May 25, 2023, the Planning & Zoning Commission recommended approval of the application for the 7 reasons stated and subject to the 11 recommended conditions as outlined within the motion (copied below).

Below are the minutes from the Planning & Zoning Commission meetings of May 11, 2023 and May 25, 2023.

Minutes of the May 11, 2023, Planning & Zoning Commission Meeting

C/U 2372 Augusto Morales Morales

AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR A LANDSCAPING BUSINESS TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN NANTICOKE HUNDRED, SUSSEX COUNTY, CONTAINING 5.00 ACRES, MORE OR LESS. The property is lying on the west side of Cedar Corners Road (S.C.R. 638), approximately 0.8 mile south of Redden Road (Rt. 40). 911 Address: 17490 Cedar Corners Road, Bridgeville. Tax Map Parcel: 430-17.00-62.00.

Mr. Whitehouse advised the Commission that submitted into the record were the Applicant's Conceptual Site Plan, the Staff Analysis, the DelDOT Service Level Evaluation response, and a letter



received from the Sussex County Engineering Department Utility Planning Division. Mr. Whitehouse stated that two mail returns and zero comments had been received for the Application.

The Commission found that Mr. Kevin Perez spoke on behalf of this father's Application. Mr. Perez stated he was presenting on behalf of his father, who was unable to attend the meeting; that they own a small, family-owned landscape business, which they began in the summer of 2016; that the business performs general landscaping, some hardscaping and tree services; that they are requesting a location to store materials in the long-term future; that currently the business keeps tools and equipment in campers; that the campers are 30 ft. in length and 10 to 12 ft. in width; that the equipment stored in the campers consists of chainsaws, blowers and other small equipment used for landscaping; that the business owns a few vehicles which they park on the lot; that the vehicles consist of one F550, a F350, and a few F250 pick up trucks; that they intend to store leftover material pavers and landscaping debris, such as leaf clippings, at the site; that they do not use chemicals or fertilizers as they are not licensed; that they plan to only use a small portion, located at the mid-right of the site, for the equipment storage and for the employees to clock in at the shop; that their home is located closer to the front of the site, near the road; that the property is located about 10 minutes from Georgetown; that the property is on the Bridgeville line, but is about 10 minutes from the Georgetown Walmart; that they only intend to utilize the small portion for the landscaping material; that there are neighbors located to the right of the site, and the left and rear of the site are wooded.

Chairman Wheatley questioned the hours of operation and if any vehicle maintenance would be performed at the site.

Ms. Stevenson questioned if the business performed snow removal and if a sign is desired.

Ms. Wingate questioned the number of employees and if the grinding of debris would take place on the site.

Mr. Mears questioned what equipment would be at the site, what future equipment may be required to be stored on the site, what hardscaping material would be stored, what debris is intended to come back to the site, and if there will be grinding of the debris returned to the site.

Mr. Perez stated they typically being at 7:00 am; that work hours are variable; that their workday could end between 1:00 pm to 5:00 pm; that at times they do not clock out until 6 or 7:00 pm, however at those times it is only for the guys to park the vehicles and to put up equipment; that during the later hours they would not create much noise; that they do perform snow removal services; that the business has 10 employees, which includes the office staff and himself; that he is unsure about the future of the business; that he does intend to expand some, potentially not staying on Cedar Corners Rd.; that currently, the business has one F150, three F250's, one F350, a F550 with a dump body, a bobcat, and a small skid loader bobcat; five grass mowers, two trailers and smaller equipment like chainsaws; that for hardscaping, it would only be leftover materials, such as pavers; that typically, he purchases materials the week of the project; that left over materials are often a yard or half a yard of mulch and pallets and pavers used to fix something or for small projects; that they mostly bring back grass clippings, leaves and occasionally logs when they perform tree services; that they use the logs for firewood; that the leaves and grass clippings are composted; that when they perform weeding, he feeds the debris to his pigs; that the rest gets composted, where he churns the land; that no vehicle maintenance would be performed at the site; that he may perform an oil change occasionally, but typically takes all vehicles to an auto shop; that when he does perform an oil change he disposes of

the oil offsite; that he does not intend to have a sign currently, but would like permission for a sign in the future.

The Commission found there was no one present in the room or by teleconference who wished to speak in support of or opposition to the Application.

Upon there being no further questions, Chairman Wheatley closed the public hearing.

At the conclusion of the public hearing, the Commission discussed the Application.

In relation to C/U 2372 Augusto Morales Morales. Motion by Ms. Stevenson to defer action for further consideration, seconded by Ms. Wingate and carried unanimously. Motion carried 4-0.

Minutes of the May 25, 2023, Planning & Zoning Commission Meeting

The Commission discussed the Application which had been deferred since May 11, 2023.

Mr. Mears moved that the Commission recommend approval of C/U 2372 Augusto Morales Morales for a landscaping business based on the record made during the public hearing and for the following reasons:

1. The property is located on a 5-acre parcel, among other large parcels of land. Only a small portion of the site will be used for the business. It is an appropriate location for this limited type of use.
2. The site is located within a Low-Density Area according to the Sussex County Comprehensive Plan. This low-impact type of use is appropriate within this Area.
3. The property is zoned AR-1 Agricultural Residential. The use of the property as a landscaping business is consistent with the underlying agricultural zoning of the property.
4. The use will not adversely affect area roadways or neighboring properties.
5. A landscaping company provides a service to a wide variety of Sussex County residents and businesses, and it has a public or semi-public character that will benefit the residents and businesses of Sussex County.
6. The applicant stated that if any grass clippings, wood, dirt, or other materials are brought back to the site, they are composted or recycled back into agricultural use.
7. There was no opposition to this application.
8. This recommendation is subject to the following conditions:
 - A. This use shall be limited to a landscaping business.
 - B. No manufacturing shall occur on the site. This prohibition includes the shredding or grinding of any materials and also includes the dyeing of mulch or similar materials.
 - C. As stated by the Applicant, there shall not be any retail sales occurring from the site.
 - D. One lighted sign, not to exceed 32 square feet per side, shall be permitted.
 - E. The hours of operation shall be limited to 7:00 am through 8:00 pm, Monday through Friday, and from 7:00 am until 3:00 pm on Saturdays. There shall not be any Sunday hours. The Applicant shall be able to operate beyond these hours on an as-needed basis for limited situations such as snow removal, storm damage cleanup, and similar events.

- F. The areas set aside for composting or recycling of materials brought back to the site shall be shown on the Final Site Plan with the type of containment used to keep them in place.
- G. The applicant shall comply with all DelDOT requirements, including any entrance or roadway improvements.
- H. Since this conditional use will only occupy a small portion of the property, the Final Site Plan shall show the area where this conditional use will be located.
- I. The Final Site Plan shall clearly show all areas for vehicle and equipment storage and parking, and these areas shall be clearly marked on the site itself. There shall not be any parking or storage within the property's setbacks.
- J. Failure to comply with any of these conditions may be grounds for termination of the Conditional Use approval.
- K. The Final Site Plan shall be subject to the review and approval of the Sussex County Planning and Zoning Commission.

Motion by Mr. Mears, seconded by Ms. Wingate and carried to recommend approval of C/U 2372 Augusto Morales Morales for the reasons and the conditions stated in the motion. Motion carried 4-0. Mr. Hopkins abstained.

Vote by roll call: Ms. Stevenson – yea, Ms. Wingate – yea, Mr. Mears – yea, Chairman Wheatley – yea

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY J. WINGATE



Sussex County

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JAMIE WHITEHOUSE, AICP, MRTPI
DIRECTOR OF PLANNING & ZONING

PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET
Planning Commission Public Hearing Date: May 11th, 2023

Application: CU 2372 Augusto Morales Morales

Applicant: Augusto Morales Morales
21 Carriage Lane
Georgetown, DE 19947

Owner: Augusto Morales Morales
21 Carriage Lane
Georgetown, DE 19947

Site Location: Lying on the west side of Cedar Corners Road (S.C.R. 638), approximately 0.8-miles south of the intersection of Cedar Corners Road (S.C.R. 638) and Redden Road (Rt. 40).

Current Zoning: Agricultural Residential (AR-1) Zoning District

Proposed Zoning: Agricultural Residential (AR-1) Zoning District

Proposed Use: Landscaping Business

Comprehensive Land Use Plan Reference: Low Density

Councilmanic District: Ms. Green

School District: Woodbridge School District

Fire District: Bridgeville Fire Co.

Sewer: On-site Septic

Water: On-site well

Site Area: 5.00 acre +/-

Tax Map ID: 430-17.00-62.00



JAMIE WHITEHOUSE, AICP MRTPI
PLANNING & ZONING DIRECTOR
(302) 855-7878 T
(302) 854-5079 F
jamie.whitehouse@sussexcountyde.gov



Sussex County

DELAWARE
sussexcountyde.gov

Memorandum

To: Sussex County Planning and Zoning Commission Members
From: Mrs. Christin Scott, Planner II
CC: Mr. Vince Robertson, Assistant County Attorney and Applicant
Date: April 24th, 2023
RE: Staff Analysis for C/U 2372 Augusto Morales Morales

The purpose of this Memo is to provide background and analysis for the Planning and Zoning Commission to consider as a part of Application C/U 2372 Augusto Morales Morales to be reviewed during the May 11th, 2023, Planning and Zoning Commission Meeting. This analysis should be included in the record of this Application and is subject to comments and information that may be presented during the public hearing.

The request is for a Conditional Use for Tax Parcel 430-17.00-62.00 to allow for a proposed Landscaping Business. The property is located on the west side of Cedar Corners Road (S.C.R. 502), approximately 0.8-mile south of Redden Road (Rt. 40). The site consists of 5.00 acres +/-.

Site Considerations

There are no known Tax Ditch or Tax Ditch Right-of-Ways located on the subject property. The property is not located within any established Transportation Improvement Districts. Additionally, the County's Online Mapping System confirms that the site is located within Flood Zone "X" – Areas determined to be outside the 1% annual chance flood and outside the 500-year floodplain.

Comprehensive Plan Analysis

The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework of how land is to be developed. As part of the Comprehensive Plan, a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use Map in the plan indicates that the parcel has the Growth Area Future Land Use Map Designation of "Low Density." The surrounding and parcels to the north, southeast (on the opposite side of Cedar Corners Road (S.C.R. 502)) and west of the subject property also contain the "Low Density" Future Land Use Map designation.

As outlined in the 2018 Sussex County Comprehensive Plan, Low Density Areas are intended to support agricultural uses and low-density single-family housing. Specifically, the Comprehensive Plan states that single family homes have a density of up to two dwelling units to the acre. It is envisioned that the Low-Density Areas allow for businesses that support nearby residents and the agricultural economy. More intense commercial uses could be limited in scale and impact. While residential growth is expected, the Comprehensive Plan intends for the rural landscape to be maintained and for farmland to be preserved in select locations.



Zoning Information

The property contains the zoning classification of Agricultural Residential (AR-1) District.

Table 4.5-2 “Zoning Districts Applicable to Future Land Use Categories” in the 2018 Sussex County Comprehensive Plan notes that the Agricultural Residential District is an applicable Zoning District within the “Low Density” Future Land Use Map Designation.

All surrounding properties also have a zoning classification of Agricultural Residential (AR-1) District.

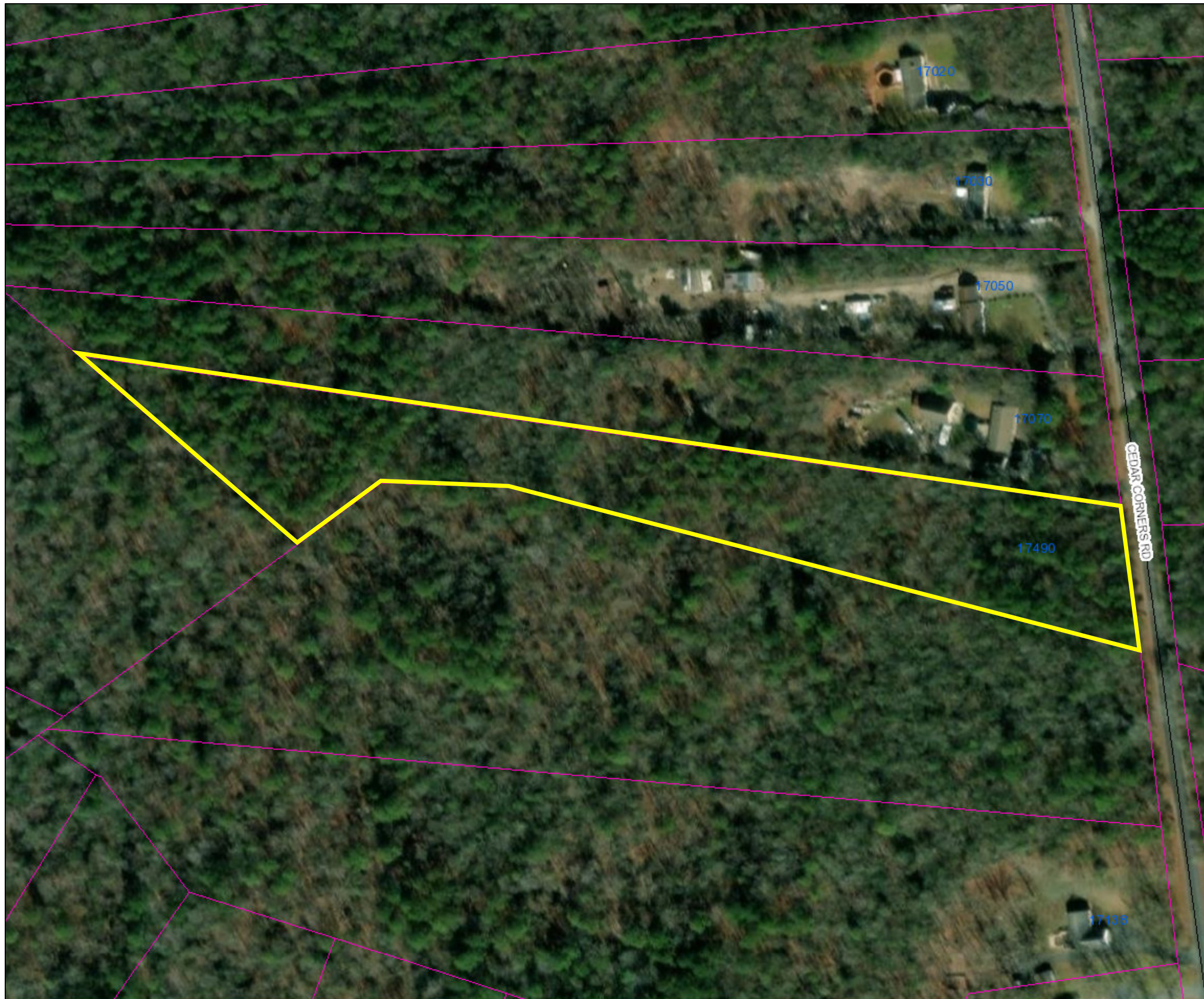
Existing Conditional Uses within the Vicinity of the Subject Property

Since 2011, there have been no Conditional Uses within a 1-mile radius of the Application site.

Based on the analysis provided, the Conditional Use to allow for a Landscaping Business in this location could be considered as being consistent with the surrounding land use, zoning, and uses, subject to consideration of scale and impact.



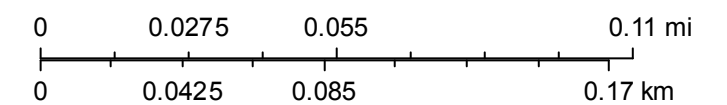
Sussex County



PIN:	430-17.00-62.00
Owner Name	MORALES-MORALES AUGUSTO F
Book	5405
Mailing Address	21 CARRIAGE LN
City	GEORGETOWN
State	DE
Description	DEER HAVEN
Description 2	LOT 7
Description 3	N/A
Land Code	

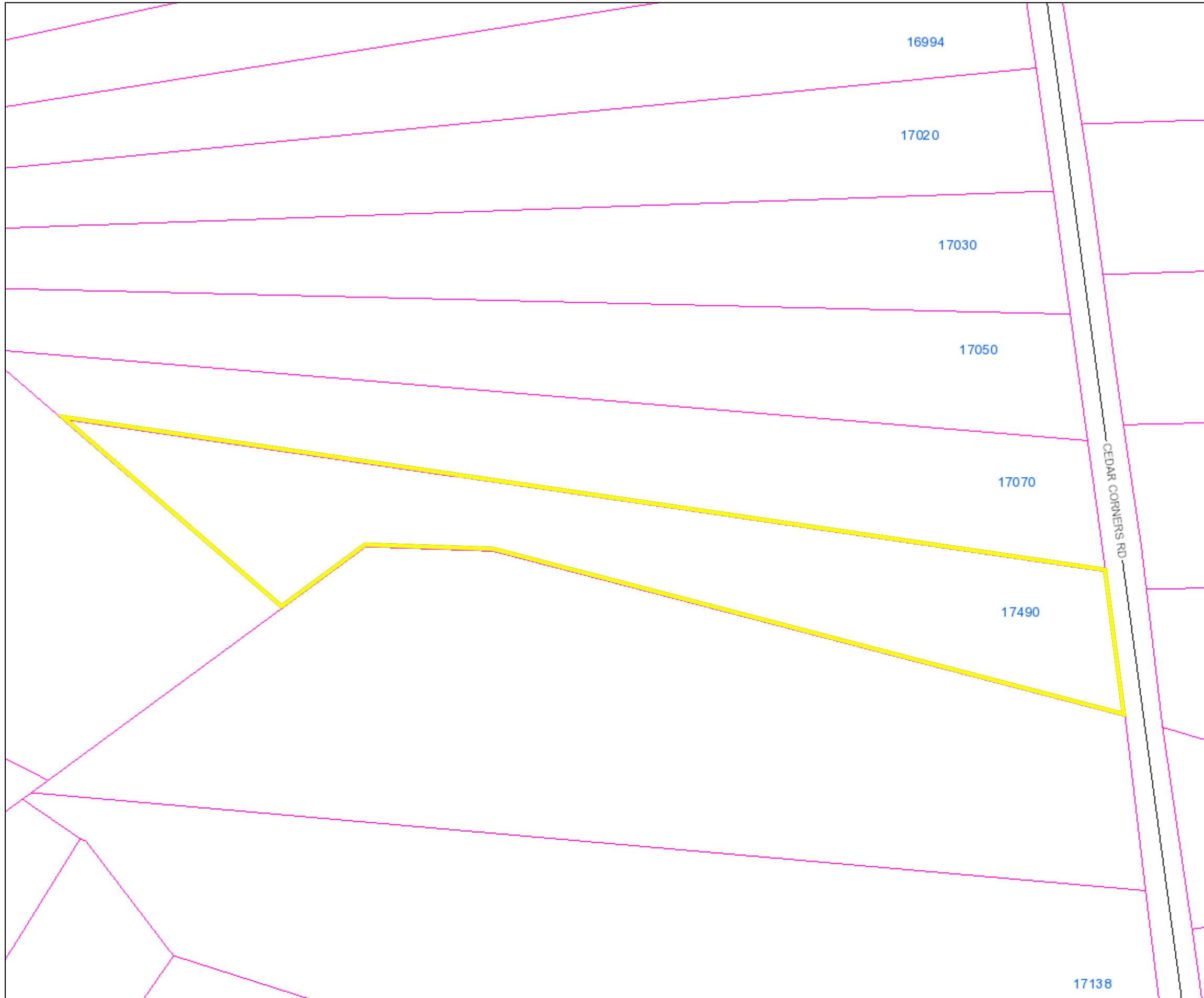
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Override 1
- Tax Parcels
- 911 Address
- Streets
- County Boundaries

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Sussex County



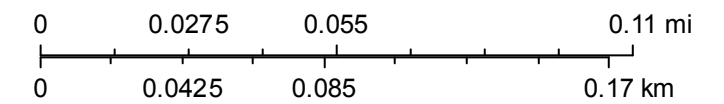
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Owner Name	MORALES-MORALES AUGUSTO F
Book	5405
Mailing Address	21 CARRIAGE LN
City	GEORGETOWN
State	DE
Description	DEER HAVEN
Description 2	LOT 7
Description 3	N/A
Land Code	

- polygonLayer**

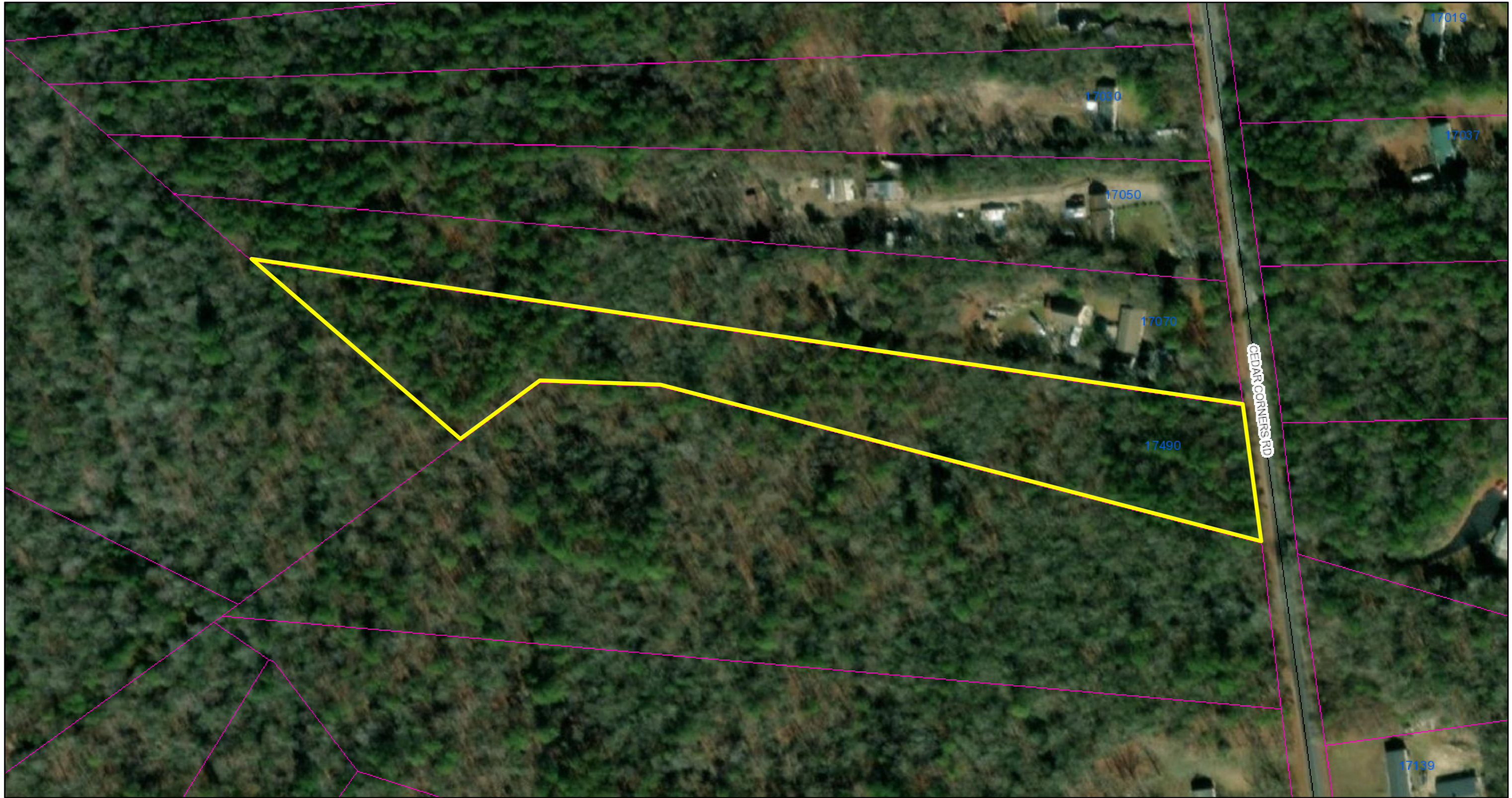
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 - Override 1
- Tax Parcels
- 911 Address
- Streets

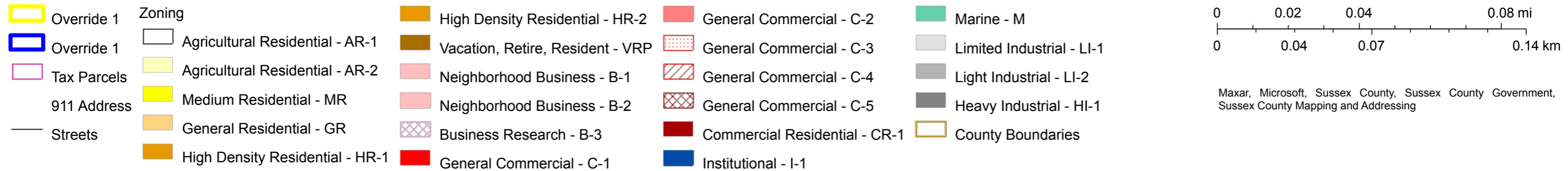
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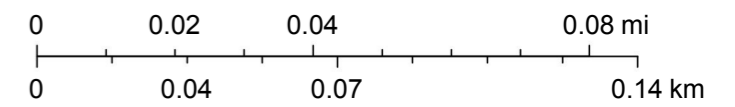
Sussex County



April 3, 2023



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Maxar, Microsoft, Sussex County, Sussex County Government, Sussex County Mapping and Addressing

Introduced: 01/31/23

Council District 2: Mrs. Green
Tax I.D. No.: 430-17.00-62.00
911 Address: 17490 Cedar Corners Road, Bridgeville

ORDINANCE NO. ____

AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR A LANDSCAPING BUSINESS TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN NANTICOKE HUNDRED, SUSSEX COUNTY, CONTAINING 5.00 ACRES, MORE OR LESS

WHEREAS, on the 20th day of May 2022, a conditional use application, denominated Conditional Use No. 2372 was filed on behalf of Augusto Morales Morales; and

WHEREAS, on the ____ day of _____ 2023, a public hearing was held, after notice, before the Planning and Zoning Commission of Sussex County and said Planning and Zoning Commission recommended that Conditional Use No. 2372 be _____; and

WHEREAS, on the ____ day of _____ 2023, a public hearing was held, after notice, before the County Council of Sussex County and the County Council of Sussex County determined, based on the findings of facts, that said conditional use is in accordance with the Comprehensive Development Plan and promotes the health, safety, morals, convenience, order, prosperity and welfare of the present and future inhabitants of Sussex County, and that the conditional use is for the general convenience and welfare of the inhabitants of Sussex County.

NOW, THEREFORE, THE COUNTY OF SUSSEX HEREBY ORDAINS:

Section 1. That Chapter 115, Article IV, Subsection 115-22, Code of Sussex County, be amended by adding the designation of Conditional Use No. 2372 as it applies to the property hereinafter described.

Section 2. The subject property is described as follows:

ALL that certain tract, piece or parcel of land, lying and being situate in Nanticoke Hundred, Sussex County, Delaware, and lying on the west side of Cedar Corners Road (S.C.R. 638), approximately 0.8 mile south of Redden Road (Rt. 40) and being more particularly described in the attached legal description prepared by Wolfe & Associates, LLC, said parcel containing 5.00 acres, more or less.

This Ordinance shall take effect immediately upon its adoption by majority vote of all members of the County Council of Sussex County, Delaware.



Memorandum

To: Sussex County Council
The Honorable Michael H. Vincent
The Honorable Cynthia C. Green
The Honorable Douglas B. Hudson
The Honorable John L. Rieley
The Honorable Mark G. Schaeffer

From: Jamie Whitehouse, AICP, Director of Planning & Zoning

CC: Everett Moore, County Attorney

Date: June 2, 2023

RE: County Council Report for C/U 2391 filed on behalf of M.R.O Auto Repair, LLC

The Planning and Zoning Department received an application (C/U 2391 filed on behalf of M.R.O Auto Repair, LLC) for a Conditional Use for parcel 135-20.00-142.00 for an auto repair shop. The property is located 22491 Cedar Lane, Georgetown. The parcel size is 0.46 acres +/-.

The Planning & Zoning Commission held a Public Hearing on the application on May 11, 2023. At the meeting of May 25, 2023, the Planning & Zoning Commission recommended approval of the application for the 5 reasons stated and subject to the 13 recommended conditions as outlined within the motion (copied below).

Below are the minutes from the Planning & Zoning Commission meetings of May 11, 2023 and May 25, 2023.

Minutes of the May 11, 2023, Planning & Zoning Commission Meeting

C/U 2391 M.R.O. Auto Repair, LLC

AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR AN AUTO REPAIR SHOP TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN GEORGETOWN HUNDRED, SUSSEX COUNTY, CONTAINING 0.46 ACRES, MORE OR LESS. The property is lying on the northeast side of Cedar Lane (S.C.R. 318), approximately 950 ft. southeast of Wood Branch Road (S.C.R. 321). 911 Address: 22491 Cedar Lane, Georgetown. Tax Map Parcel: 135-20.00-142.00.

Mr. Whitehouse advised the Commission that submitted into the record were the Applicant's exhibits, which included a Site Plan, a copy of the deed, the Staff Analysis, the DeIDOT Service Level



Evaluation Response, and a letter from the Sussex County Engineering Department Utility Planning Division. Mr. Whitehouse stated zero comments had been received for the Application.

The Commission found that Mr. Danny Perez spoke on behalf of the Applicant. Mr. Perez stated he is the agent for the Conditional Use; that also present was the Applicant, Mr. Mario Roblero Ortiz; that the application is for a small auto repair shop to be located on the Applicant's property; that the auto repair business is small and does not operate seven days a week; that the hours of operation are limited to 10:00 am until 5:00 pm; that a Site Plan was provided; that the plan reflects the property has two adjacent neighbors, that are currently occupied for residential use; that the adjacent property to the rear is a vacant lot; that access to the property is provided by a single lane off Cedar Lane; that the DelDOT Service Level Evaluation Response was included within the submitted exhibits; that all work would be performed inside a building; that photos were submitted showing the precautions the Applicant had taken to ensure work is performed inside; that there are no employees; that the Applicant is the only employee, and the business originally started for only family members and a few friends.

Chairman Wheatley questioned the number of vehicles intended to be stored onsite, how waste oil and fluids are disposed of, and the estimated length of time one vehicle may be kept onsite.

Ms. Wingate questioned if any inoperable vehicles are intended to be stored at the site, if a sign is desired for advertising and the days the business would operate.

Mr. Perez stated there may be two to three vehicles outside of the building on the property; that all work will be performed inside the building on the property; that the Applicant did obtain a permit for the building; that the building has air condition and electric to it; that the Applicant has contacted a company called Rico Used Oil within Delaware to provide proper oil disposal; that currently there is no contract established, as the Applicant is waiting for the pending Conditional Use approval; that there will be no long-term storage of vehicles; that vehicles should not remain on the site any more than two to three days; that the proposed use is for tune-up repairs, such as battery changes; that no large repairs, such as engine or transmission repairs, are proposed; that no inoperable vehicles will be kept onsite; that the Applicant is not requesting a sign for business advertising, and the hours of operation would run Monday through Friday, from 10:00 am until 5:00 pm.

The Commission found that Mr. Homer Keene spoke in support of the Application. Mr. Keene stated he resides across the street from the site; that he has known the family since they moved to the property; that they are a nice family; that the family is very conscious of their neighbors; that the property is well maintained and does not have a lot of stuff lying around; that they tried to place a fence to ensure they did not intrude on their neighbors, and he is in support of the proposed use as he had previously had his own small business and understood how hard it can be.

The Commission found there was no one present in the room or by teleconference who wished to speak in support of or opposition to the Application.

Upon there being no further questions, Chairman Wheatley closed the public hearing.

At the conclusion of the public hearing, the Commission discussed the Application.

In relation to C/U 2391 M.R.O. Auto Repair, LLC. Motion by Ms. Wingate to defer action for further

consideration, seconded by Mr. Mears and carried unanimously. Motion carried 4-0.

Minutes of the May 25, 2023, Planning & Zoning Commission Meeting

The Commission discussed the Application which had been deferred since May 11, 2023.

Ms. Wingate moved that the Commission recommend approval of C/U 2391 M.R.O. Auto Repair, LLC, for a small auto repair business based upon the record made at the public hearing and for the following reasons:

1. The proposed automobile repair facility is small, and with the conditions and stipulations placed upon it, it will not have an adverse impact on the neighboring properties or community. It is also small enough that it will not negatively impact traffic or nearby roadways.
2. The site is located in a Developing Area according to the Sussex County Comprehensive Plan. This type of use is appropriate in this Area according to the Comprehensive Plan.
3. There is a home on the site and the repairs will occur inside of a separate building on the site. The Applicants intend to keep the residential appearance of the property.
4. The use as an automotive repair facility is of a public or semi-public character and is desirable for the general convenience and welfare of the area.
5. No parties appeared in opposition to this application, and a neighbor testified in support of this application.
6. This recommendation for approval is subject to the following conditions and stipulations:
 - A. One lighted sign, not to exceed 32 square feet per side, shall be permitted.
 - B. Any security lighting shall be downward screened and shall be directed away from neighboring properties and roadways.
 - C. The area of this use shall be screened from the view of neighbors and roadways with fencing. The location and type of fencing shall be shown on the Final Site Plan.
 - D. All repairs shall be performed indoors. No automobile parts shall be stored outside, and no more than 3 cars awaiting service shall be parked outside at any one time.
 - E. No junked, unregistered, or permanently inoperable vehicles or trailers shall be stored on the site.
 - F. There shall not be any parking in the front yard setback.
 - G. The parking areas shall be shown on the Final Site Plan and clearly marked on the site itself. Vehicles shall only be parked within these designated areas.
 - H. No cars shall be sold on the property.
 - I. All oils and other fluids shall be properly stored indoors in appropriate containers. The applicant shall also comply with all state and federal requirements for the disposal of these fluids.
 - J. The site shall be subject to all DelDOT entrance and roadway requirements.
 - K. The hours of operation shall be 8:00 am through 8:00 pm, Monday through Friday, and 9:00 am until 5:00 pm on Saturdays. There shall not be any Sunday hours.
 - L. Any violation of these conditions may be grounds for termination of this conditional use.
 - M. The Final Site Plan shall be subject to the review and approval of the Planning and Zoning Commission.

Motion by Ms. Wingate, seconded by Mr. Mears and carried to recommend approval of C/U 2391 M.R.O. Auto Repair, LLC for the reasons and the conditions stated in the motion. Motion carried 4-0. Mr. Hopkins abstained.

Vote by roll call: Ms. Stevenson – yea, Ms. Wingate – yea, Mr. Mears – yea, Chairman Wheatley – yea

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY J. WINGATE



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JAMIE WHITEHOUSE, AICP, MRTPI
DIRECTOR OF PLANNING & ZONING

PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET

Planning Commission Public Hearing Date: May 11th, 2023

Application: CU 2391 M.R.O. Auto Repair

Applicant: M.R.O. Auto Repair, LLC
22491 Cedar Lane
Georgetown, DE 19947

Owner: Mario Roblero Ortiz
22491 Cedar Lane
Georgetown, DE 19947

Site Location: Lying on the northeast side of Cedar Lane Road (S.C.R. 318), approximately 950-feet southeast of Wood Branch Road (S.C.R. 321).

Current Zoning: Agricultural Residential (AR-1) Zoning District

Proposed Zoning: Agricultural Residential (AR-1) Zoning District

Proposed Use: Auto Repair Shop

Comprehensive Land Use Plan Reference: Developing Area

Councilmanic District: Ms. Green

School District: Sussex Central School District

Fire District: Georgetown Fire Co.

Sewer: On-site Septic

Water: On-site Well

Site Area: 0.46 acres +/-

Tax Map ID: 135-20.00-142.00



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Sussex County

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Memorandum

To: Sussex County Planning Commission Members
From: Elliott Young, Planner I
CC: Vince Robertson, Assistant County Attorney, and applicant
Date: April 24, 2023
RE: Staff Analysis for CU 2391 M.R.O. Auto Repair, LLC

This memo is to provide background and analysis for the Planning Commission to consider as a part of Application CU 2391 M.R.O. Auto Repair to be reviewed during the May 11, 2023, Planning Commission Meeting. This analysis should be included in the record of this application and is subject to comments and information that may be presented during the public hearing.

The request is for a Conditional Use for tax parcel 135-20.00-142.00 to allow for a proposed auto repair shop. The parcel is located on the northeast side of Cedar Lane (S.C.R. 318). The size of the property is 0.459 acres +/-

Comprehensive Plan Analysis

The 2018 Sussex County Comprehensive Plan Update (Comprehensive Plan) provides a framework of how land is to be developed. As part of the Comprehensive Plan, a Future Land Use Map is included to help determine how land should be zoned to ensure responsible development. The Future Land Use map in the plan indicates that the property has the land use designation of "Developing Area." The parcels directly to the north, east and west are also designated as "Developing Area." Additionally, the parcels located across Cedar Lane to the south of the subject parcel are also designated as "Developing Area."

Developing Areas are newer, emerging growth areas that demonstrate the characteristics of developmental pressures. A range of housing types are appropriate in Developing Areas, including single family homes, townhouses, and multi-family units. In selected areas and at appropriate intersections, commercial uses should be allowed. A variety of office uses would be appropriate in many areas. Portions of the Developing Areas with good road access and few nearby homes should allow for business and industrial parks. Appropriate mixed-use development should also be allowed.

Zoning Information

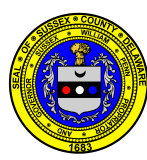
Furthermore, the property is zoned Agricultural Residential (AR-1) Zoning District. The properties located to the north, south, east, and west of the subject site are also zoned Agricultural Residential (AR-1) Zoning District.



Existing Conditional Uses within the Vicinity of the Subject Site

Although historically there have been various Conditional Use applications within the vicinity of the application site, since 2011, there have been three (3) Conditional Use applications within a 1-mile radius of the application site. The first application is Conditional Use (CU 2182), which was a proposal to allow for an automotive repair shop and dealer to be located within an Agricultural Residential (AR-1) Zoning District, which was approved by County Council on September 17th, 2019, and adopted through Ordinance No. 2679. The second application is Conditional Use (CU 2213), which was a proposal to allow for a 15-acre borrow pit to be allowed on 220-acres +/-, to be located within an Agricultural Residential (AR-1) Zoning District, which was approved by County Council on June 30th, 2020, and adopted through Ordinance No. 2720. The third and final application is Conditional Use (CU 2395), which is a proposal to allow for a distribution warehouse to be located within an Agricultural Residential (AR-1) Zoning District, which will be scheduled for a future public hearing before the Commission.

Based on the analysis of the land use, surrounding zoning and uses, the Conditional Use for the abovementioned use, subject to considerations of scale and impact, could be considered as being consistent with the land use, area zoning and surrounding uses.



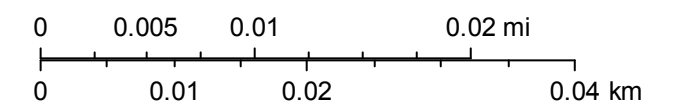
Sussex County

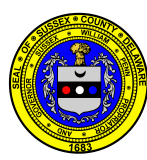


PIN:	135-20.00-142.00	
Owner Name	ORTIZ	MARIO
	ROBLERO	
Book	4451	
Mailing Address	22491 CEDAR LANE T#8108	
City	GEORGETOWN	
State	DE	
Description	JAS TUNNELL 5TH ADD	
Description 2	LOT 10	
Description 3	N/RT 318 T#8108	
Land Code		

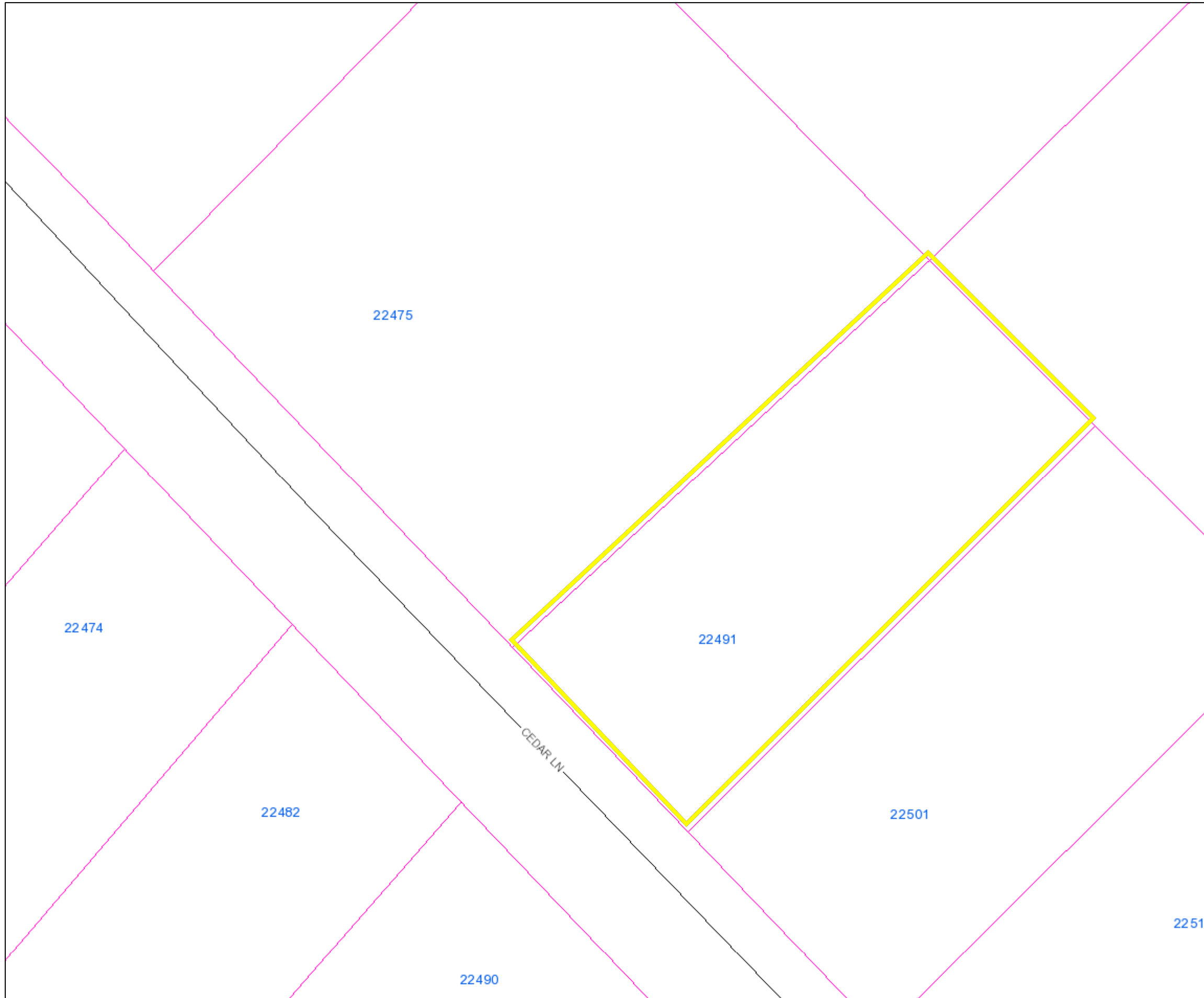
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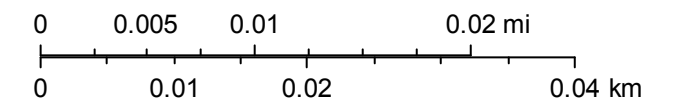
Sussex County



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City	GEORGETOWN	
State	DE	
Description	JAS TUNNELL 5TH ADD	
Description 2	LOT 10	
Description 3	N/RT 318 T#8108	
Land Code		

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- Override 1
- polygonLayer**
- Override 1
- Tax Parcels
- 911 Address
- Streets

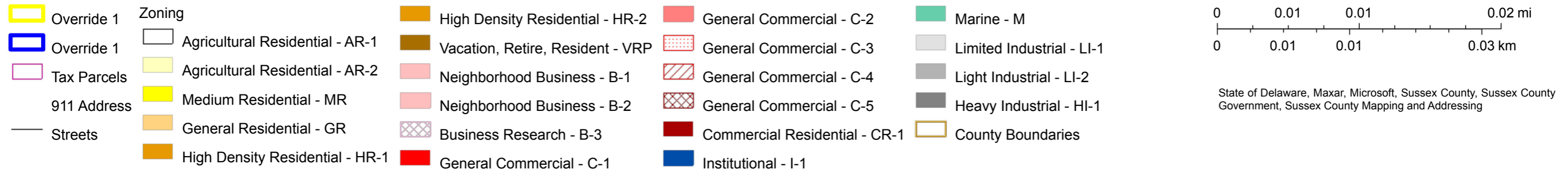
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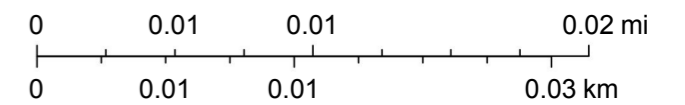
Sussex County



April 3, 2023



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State of Delaware, Maxar, Microsoft, Sussex County, Sussex County Government, Sussex County Mapping and Addressing

Introduced: 03/21/23

Council District 5: Mr. Rieley
Tax I.D. No.: 135-20.00-142.00
911 Address: 22491 Cedar Lane, Georgetown

ORDINANCE NO. ____

AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR AN AUTO REPAIR SHOP TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN GEORGETOWN HUNDRED, SUSSEX COUNTY, CONTAINING 0.46 ACRES, MORE OR LESS

WHEREAS, on the 2nd day of August 2022, a conditional use application, denominated Conditional Use No. 2391 was filed on behalf of M.R.O. Auto Repair, LLC; and

WHEREAS, on the ____ day of _____ 2023, a public hearing was held, after notice, before the Planning and Zoning Commission of Sussex County and said Planning and Zoning Commission recommended that Conditional Use No. 2391 be _____; and

WHEREAS, on the ____ day of _____ 2023, a public hearing was held, after notice, before the County Council of Sussex County and the County Council of Sussex County determined, based on the findings of facts, that said conditional use is in accordance with the Comprehensive Development Plan and promotes the health, safety, morals, convenience, order, prosperity and welfare of the present and future inhabitants of Sussex County, and that the conditional use is for the general convenience and welfare of the inhabitants of Sussex County.

NOW, THEREFORE, THE COUNTY OF SUSSEX HEREBY ORDAINS:

Section 1. That Chapter 115, Article IV, Subsection 115-22, Code of Sussex County, be amended by adding the designation of Conditional Use No. 2391 as it applies to the property hereinafter described.

Section 2. The subject property is described as follows:

ALL that certain tract, piece or parcel of land, lying and being situate in Georgetown Hundred, Sussex County, Delaware, and lying on northeast side of Cedar Lane (S.C.R. 318) approximately 950 ft. southeast of Wood Branch Road (S.C.R. 321) and being more particularly described in the attached legal description prepared by Tunnell & Raysor, P.A., said parcel containing 0.46 acres, more or less.

This Ordinance shall take effect immediately upon its adoption by majority vote of all members of the County Council of Sussex County, Delaware.



Memorandum

To: Sussex County Council
The Honorable Michael H. Vincent
The Honorable Cynthia C. Green
The Honorable Douglas B. Hudson
The Honorable John L. Rieley
The Honorable Mark G. Schaeffer

From: Jamie Whitehouse, AICP, Director of Planning & Zoning

CC: Everett Moore, County Attorney

Date: June 2, 2023

RE: County Council Report for C/Z 1986 filed on behalf of JKJ Properties, LLC

The Planning and Zoning Department received an application (C/Z 1986 filed on behalf of JKJ Properties, LLC) for a Change of Zone of parcel 130-6.00-115.00 from an AR-1 Agricultural Residential Zoning District to a C-2 Medium Commercial Zoning District. The property is located at 18017 & 18033 Johnson Rd, Lincoln. The parcel size is 1.22 acres +/-

The Planning & Zoning Commission held a Public Hearing on the application on April 27, 2023. At the meeting of April 27, 2023, the Planning & Zoning Commission recommended approval of the application for the 8 reasons as outlined within the motion (copied below).

Below are the minutes from the Planning & Zoning Commission meetings of April 27, 2023.

Minutes of the April 27, 2023, Planning & Zoning Commission Meeting

C/Z 1986 JKJ Properties, LLC

AN ORDINANCE TO AMEND THE COMPREHENSIVE ZONING MAP OF SUSSEX COUNTY FROM AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT TO A C-2 MEDIUM COMMERCIAL DISTRICT FOR A CERTAIN PARCEL OF LAND LYING AND BEING IN CEDAR CREEK HUNDRED, SUSSEX COUNTY, CONTAINING 1.22 ACRES, MORE OR LESS. The property is lying on the north side of Johnson Road (S.C.R. 207), approximately 0.12 mile east of DuPont Boulevard (Rt. 113). 911 Address: 18017 & 18033 Johnson Road, Lincoln. Tax Map Parcel: 130-6.00-115.00.

Mr. Whitehouse advised the Commission that submitted into the record were the Applicant's Exhibit Book, the Boundary Survey, the DelDOT Service Level Evaluation Response, the Applicant's Conceptual Site Plan, and a letter received from the Sussex County Engineering Department Utility



Planning Division. Mr. Whitehouse advised the Commission that zero comments were received for the Application.

The Commission found that Mr. Mark Davidson, Principal Land Planner with Pennoni Associates, LLC spoke on behalf of the Applicant, JKJ Properties, LLC; that also present was Mr. Jim Willer, the managing member of JKJ Properties, LLC. Mr. Davidson stated that Mr. Willer may also be known as the owner of Willer Utility Trailers, located outside of Bridgeville, Delaware, and he is also the host of the Willer Does Delmarva live broadcast on 105.9 FM News Talk; that the application is requesting approval to rezone the land being within AR-1 (Agricultural Residential) zoning district, located on 1.22 acres, on the north side of Johnson Rd., approximately 300-ft. east of DuPont Blvd., within Cedar Creek Hundred; that the Applicant is requesting to rezone the property to C-2 (Medium Commercial) Zoning; that the property was purchased by Mr. Willer on November 5th, 2021; that Mr. Willer additionally owns the properties out front, along Rt. 113; that Mr. Willer purchased his first property at 16 years of age and he had worked at that property since the age of nine; that he later purchased the corner commercial property, which is located adjacent to the subject property; that the property is bordered on the south by Johnson Rd., which is a major collector road; that the property is bordered on the north and east side by some AR-1 (Agricultural Residential) zoned lands; that Mr. Willer owns to the adjacent property to the west, which is zoned C-1 (General Commercial) and currently being the location for Stokely Materials; that in Ordinance 2550, Sussex County Council desired to create a more specific C-2 (Medium Commercial) Zoning District, with smaller, more related uses within the district to promote better planning and predictability in Sussex County; that the purpose of the C-2 (Medium Commercial) district is to support uses that include retail sales, performance and consumer services, that permit a variety of retail, professional and services businesses; that the Ordinance states the district shall be primarily located near arterial and collector streets, while accommodating community commercial uses that do not have outside storage or sales; that by granting the request to rezone to C-2 (Medium Commercial) will allow Mr. Willer to expand his existing commercial use, located on Rt. 113, which will allow him to continue his business plan to create quality commercial flex space, that will focus on customers from the nearby and existing future communities; that in the property's present state, Mr. Willer anticipates the ability to lease the property to small contractors, plumbers, and electricians, with the right to utilize the existing buildings and the property for office and inside storage; that currently the property is being leased for residential use, as there are two single-family dwellings on the property; that there are storage buildings located to the rear of the property; that there are currently two addresses listed for the property; that the property is located within the vicinity of other commercially zoned properties and uses; that they feel the rezoning would not diminish or impair property values within the neighborhood, will not create a public nuisance or result in any increase in public expenditures; that the property is identified to be in an area classified as Low Density per the 2019 Sussex County Comprehensive Plan; that the property is located to adjacent commercial properties, as well as, located adjacent to other developing areas; that the Sussex County Plan suggests that each application should be reviewed on its own merit, and does not have a negative impact on the surrounding area or the County in general; that Mr. Willer does own the adjacent properties, which are the current locations for Stockley Materials and Bean's Attic, LLC retail and antique shop; that the property is located in an area that has traditionally been used for both commercial and industrial uses; that located on the submitted aerial zoning map of the area, the grey colored area, located within the upper right-hand corner, reflects Industrial Zoning; that the Industrial zoned areas are the location of the Fitzgerald Savage yard; that there is a B-1 (Neighborhood Business)

property located directly across the street; that located across Johnson Rd. is a property subject to a Conditional Use for an auto repair shop; that although the Town of Lincoln is not incorporated, the subject property is part of the Lincoln community, being just west of the Town Center of Lincoln; that the property is located along a major collector road, which according to DelDOT's Highway Functional classification; that additional right of ways and easements will be dedicated during final planning for the property; that DelDOT did not require a Traffic Impact Study (TIS); that the focus for the retail and offices uses within the Low Density areas is to provide convenience goods and services to the nearby residences; that since the Comprehensive Plan is a guide for the future use of land, the County's Zoning Map must be consistent with the uses and intensities of uses provided in the Future Land Use Plan; that Table 4.5-2 is provided as a tool for assisting; that C-2 (Medium Commercial) is an applicable zoning district within the a Low Density are; that the 2020 Strategies for State Policies and Spending indicate the property is located within Investment Level 3; that the property is not a stand-alone commercial property, as it is located adjacent to other properties owned by Mr. Weller; that there are no wetlands located on the property; that the property is located within Flood Zone X; that there are no historical or natural features located on the site; that stormwater will be placed on the site, using all best management practices, as well as, meet all the minimum requirements State requirements for stormwater management, until central sewer is located in the Lincoln area; that the site will utilize an on-site sanitary sewer system within the property; that the wells located on the property will all be permitted by DNREC; that the proposed rezoning meets the general purpose of the Zoning Ordinance; that the site is located in an appropriate location, by meeting the purpose of the district, the Future Land Use Plan, and the strategies and objectives of the Comprehensive Plan; that the proposed rezoning promotes growth and development through community design, mobility, utilities, transportation and economic development in an area where a general mixture of commercial and service activity now exists and is essential and desirable for the general convenience, orderly growth, prosperity and welfare of the County.

Ms. Stevenson questioned if anyone lived in the existing dwellings on the site.

Mr. Davidson stated that there are current residents residing in the existing dwellings on the site; that should the property be rezoned to C-2 (Medium Commercial), the properties cannot be used for residential; that this was Mr. Weller's reasoning for proposing placing smaller contractors in the buildings along the front, allowing the use of the storage buildings located to the rear of the property, which is ideal for a smaller contractor to utilize.

Mr. Mears stated he felt the site location was ideal for the proposed zoning, especially being located adjacent to Stockley Materials.

The Commission found that no one was present in the room who wished to speak in support of or in opposition to the Application.

The Commission found that Ms. Iris Payne spoke by teleconference with concerns regarding the potential increase in traffic along Johnson Rd. if the rezoning was approved.

Upon there being no further questions, Chairman Wheatley closed the public hearing.

At the conclusion of the public hearing, the Commission discussed the Application.

Mr. Robertson stated he had prepared a motion per the Commission's request.

Mr. Robertson read the prepared motion into the record per the Commission's request.

The Commission moved to recommend approval of C/Z 1986 JKJ Properties, LLC for a Change in Zone from AR-1 Agricultural-Residential zoning to C-2 "Medium Commercial" zoning based upon the record made during the public hearing and for the following reasons:

1. C-2 Medium Commercial Zoning is designed to support retail sales and the performance of consumer services. It is intended to be located near arterial and collector roads.
2. The Applicant's property is currently zoned AR-1 along Route 113, near the intersection with Johnson Road. The property is adjacent to the property at the intersection that is zoned C-1 and other properties at the intersection are zoned C-1, HI, and B-1. This is an appropriate location for C-2 zoning.
3. C-2 Zoning at this location along Johnson Road near its intersection with Route 113 will benefit nearby residents of Sussex County by providing a convenient location for the uses permitted in that Zone.
4. There is no evidence that this rezoning will have an adverse impact on neighboring properties or area roadways.
5. The site is mostly in the "Low-Density Area" according to the Sussex County Land Use Plan and Future Land Use Map. C-2 Zoning is appropriate in Low-Density Areas according to the Plan.
6. The proposed rezoning meets the general purpose of the Zoning Code by promoting the orderly growth, convenience, order prosperity, and welfare of the County.
7. No parties appeared in opposition to the rezoning application.
8. Any future use of the property will be subject to Site Plan review by the Sussex County Planning and Zoning Commission.

Motion by Ms. Wingate, seconded by Ms. Stevenson, and carried unanimously to recommend approval of JKJ Properties, LLC for the reasons stated in the motion. Motion carried 4-0.

Vote by roll call: Ms. Stevenson – yea, Ms. Wingate – yea, Mr. Mears – yea, Chairman Wheatley – yea

PLANNING & ZONING COMMISSION

ROBERT C. WHEATLEY, CHAIRMAN
KIM HOEY STEVENSON, VICE-CHAIRMAN
R. KELLER HOPKINS
J. BRUCE MEARS
HOLLY J. WINGATE



Sussex County

DELAWARE
sussexcountyde.gov
302-855-7878 T
JAMIE WHITEHOUSE, AICP, MRTPI
DIRECTOR

PLANNING AND ZONING AND COUNTY COUNCIL INFORMATION SHEET
Planning Commission Public Hearing Date: April 27, 2023

Application: C/Z 1986 JKJ Properties, LLC

Applicant: JKJ Properties, LLC
16889 N. Main St
Bridgeville, DE 19933

Owner: JKJ Properties, LLC
16889 N. Main St
Bridgeville, DE 19933

Site Location: The site is located on the north side of Johnson Road (S.C.R. 207), approximately 0.12 mile east of DuPont Boulevard (Rt. 113)

Current Zoning: Agricultural Residential (AR-1)

Proposed Zoning: Medium Commercial (C-2)

Comprehensive Land Use Plan Reference: Low Density Area

Councilmanic District: Ms. Green

School District: Milford School District

Fire District: Carlisle Fire Company

Sewer: On-site Septic

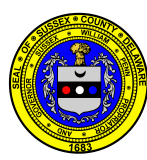
Water: On-site Well

TID: Not Applicable

Site Area: 1.22 acres +/-

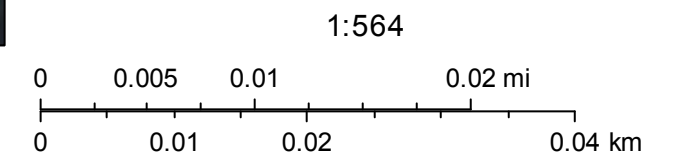
Tax Map ID: 130-6.00-115.00

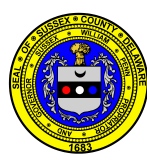




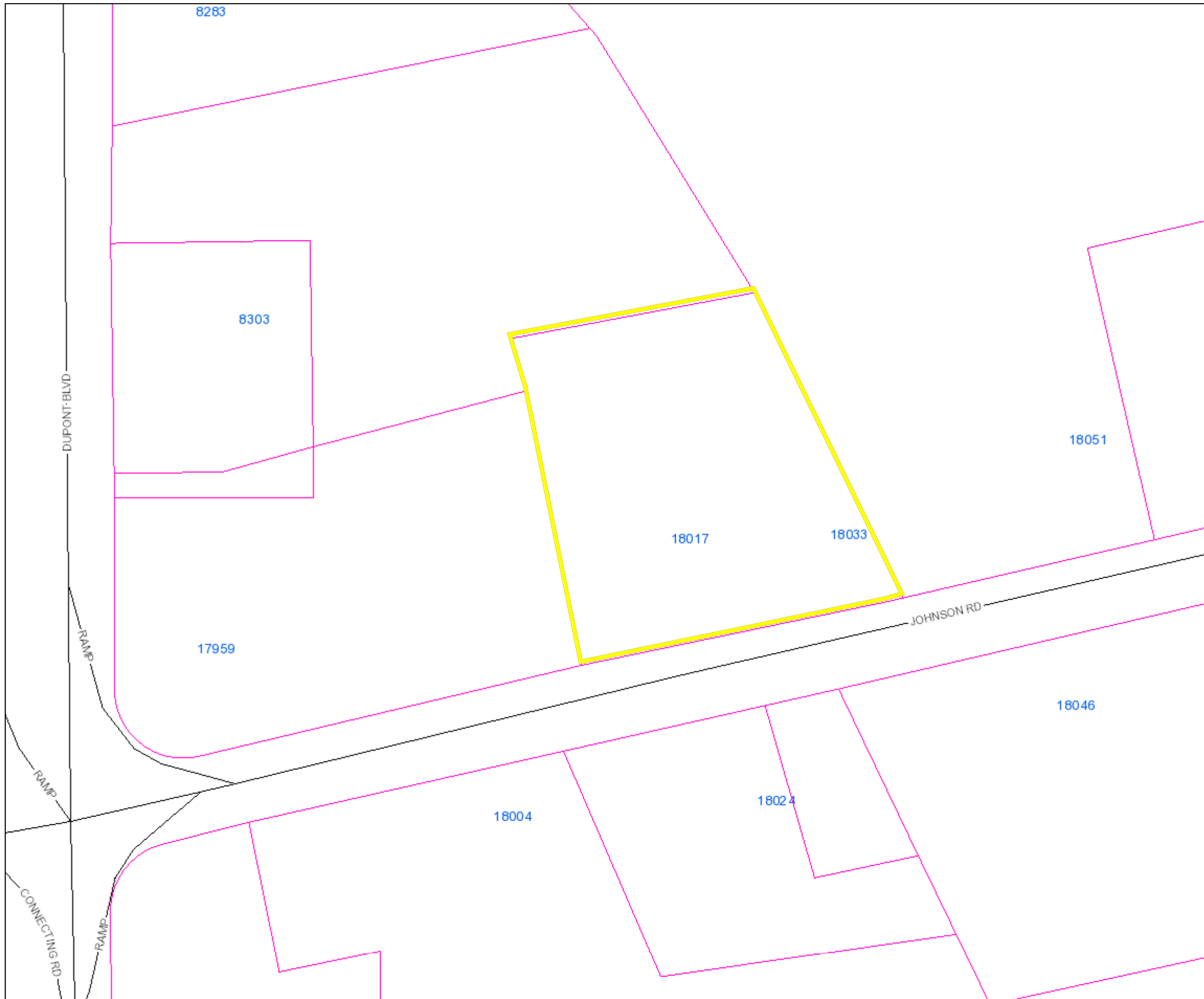
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Owner Name	JKJ PROPERTIES LLC
Book	5587
Mailing Address	16889 N MAIN ST
City	BRIDGEVILLE
State	DE
Description	RD LINCOLNGREENWOOD
Description 2	N/RT 207 400'
Description 3	E/RT 113
Land Code	

- polygonLayer**
- Override 1
- polygonLayer**
- Override 1
- ⋮ Tax Parcels
- 911 Address
- Streets
- County Boundaries





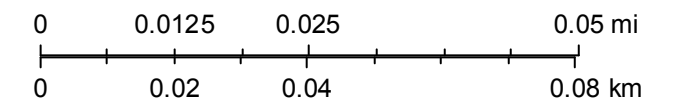
Sussex County



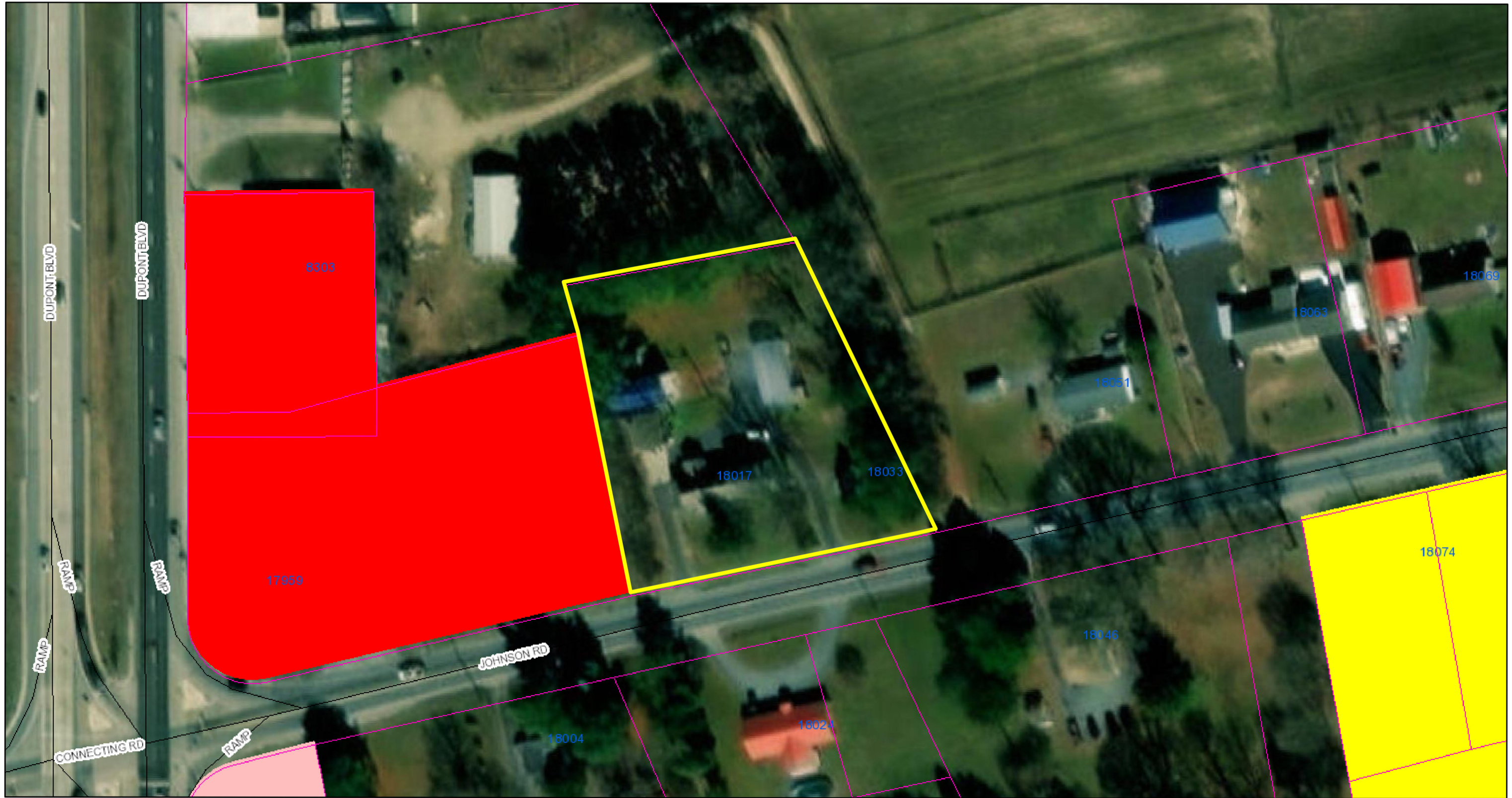
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| | Tax Parcels |
| | 911 Address |
| | Streets |
| | County Boundaries |

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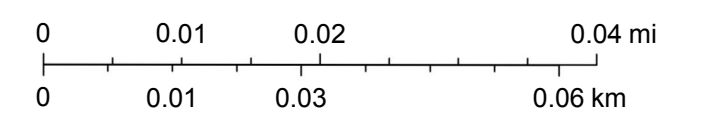
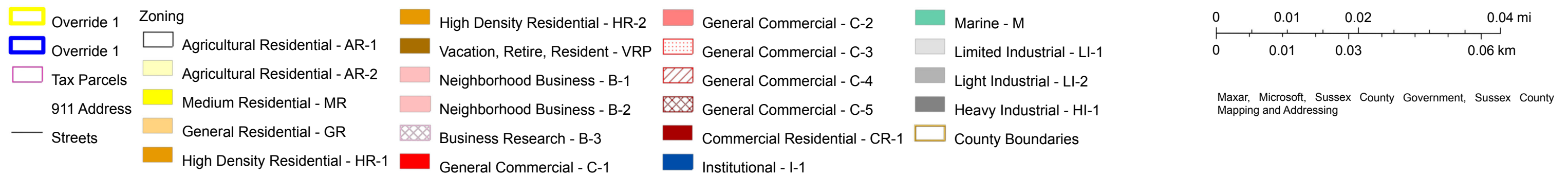


Sussex County



March 27, 2023

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Maxar, Microsoft, Sussex County Government, Sussex County Mapping and Addressing

Introduced: 07/12/2022

Council District 2: Ms. Green
Tax I.D. No.: 130-6.00-115.00
911 Addresses: 18017 and 18033 Johnson Road, Lincoln

ORDINANCE NO. ____

AN ORDINANCE TO AMEND THE COMPREHENSIVE ZONING MAP OF SUSSEX COUNTY FROM AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT TO A C-2 MEDIUM COMMERCIAL DISTRICT FOR A CERTAIN PARCEL OF LAND LYING AND BEING IN CEDAR CREEK HUNDRED, SUSSEX COUNTY, CONTAINING 1.22 ACRES, MORE OR LESS

WHEREAS, on the 11th day of May 2022, a zoning application, denominated Change of Zone No. 1986 was filed on behalf of JKJ Properties, LLC; and

WHEREAS, on the ____ day of _____ 2022, a public hearing was held, after notice, before the Planning and Zoning Commission of Sussex County and said Planning and Zoning Commission recommended that Change of Zone No. 1986 be _____; and

WHEREAS, on the ____ day of _____ 2022, a public hearing was held, after notice, before the County Council of Sussex County and the County Council of Sussex County has determined, based on the findings of facts, that said change of zone is in accordance with the Comprehensive Development Plan and promotes the health, safety, morals, convenience, order, prosperity and welfare of the present and future inhabitants of Sussex County,

NOW, THEREFORE, THE COUNTY OF SUSSEX HEREBY ORDAINS:

Section 1. That Chapter 115, Article II, Subsection 115-7, Code of Sussex County, be amended by deleting from the Comprehensive Zoning Map of Sussex County the zoning classification of AR-1 Agricultural Residential District and adding in lieu thereof the designation C-2 Medium Commercial District as it applies to the property hereinafter described.

Section 2. The subject property is described as follows:

ALL that certain tract, piece or parcel of land lying and being situate in Cedar Creek Hundred, Sussex County, Delaware, and lying on the north side of Johnson Road (S.C.R. 207) approximately 0.12 mile east of DuPont Boulevard (Rt. 113) and being more particularly described in the attached legal description prepared by Pennoni, said parcel containing 1.22 ac., more or less.

This Ordinance shall take effect immediately upon its adoption by majority vote of all members of the County Council of Sussex County, Delaware.