

Sussex County Council Public/Media Packet

**MEETING:
October 11, 2022**

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COUNTY COUNCIL

MICHAEL H. VINCENT, PRESIDENT
DOUGLAS B. HUDSON, VICE PRESIDENT
CYNTHIA C. GREEN
JOHN L. RIELEY
MARK G. SCHAEFFER



Sussex County

DELAWARE
sussexcountyde.gov
(302) 855-7743

SUSSEX COUNTY COUNCIL

A G E N D A

OCTOBER 11, 2022

9:00 A.M.

Call to Order

Approval of Agenda

An Appeal on the Sussex County Planning and Zoning Commission's decision to approve Subdivision Application No. 2021-06 - Coral Lakes (F.K.A. Coral Crossing)

Executive Session – Land Acquisition and Pending/Potential Litigation pursuant to 29 Del.C.§10004(b)

Possible action on Executive Session items

Recess

Approval of Minutes – September 27, 2022

Reading of Correspondence

Public Comments

Consent Agenda

- 1. Use of Existing Sewer Infrastructure Agreement, IUA 1205 Heritage Shores Phase 4F (Western Sussex Area)**

Todd Lawson, County Administrator

- 1. Administrator's Report**



Hans Medlarz, County Engineer

- 1. South Coastal WRF Treatment Process Upgrade No. 3 & Rehoboth Beach WTP Capital Improvement Program, Phase 2**
 - A. General Construction, Project C19-11, Change Order No. 25**
 - B. Electrical Construction, Project C19-17, Change Order No. 19**

Grant Requests

- 1. Milton Arts Guild Inc. for their facility expansion project**
- 2. Milton Historical Society for upgrades to their financial system to a Cloud-Based POS system**
- 3. Clear Space Theatre Company for their 2023 Spring Productions**
- 4. Children's Beach House, Inc. for their Youth Development Program**
- 5. Family Promise of Southern Delaware for their Eviction Prevention Program**

Introduction of Proposed Zoning Ordinances

Council Members' Comments

Adjourn

-MEETING DETAILS-

In accordance with 29 Del.C. §10004(e)(2), this Agenda was posted on October 4, 2022 at 4:15 p.m. and at least seven (7) days in advance of the meeting.

This Agenda was prepared by the County Administrator and is subject to change to include the addition or deletion of items, including Executive Sessions, which arise at the time of the meeting.

Agenda items may be considered out of sequence.

The meeting will be streamed live at <https://sussexcountye.gov/council-chamber-broadcast>.

The County provides a dial-in number for the public to comment during the appropriate time of the meeting. **Note, the on-line stream experiences a 30-second delay.**

Any person who dials in should listen to the teleconference audio to avoid the on-line stream delay.

To join the meeting via telephone, please dial:

Conference Number: 1-302-394-5036

Conference Code: 570176

Members of the public joining the meeting on the telephone will be provided an opportunity to make comments under the Public Comment section of the meeting and during the respective Public Hearing.

The Council meeting materials, including the “packet”, are electronically accessible on the County’s website at: <https://sussexcountye.gov/agendas-minutes/county-council>.

#

SUSSEX COUNTY COUNCIL - GEORGETOWN, DELAWARE, SEPTEMBER 27, 2022

A regularly scheduled meeting of the Sussex County Council was held on Tuesday, September 27, 2022, at 10:00 a.m., in Council Chambers, with the following present:

Michael H. Vincent	President
Douglas B. Hudson	Vice President
Cynthia C. Green	Councilwoman
John L. Rieley	Councilman
Mark G. Schaeffer	Councilman
Todd F. Lawson	County Administrator
Gina A. Jennings	Finance Director
J. Everett Moore, Jr.	County Attorney
Vince Robertson	Assistant County Attorney

The Invocation and Pledge of Allegiance were led by Mr. Vincent.

**Call to
Order**

Mr. Vincent called the meeting to order.

**M 450 22
Approve
Agenda**

Mr. Lawson reported that Introduction of Proposed Ordinances can be removed from today's agenda. A Motion was made by Mr. Hudson, seconded by Mr. Rieley, to approve the Agenda as amended.

Motion Adopted: 5 Yeas.

**Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea;
Mr. Hudson, Yea; Mr. Rieley, Yea;
Mr. Vincent, Yea**

Minutes

The minutes of the September 20, 2022 meeting were approved by consensus.

**Corres-
pondence**

There was no correspondence.

**Public
Comment**

There were no public comments.

**Sussex
Sports
Center
Foundation
Presentation**

A presentation was given by Mr. Joseph Schell from the Sussex County Sports Center Foundation. Mr. Schell provided an update on the Sandhill fields and discussed a potential fieldhouse to be constructed on the property. Mr. Schell shared that the Sandhill fieldhouse is considered Phase 2 of the project consisting of a 42,000 square foot building. The building will consist of multi-use sport courts and turf fields for pickleball, soccer, lacrosse, field hockey, etc. The building can also be used as an indoor event location and will be a facility designed for the local community. The estimated cost for the proposed building is \$7.5 million (includes \$500,000 contingency fund). It is estimated that \$5.1 million will come from the

**Sussex
Sports
Center
Foundation
Presentation
(continued)**

private sector (including foundations), \$300,000 from the business community and \$2.1 million from the public sector.

Mr. Schell reported that the facility supports Sussex County residents. Currently, the following groups use the fields:

- La Super Liga – 800 members
- Henlopen Soccer Club – 1,300 members
- Oranje Field Hockey Club – 200 members
- Coastal Lacrosse Club – 200 members
- First State Pickleball – 550 members

Mr. Schell discussed what was being planned for the indoor facility and the site location. He also shared tournament information from years 2020 through March 2022 pointing out the economic impact to Sussex County.

Mr. Schell shared and discussed the Sports Center Foundation’s operation statement for years 2021 through 2024. In addition, he discussed financing requirements for the fieldhouse.

There was no action taken by Council.

**M 451 22
Approve
Consent
Agenda**

A Motion was made by Mr. Rieley, seconded by Mr. Schaeffer to approve the following items under the Consent Agenda:

**Use of Existing Sewer Infrastructure Agreement, IUA GP170.03
Grotto Pizza Corporate Headquarters (West Rehoboth Area)**

**Use of Existing Sewer Infrastructure Agreement, IUA 407-1
Plover Point (Oak Orchard Area)**

Motion Adopted: 5 Yeas

**Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea;
Mr. Hudson, Yea; Mr. Rieley, Yea;
Mr. Vincent, Yea**

**Retirees
Recognition**

The Council recognized the following employees that are retiring:

Sherita R. Belle, Purchasing Supervisor, Engineering Department, who is retiring after 30 years and 1 month of service with the County.

Holly R. Brittingham, Facility District Manager, Engineering Department, who is retiring after 30 years of service with the County.

Mary Catherine Hopkins, Library Director for the Milton Library, who is retiring after 41 years of service with the County.

**Adminis-
trator's
Report**

Mr. Lawson read the following information in his Administrator's Report:

1. Sussex County Property Taxes Due September 30th

A final reminder for property owners in Sussex County that September 30th is the deadline to pay annual County property tax bills. Payments can be made in person, online, by phone, or by mail. Any payments mailed must be postmarked no later than September 30th. Payments made October 1st or later will be subject to penalty.

This year's tax bills once again feature an easy-to-read format to help taxpayers better understand their bills and payment options. A number of payment options are available for the public's convenience. A tutorial explaining how to view account information and to make payments is available on the County website at <https://www.sussexcountyde.gov/property-tax-portal-tutorial>.

Sussex County accepts tax payments by cash, check, money order, and debit or credit cards.

2. Council Meeting Schedule

A reminder that Council will not meet on Tuesday, October 4th. The next regularly scheduled Council meeting will be held on Tuesday, October 11th.

[Attachments to the Administrator's Report are not attached to the minutes.]

**Third
Quarter
Employee
Recognition
Awards**

Karen Brewington, Human Resources Director presented the third quarter employee recognition awards. Mrs. Brewington reported that there were 34 submissions received for the third quarter. The third quarter selections were Ann Lepore from the Planning and Zoning Department and Lindsey Stubbs from the GIS Department.

**Milton
Medic 111
Station
Lease
Renewal**

Robert Schoonover, EMS Manager of Logistics presented a lease renewal for Milton Medic 111 Station for Council's consideration. The request is to extend the lease until a station is built in that area. Mr. Schoonover noted that the rent did increase from \$100 per month to \$200 per month.

**M 452 22
Approve**

A Motion was made by Mr. Schaeffer, seconded by Mr. Hudson, that be it moved that the Sussex County Council approves a lease agreement between CHEER Inc. and Sussex County Council as per the terms and conditions in

**Milton
Medic 111
Station
Lease
Renewal**

the written lease agreement.

Motion Adopted: 5 Yeas

**Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea;
Mr. Hudson, Yea; Mr. Rieley, Yea;
Mr. Vincent, Yea**

**Old
Business/
CU2300**

Under Old Business, Jamie Whitehouse, Planning and Zoning Director presented Conditional Use No. 2300 entitled “AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR A BORROW PIT TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN BALTIMORE HUNDRED, SUSSEX COUNTY, CONTAINING 56.93 ACRES, MORE OR LESS” filed on behalf of MRBP, LLC (property lying on the southwest side of McCary Road [S.C.R. 385], approximately 857-ft south of Frankford School Road [S.C.R. 92]) (911 Address: N/A) (Tax Parcels: 533-5.00-38.00 & 41.04)

Mr. Whitehouse reminded Council that County Council closed the public record at the last Council meeting held on September 20, 2022 and the additional comments that were received were provided. At that time, Council deferred action for future consideration.

**M 453 22
CU2300/
DENIED**

A Motion was made Mr. Hudson, seconded by Mr. Rieley to approve a Proposed Ordinance entitled “AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR A BORROW PIT TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN BALTIMORE HUNDRED, SUSSEX COUNTY, CONTAINING 56.93 ACRES, MORE OR LESS” filed on behalf of MRBP, LLC for the reasons given by the Planning and Zoning Commission numbered 1-8 with Conditions 9A-T.

Mr. Hudson stated that he has given this application a lot of thought. There has been a lot of information provided, and he knew the Planning & Zoning Commission recommended approval of it, with conditions. After considering all of the information in the record, he cannot support a borrow pit in this location.

Under our Zoning Code, one of the things we need to consider on any conditional use is “the possible impact ... on neighboring properties” from a proposed use. Here, he believes that this use would have an adverse impact on the nearby properties.

While there is a need for dirt, sand, and gravel there are better locations for borrow pits in more rural areas of the County that will not have an impact on homes or community-use properties like the adjacent recreation fields that are next door to this property.

**M 453 22
CU2300/
DENIED
(continued)**

Mr. Hudson added that he has concerns that this borrow pit is essentially shoehorned in among homes and a community recreational facility on an irregularly shaped property.

This proposed Borrow Pit is also on a small road, and there was testimony in the record that McCary Road would not be able to handle the volume of large truck traffic that would come from the use of this property as a borrow pit over many years. The same is true of Roxana Road and Frankford School Road which all connect to McCary Road. Although the DelDOT information in the record stated that the use would likely only generate fewer than 50 vehicle trips per day, that does not take into account the fact that these would be large, heavy trucks and not ordinary vehicles. Mr. Hudson added that he is not satisfied that McCary Road or other nearby roads can handle what is essentially industrial truck traffic. The neighborhood should not be burdened by this truck traffic and the noise generated by it, either.

Our Comprehensive Plan states that “It is important that commercial and industrial development occurs in a scale, intensity, and distance appropriate to residential neighborhoods.” I don’t believe that the proposed borrow pit is in compliance with this standard. It is essentially an industrial mining operation with dredges, heavy equipment and heavy truck traffic on the site and the area roads. This is not compatible with the scale and intensity of this neighborhood.

Mr. Hudson added that he also considered the extensive opposition to this application, including a petition with 17 signatures from the community. This opposition came from neighbors or residents who regularly use the roadways that would be directly impacted by this application. Their reasons for opposing this application included concerns about traffic and the volume of truck traffic that would be generated by this use. They also stated concerns about the noise coming from all the equipment that would be used as part of the borrow pit operations. As a result of all of this, they also stated reasonable concerns about the impact of having a borrow pit nearby on their property values. There was also testimony from nearby farmers, who expressed concerns about the impact of the borrow pit on chicken farming operations and water quality. Mr. Hudson finds all of these concerns to be compelling.

On the other hand, no parties other than the Applicant and its representatives appeared at the public hearing in favor of the Application.

Mr. Hudson added that he understands that the Planning & Zoning Commission recommended approval of this Application. However, based upon the record that we heard at our public hearing and the reasons he explained here, he cannot follow the Commission’s recommendation this time. He also doesn’t feel that the recommended conditions can adequately

**M 453 22
CU2300/
DENIED
(continued)**

address the potential adverse impacts of this borrow pit in this location.

The application, if approved, would be detrimental to the health, safety and general welfare of neighboring property owners, and pedestrians and motorists in the area for all of the reasons that he has mentioned.

Mr. Hudson stated that based on all of these reasons, he is not voting in favor of Conditional Use No. 2300 for a borrow pit.

Motion Denied: 5 Nays.

**Vote by Roll Call: Mrs. Green, Nay; Mr. Schaeffer, Nay;
Mr. Hudson, Nay; Mr. Rieley, Nay;
Mr. Vincent, Nay**

**Old
Business/
Affordably
Priced
Rental Units**

Under Old Business, Jamie Whitehouse, Planning and Zoning Director presented a Proposed Ordinance entitled “AN ORDINANCE TO AMEND THE CODE OF SUSSEX COUNTY, CHAPTER 72, ARTICLE II, SECTIONS 72-16 THROUGH 72-28 AND CHAPTER 115, ARTICLE IV, V, VI, VII AND VIII SECTIONS 115-20, 115-25, 115-29, 115-34, 115-37, 115-42, 115-45, 115-50, 115-53 AND 115-58 REGARDING AFFORDABLY PRICED RENTAL UNITS AND THE SUSSEX COUNTY RENTAL UNIT 7 (SCRP) PROGRAM”.

Mr. Whitehouse reminded Council that an update of this Proposed Ordinance was provided by staff during the meeting of August 9, 2022.

Vince Robertson, Assistant County Attorney reviewed possible revisions to the Proposed Ordinance.

The first change is in the section relating to eligibility for tenants. Mr. Robertson shared that there was a fair housing concern if it was only limited to Sussex County residents or those that work in Sussex County. Therefore, the proposal is to delete that requirement. However, include new language that states “There shall be a preference given to tenants who have worked or resided in Sussex County for at least one-year preceding application to the SCR P”.

Another item that was brought up during this process was to eliminate the requirement that proof be given that adult tenants have not been convicted of a felony and have a satisfactory credit and criminal history. The language has been changed to state that prospective tenants “comply with the criminal and credit history requirements for tenants of all leases within the proposed housing development”.

The next revision is located in §72-27 and the Zoning Code. This change is to set a timeframe to do a review to see if the program is working or if there are changes that need to be made. The proposed language states “Sussex County shall commence a comprehensive review of the provisions of this SCR P program on or before January 1, 2028”. Mr. Rieley commented that

**Old
Business/
Affordably
Priced
Rental Units
(continued)**

five years seemed far out; you should be able to see if there is interest and if applications are coming in sooner than that timeframe. Mr. Robertson replied that there are two items to consider. First, if applications will be submitted to build these projects and to see if the percentage of SCRIP units was workable. Mr. Robertson stated that language can be included to state that an annual report be given.

The next change is to reduce the required percentage of SCRIP units within a development. The proposed change is to change it from 30% to 25% of all dwelling units must be SCRIP units.

In addition, it was requested to include the Comprehensive Plan's "Commercial Area" for the list of appropriate areas for these projects.

It was also requested to add flexibility in the DART proximity requirement. It was noted that as of now, Sussex County is not served much by DART other than major roadways. The suggestion was to tie into the types of roadways with the thought that DART will eventually serve those areas. The proposed language reads "The site shall be located within 2,640 feet of a Principal Arterial Road, Minor Arterial Road or Major Collector Road as classified by the Delaware Department of Transportation. In addition, an Applicant should make every effort to coordinate with DART for transit access to and from the site".

The next proposed change is to amend the walking and biking trails design requirement. The request was made to take "shall" out and insert "may" into the last sentence of that section.

Another proposed change received was to amend the setback requirements dealing with height requirements. It is being proposed to add a sentence to that section to read "Provided, however, that if the height does not exceed 42 feet, then the setback described in this subsection shall be reduced from one hundred feet to fifty feet".

There was also a request to amend sidewalk and interconnectivity requirements to state that there must be sidewalks on at least one side of all streets and interconnectivity to adjacent walkway system wherever possible.

The last proposed revision is to delete the primary view requirement.

**Grant
Request**

Mrs. Jennings presented a grant request for Council's consideration.

**M 454 22
Autism
Delaware,
Inc.**

A Motion was made by Mr. Schaeffer, seconded by Mr. Hudson to give \$2,000 (\$400 from each Councilmanic Grant Account) to Autism Delaware, Inc. for their Walk for Autism.

Motion Adopted: 5 Yeas

Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea;

**Mr. Hudson, Yea; Mr. Rieley, Yea;
Mr. Vincent, Yea**

**Council
Members'
Comments**

There were no Council Member comments.

**M 455 22
Go Into
Executive
Session**

At 11:05 a.m., a Motion was made by Mr. Hudson, seconded by Mr. Rieley to recess the Regular Session, and go into Executive Session for the purpose of discussing matters relating to pending/potential litigation and land acquisition.

Motion Adopted: 5 Yeas

**Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea;
Mr. Hudson, Yea; Mr. Rieley, Yea;
Mr. Vincent, Yea**

**Executive
Session**

At 11:13 a.m., an Executive Session of the Sussex County Council was held in the Council Chambers to discuss matters relating to pending/potential litigation and land acquisition. The Executive Session concluded at 11:54 a.m.

**M 456 22
Reconvene**

A Motion was made by Mr. Rieley, seconded by Mrs. Green to come out of Executive Session to go back into Regular Session.

Motion Adopted: 3 Yeas, 2 Absent

**Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Absent;
Mr. Hudson, Absent; Mr. Rieley, Yea;
Mr. Vincent, Yea**

E/S Action

There was no action relating to Executive Session matters.

**M 457 22
Recess**

A Motion was made by Mr. Rieley, seconded by Mrs. Green to recess until 1:30 p.m. Public Hearings.

Motion Adopted: 3 Yeas, 2 Absent

**Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Absent;
Mr. Hudson, Absent; Mr. Rieley, Yea;
Mr. Vincent, Yea**

**M 458 22
Reconvene**

At 1:32 p.m., a Motion was made by Mrs. Green, seconded by Mr. Rieley to reconvene.

Motion Adopted: 5 Yeas

**Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea;
Mr. Hudson, Yea; Mr. Rieley, Yea;
Mr. Vincent, Yea**

Rules

Mr. Moore read the procedures for public hearings on zoning matters.

**Public
Hearing/
CU2356**

A Public Hearing was held on a Proposed Ordinance entitled “AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR AN AMENDMENT OF CONDITION NO. 9 IN ORDINANCE NO. 2378 (CONDITIONAL USE NO. 1963) TO AMEND THE REQUIREMENT THAT NO CAMPERS OR RVs SHALL BE STORED ON THE CAMPGROUND DURING THE PERIOD THAT THE CAMPGROUND IS CLOSED TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN INDIAN RIVER HUNDRED, SUSSEX COUNTY, CONTAINING 54.33 ACRES, MORE OR LESS” filed on behalf of Sun Massey’s Landing RV, LLC (property lying on the north side and south side of Long Neck Road, within the Massey’s Landing RV Park) (911 Addresses: 20628 Long Beach Drive, 20636 Long Beach Drive, 32464 Sailfish Drive and 22814 Conch Road, Millsboro) (Tax Parcels: 234-25.00-31.02 & 31.05)

The Planning and Zoning Commission held a Public Hearing on this application on August 25, 2022, and on September 8, 2022, the Planning & Zoning Commission recommended approval of the application for the four reasons stated and subject to the recommended condition wording.

(See the minutes of the Planning and Zoning Commission dated August 25 and September 8, 2022.)

Jamie Whitehouse, Planning and Zoning Director presented the application.

The Council found that Mr. David Hutt was present on behalf of the Application; that the resort is managed by the Bluewater Development Corporation; that Jessica and Tony Nichols were present on behalf of Bluewater Development Corporation; that in December of 2014, County Council adopted Ordinance No. 2378; that there was a Conditional Use granted for Massey’s Landing RV Campground with 24 conditions; that Condition No. 8 was modified in 2017; that the change was to modify the date of when the RV resort could be opened; that the request is to change Condition No. 9 which currently reads “The campground/RV park shall remain vacant and no campers or RV’s shall be stored on the campground during the period that the campground is closed.”; that as part of the request for the amendment, there is proposed language for Condition No. 9 which states “The campground/RV park shall remain vacant and no campers or RV’s except Park Model RV’s on approved Park Model campsites shall be stored on the campground during the period that the campground is closed. Park Model RV’s in special flood hazard areas shall meet the requirements of 115-141.5B (3) for manufactured homes.”; that this change would allow the Park Models to remain at the resort when it is closed; that the second sentence in the proposed change essentially refers to moving any Park Models that are in a special flood hazard area; that the

Public
Hearing/
CU2356
(continued)

final site plan shows the various types of campsites but all 291 campsites are required to be transient; that there are 216 sites where guest bring their RV's, 5 tent sites, and 70 Park Model sites; that the Park Model sites are highlighted on the site plan; that the sites shaded in tan are with the special flood hazard area and the areas shaded in green are outside the flood hazard areas; that pursuant to the conditions at the end of the first weekend in November each year, the process begins of disassembling those campsites and removing the RV's from the property; that the cost for this process is \$150,000 annually; that during the pandemic, a hauler could not be found to facilitate this process and the RV's remained on the site; that a notice of violation was sent to the property owner and that prompted this application; that during the hearing to amend conditions in 2017, there were two items discussed, one was regarding the special flood area and the second was if they remain on the site on a 12-month basis they essentially become Manufactured Homes and that makes them a permanent structure; that the concerns exist when the homes are occupied from April through November; that there would be no danger to individuals as the RV's are not occupied when the park is closed for the season; that Hurricane season ends in November with the most activity from Mid-August through Mid-October; that County Code has a provision that states exactly what is required if an RV is located in a special flood hazard area; that Sussex County Code Section 115-141.4 G subsection 2 states "Recreational vehicles that are to be placed on a site for more than 180 consecutive days, shall meet the requirements of §115-141.5B(3) for manufactured homes or §115-141.6C(4), as applicable."; that those two code sections relate to special flood hazard areas and the second one applies to Coastal High Hazard areas which does not apply here; that the reason for denial in 2017 was best described in reason 4 from the motion; that reason stated the following "Section 115-172.H.9-No permanent structures for human occupation or manufactured homes other than the one used by the park manager are permitted in a campground"; that this section prohibits the conversion of RV's into permanently anchored structures like a manufactured home; that the Code seems contradictory while it should be read to be harmonious; that for a Manufactured Home the minimum square footage is 450 sq. ft. which exceeds the maximum amount of sq. ft. that can be in a RV; that the maximum amount of footage for a RV is 400 sq. ft.; that in the exhibit there are pictures of a park model RV with the hitch for towing purposes; that the online packet includes an SFR report from DelDOT which states there would be a minor impact on traffic and an area-wide study fee could be paid and this must be incorrect as this request would not generate any new traffic; that in fact, if this amendment is approved there would be 126 less trips per year on Long Neck Road as the RV's would remain on the site year round; that they will not be occupied year round as the Park will be closed from November through the end of March.

There were no public comments.

The Public Hearing and public record were closed.

**M 459 22
Adopt
Ordinance
No. 2886/
CU2356**

A Motion was made by Mr. Schaeffer, seconded by Mrs. Green to Adopt Ordinance No. 2886 entitled “AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR AN AMENDMENT OF CONDITION NO. 9 IN ORDINANCE NO. 2378 (CONDITIONAL USE NO. 1963) TO AMEND THE REQUIREMENT THAT NO CAMPERS OR RVs SHALL BE STORED ON THE CAMPGROUND DURING THE PERIOD THAT THE CAMPGROUND IS CLOSED TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN INDIAN RIVER HUNDRED, SUSSEX COUNTY, CONTAINING 54.33 ACRES, MORE OR LESS” for the reasons and findings of Planning and Zoning as follows:

- 1. Condition # 9 of Ordinance # 1963 currently prohibits campers and RVs from being stored within the campground when it is closed for the season. This includes “Park Model” RVs specifically built for use in this campground.**
- 2. As a result of Condition #9, all “Park Model” RVs must be disconnected from all utilities and transported along the area roadways to an offsite location. This creates additional and unnecessary traffic on those area roadways.**
- 3. This revision will not adversely affect neighboring properties or roadways.**
- 4. No parties appeared in opposition to this request.**
- 5. For these reasons, it is appropriate to amend Condition #9 of Ordinance # 2378 and Conditional Use #1963 so that it now states as follows:**

“9. “The campground/RV park shall remain vacant during the period that the campground is closed. No campers or RVs shall be stored on the campground while it is closed, with the exception of “Park Model” RVs located on approved “Park Model” campsites within the site. “Park Model” RVs located within the Special Flood Hazard Areas shall meet the requirements of Section 115-141B (3) of the Sussex County Zoning Code for manufactured homes.”

Motion Adopted: 5 Yeas

**Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea;
Mr. Hudson, Yea; Mr. Rieley, Yea;
Mr. Vincent, Yea**

**Public
Hearing/
CZ1963**

A Public Hearing was held on a Proposed Ordinance entitled “AN ORDINANCE TO AMEND THE COMPREHENSIVE ZONING MAP OF SUSSEX COUNTY FROM AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT TO A C-2 MEDIUM COMMERCIAL DISTRICT FOR A CERTAIN PARCEL OF LAND LYING AND BEING IN DAGSBORO HUNDRED, SUSSEX COUNTY, CONTAINING 9.54 ACRES, MORE OR LESS” filed on behalf of ES Motors (property lying on the south side of Vines Creek Road [Rt. 26], approximately 0.5 mile east of Armory Road [Rt. 382])

**Public
Hearing/
CZ1963
(continued)**

(911 Addresses: 30028 and 30032 Vines Creek Road) (Tax Parcel: 233-11.00-172.00)

The Planning and Zoning Commission held a Public Hearing on this application on August 25, 2022, and on September 8, 2022, the Planning & Zoning Commission recommended approval of the application for the seven reasons stated.

(See the minutes of the Planning and Zoning Commission dated August 25 and September 8, 2022.)

Jamie Whitehouse, Planning and Zoning Director presented the application.

The Council found that Mr. Tim Willard, Esq. was present on behalf of the Applicant, ES Motors, Inc.; that also present on behalf of their application was Mr. Max Nichai; that this property is located just east of Dagsboro and is comprised of 9.5 acres; that the parcel is zoned AR-1 but has a non-conforming auto repair and sales business located on the property; that a Conditional Use was granted to operate commercial vehicle storage and car sales; that there are other commercial uses in the area including an RV storage property, a plumbing business, a seafood shop, and a trailer retail business; that the property is designated as Coastal Area on the Future Land Use Map which recognizes that office uses and light commercial uses are appropriate, therefore the designation of C-2 Medium Commercial would be appropriate; that a TIS report was not recommended; that the property will be serviced by individual wells and DNREC sewer; that the current use would continue but the proposal is to add some storage units on the rear of the property to provide commercial storage for small construction firms and some office buildings; that the subject property is on a minor arterial road which would support such development; that there would only be storage in the back of the property; that there would be no manufacturing or grading done on the property.

There were no public comments.

The Public Hearing and public record were closed.

**M 460 22
Adopt
Ordinance
No. 2887/
CZ1963**

A Motion was made by Mr. Hudson, seconded by Mr. Schaeffer to Adopt Ordinance No. 2887 entitled "AN ORDINANCE TO AMEND THE COMPREHENSIVE ZONING MAP OF SUSSEX COUNTY FROM AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT TO A C-2 MEDIUM COMMERCIAL DISTRICT FOR A CERTAIN PARCEL OF LAND LYING AND BEING IN DAGSBORO HUNDRED, SUSSEX COUNTY, CONTAINING 9.54 ACRES, MORE OR LESS" for the reasons and conditions given by Planning and Zoning as follows:

- 1. C-2 (Medium Commercial) Zoning is designed to support retail sales and the performance of consumer services. It is intended to be**

**M 460 22
Adopt
Ordinance
No. 2887/
CZ1963
(continued)**

- located near arterial and collector roads.
2. The Applicant's property is currently zoned AR-1 along Vines Creek Road, a minor arterial road. It is close to land zoned CR-1 General Commercial and next to a non-conforming junkyard. This is an appropriate location for C-2 zoning.
 3. The property was previously approved for the sale of used vehicles and related activities as C/U619. This rezoning is a reasonable expansion of the existing conditional use.
 4. C-2 Zoning at this location will benefit nearby residents of Sussex County by providing a convenient location for permitted uses.
 5. While there were concerns expressed by one neighbor, those can be addressed as part of the County's site plan review. Such a site plan review must occur for any expansion beyond what currently occurs on the site.
 6. The site is in the "Coastal Area" according to the Sussex County Land Use Plan and Future Land Use Map. This is an appropriate location for C-2 Zoning according to the Plan.
 7. The proposed rezoning meets the general purpose of the Zoning Code by promoting the orderly growth, convenience, order prosperity, and welfare of the County.

Motion Adopted: 3 Yeas, 2 Nay

**Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea;
Mr. Hudson, Yea; Mr. Rieley, Nay;
Mr. Vincent, Nay**

**Public
Hearing/
CU2316**

A Public Hearing was held on a Proposed Ordinance entitled "AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR MEDICAL OFFICE BUILDINGS TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN LEWES AND REHOBOTH HUNDRED, SUSSEX COUNTY, CONTAINING 2.29 ACRES, MORE OR LESS" filed on behalf of Southern Delaware Medical Center, LLC (property lying on the southeast side of Shady Road [S.C.R. 276], approximately 0.14-mile northeast of the intersection of Shady Road and Plantations Road [Rt. 1D]) (911 Addresses: 17611, 17623 & 17637 Shady Road, Lewes) (Tax Parcels: 334-6.00-511.02, 511.06 & 513.00)

The Planning and Zoning Commission held a Public Hearing on this application on August 25, 2022, and on September 8, 2022, the Planning & Zoning Commission recommended approval of the application for the six reasons stated and subject to the eleven recommended conditions as outlined.

(See the minutes of the Planning and Zoning Commission dated August 25 and September 8, 2022.)

Jamie Whitehouse, Planning and Zoning Director presented the

**Public
Hearing/
CU2316
(continued)**

application.

The Council found that Ms. Mackenzie Peet, Esq. was present on behalf of the Applicant, Lighthouse Construction, Inc. and the Owner, Southern Delaware Medical Center, LLC.; that also present are Mike Glick from Lighthouse Construction, Jamie Sechler, P.E. from Davis, Bowen, and Friedel and Lauren Townsend, Architectural Designer with Lighthouse Construction; that the Conditional Use application is for Medical Offices on three AR-1 zoned parcels on the southeast side of Shady Road, Lewes totaling 2.297 acres; that the proposed building will be 32,960 sf. with 127 parking spaces to include 4 handicapped parking spaces; that there is a demand for this type of use; that the adjacent properties are zoned AR-1 and MR and the property across the street is zoned C-1; that the property is surrounded by a mix of residential and commercial uses; that a buffer is proposed between the residential property at 17603 Shady Road, the Sunset Glen Community and the subject property; that there is a 6 ft. fence between the subject property and the Sunset Glen Community and some mature trees that separate the subject property from the properties to the rear; that the Applicant appeared before the Planning and Zoning Commission on August 25, 2022 and on September 8, 2022, the Commission recommended approval of the Conditional Use by a vote of 5-0; that the Applicant reviewed the Commission’s recommended conditions; that the Applicant’s engineer submitted a request to amend Condition D for the purpose of permitting parking in the front yard setback; that the Commission drafted Condition D to state “The use shall comply with the parking requirements set forth in the Zoning Code. There shall not be any parking within the front yard setback. In addition, the location shown for possible interconnection with the property to the east shall be included on the Final Site Plan”; that the Applicant requests removal of the language that prohibits parking in the front yard setback and proposes that Condition D be amended to state “The use shall comply with the parking requirements set forth in the Zoning Code. In addition, the location for possible interconnection with the property to the east shall be included on the Final Site Plan”; that the Applicant seeks amendment to this Condition because a medical facility requires a covered front entrance and drop off area for ambulatory and emergency vehicle access at the front of the building; that based on this need, parking that is typically placed in front of the building was relocated along Shady Road; that permitting parking in the front yard setback is consistent with neighboring properties and similarly developed sites along Route 1 where parking is located within that setback; that it is typical for medical facilities to locate parking in the front yard setback for the purpose of providing front door ambulatory and emergency access; that the Cape Henlopen Medical Facility located on Kings Highway is an example of having front yard setback parking; that the Zoning Code does not prohibit parking in the front yard setback and only discourages it; that in Condition C, there is a typographical error; that the second and third sentences are identical; that it is requested that one of those sentences be deleted.

**Public
Hearing/
CU2316
(continued)**

Public comments were heard.

Mr. Ray Hellman spoke in opposition of the Application. Mr. Hellman submitted a petition with 36 signatures for the record. Mr. Hellman stated that the neighbors are concerned about the impact that this project will have to their existing homes that are in direct line of sight. The residents are requesting that the developer install a buffer privacy screening opposite the vehicle entrance and exit point to shield the homes from the traffic congestion, vehicle noise and headlights in the form of a fence or trees along Shady Road. Mr. Hellman noted that the request for the screening is located on the opposite side of the road.

Mr. Moore pointed out that the location of where the buffer is requested to be placed is located on property that the applicant does not own. In order for that to happen, permission or an easement would need to be granted from the property owner.

Mr. Hellman stated that he has been in discussions with the HOA President and HOA body. Mr. Hellman showed a nearby development that is zoned commercial. Due to it being zoned commercial, no landscaping plan was required for the development to receive approval. Mr. Hellman pointed out that there is currently no buffer and discussed the increased traffic along Shady Road.

Mr. Hellman read a statement from two of his neighbors who could not attend today's meeting. The first statement was from Ms. Pamela Remines who explained that as a deaf person, she relies on lights for her safety. Currently, she has strobe lights and other lighting to accommodate her handicap in her home for awareness. The current traffic runs parallel to her home and is not a hinderance to her safety. However, the parking proposed as well as the in and out headlights when it is dark can seriously impact her ability to recognize the difference between the facility parking and her alarm mechanisms. She asked for consideration for a barrier for the new facility.

The next statement was from Mr. Marrow Cardilio who asked why the developer has not yet responded to DelDOT's letter of requirements and improvements needed based on the TIS study. In addition, he asked what progress has been made between the developer and DelDOT regarding the TIS study.

Ms. Johnson-Turner spoke in opposition of the application. She requested that a buffer be placed and questioned where the trash placement would be located.

The Public Hearing and the public record were closed.

**M 461 22
Amend**

A Motion was made by Mr. Schaeffer, seconded by Mrs. Green to remove the second sentence in Condition 7C so that "In addition, the applicant may

**Conditions/
CU2316**

install one additional lighted ground sign that does not exceed 32 square feet in size per side” would be the last sentence and in Condition 7D to remove the second sentence that reads “There shall not be any parking within the front yard setback”.

Motion Adopted: 5 Yeas

**Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea;
Mr. Hudson, Yea; Mr. Rieley, Yea;
Mr. Vincent, Yea**

**M 462 22
Adopt
Ordinance
No. 2888/
CU2316**

A Motion was made by Mr. Schaeffer, seconded by Mrs. Green to Adopt Ordinance No. 2888 entitled “AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR MEDICAL OFFICE BUILDINGS TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN LEWES AND REHOBOTH HUNDRED, SUSSEX COUNTY, CONTAINING 2.29 ACRES, MORE OR LESS” for the reasons given and conditions given by Planning and Zoning and as amended by this Council as follows:

- 1. The proposed Conditional Use is located along Shady Road. There are other commercial zonings and uses in this area, including the DART hub across the street. Shady Road is evolving with a mixture of high-intensity commercial uses at the Rt. 1end, a medical center at the Plantations Road end, and multi-family developments, a mixture of zonings, small businesses, and homes in between. This location with such a mixture of uses an appropriate location for medical offices.**
- 2. The use serves a community need by creating medical offices at a convenient location for Sussex County residents near Beebe Hospital and other medical offices on Savannah Road and Plantations Road.**
- 3. The use of a medical office will benefit the health, safety, and welfare of Sussex County residents.**
- 4. The site is within the Coastal Area according to the Sussex County Comprehensive Plan. Medical offices such as this are appropriate within this Area according to the Plan.**
- 5. The use will be served by central water and sewer.**
- 6. The use, with the conditions and limitations placed upon it, will not adversely affect neighboring properties or roadways.**
- 7. This recommendation is subject to the following conditions:**
 - a. As stated by the Applicant, there shall be no more than 32,960 square feet of medical and professional office space.**
 - b. As stated by the Applicant, the hours of operation shall be between 7:00 a.m. and 7:00 p.m. Monday through Friday, and between 8:00 a.m. and 4:00 p.m. on Saturdays. Additional hours for emergency purposes are permitted.**
 - c. One lighted sign, not to exceed 50 square feet, shall be permitted on the building. In addition, the applicant may install one additional**

**M 462 22
Adopt
Ordinance
No. 2888/
CU2316
(continued)**

- lighted ground sign that does not exceed 32 square feet in size per side.**
- d. The use shall comply with the parking requirements set forth in the Zoning Code. In addition, the location shown for possible interconnection with the property to the east shall be included on the Final Site Plan.**
- e. There shall be a 20-foot landscape buffer installed along the site’s rear property line and along the common property line with Tax Parcel # 334-6.00-511.03.**
- f. All entrance, intersection, and roadway improvements required by DelDOT shall be completed in accordance with DelDOT’s requirements.**
- g. All exterior lighting shall be directed downward so that it does not shine on neighboring properties or roadways.**
- h. Any dumpsters shall be screened from view of neighboring properties and roadways.**
- i. The site shall be served by central water and central sewer.**
- j. Stormwater management and erosion and sedimentation control facilities shall be constructed in accordance with applicable State and County requirements. These facilities shall be designed and operated using best management practices. The Final Site Plan shall contain the approval of the Sussex Conservation District.**
- k. The Final Site Plan shall be subject to the review and approval of the Sussex County Planning & Zoning Commission.**

Motion Adopted: 5 Yeas

**Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea;
Mr. Hudson, Yea; Mr. Rieley, Yea;
Mr. Vincent, Yea**

**Public
Hearing/
FLUM
Ordinance**

A Public Hearing was held on a Proposed Ordinance entitled “AN ORDINANCE TO AMEND THE TEXT AND MAPS OF CHAPTER 13 (MOBILITY ELEMENT) OF THE COMPREHENSIVE PLAN IN ADDITION TO AMENDMENTS TO THE EXISTING AND FUTURE LAND USE MAPS OF THE COMPREHENSIVE PLAN IN RELATION TO TAX PARCEL NO. 235-16.00-50.02, 235-22.00-441.00, AND 235-22.00-442.00”. (property lying on the west side of Coastal Highway [Route 1], west of the intersection of Coastal Highway and Eagles Crest Road [S.C.R. 264]) (911 Address: 29763 Eagles Crest Road, Milton)

The Planning and Zoning Commission held a Public Hearing on this application on August 25, 2022. Staff has not received recommendation from the Planning and Zoning Commission, and the Proposed Ordinance is scheduled to go before them at their next scheduled meeting.

(See the minutes of the Planning and Zoning Commission dated August 25, 2022.)

**Public
Hearing/
FLUM
Ordinance
(continued)**

Jamie Whitehouse, Planning and Zoning Director presented the application.

Mr. Whitehouse explained that the request is to change the designation from Low-density to Industrial and to amend the existing land use map to change the designation from the Utilities and Recreation designation to Industrial. Additionally, it is being requested to amend the text and maps of Chapter 13 to add airport icons as shown in Exhibits B & C.

The Council found that Mr. John Paradee, Esq. was present on behalf of the property owners; that Christian Hudson, property owner was present; that the first two map amendments are simply corrections to errors that were made in the 2018 Comprehensive Plan that eliminated designations that had been set forth in the 2008 Comprehensive Plan; that the 2018 Plan had identified the air strip and the hangers as industrial designation; that the other request is to add two icons to the maps in Chapter 13 of the Comprehensive Plan; that currently, the maps only show the Georgetown and Laurel airports; that the Eagle Crest airport is the 5th largest airport in Delaware and the 2nd largest in Sussex County; that the power point presentation shows the history of the property, the designation in 2008, the error in the 2018 plan, the draft amendment to Chapter 13 to show the airplane icon, and there is a timeline included; that if the correction is not made it would essentially show that the industrial use was taken away from the property owners; that the icons on the map show the impact of the airport from a land use planning perspective; that the Planning and Zoning Commission made a suggestion to show the location of all of the airports in Sussex County whether they are public or private and that he has been working with Vince Robertson on some language so that all of the airports can be recognized in Sussex County.

Mr. Jon Chirtea spoke in favor of the application. Mr. Chirtea stated that he lives at Eagle Crest Aerodrome and is the President of the Homeowners Association. Mr. Chirtea stated that Eagle Crest Aerodrome is a great little airport and urged the support of the Council.

Mr. Jeff King spoke in favor of the application. Mr. King shared that the airport was started in the late 1980s as an air park. He added that there are about 25 to 26 homes that all have access to a hangar which is unique. Mr. King stated that these changes are good for future planning and for people moving to the area to know there is an airport. Mr. King stated that he disagrees with the Planning and Zoning Commission's decision to put all airports on the map because it clutters the map up and it is not necessary. He believes that any airport that is larger than the Laurel airport could be included and anything smaller could be included by request.

The Public Hearing and the public record were closed.

**M 463 22
Defer**

A Motion was made by Mr. Schaeffer, seconded by Mrs. Green to defer action on a Proposed Ordinance entitled "AN ORDINANCE TO AMEND

**Action/
FLUM
Ordinance**

THE TEXT AND MAPS OF CHAPTER 13 (MOBILITY ELEMENT) OF THE COMPREHENSIVE PLAN IN ADDITION TO AMENDMENTS TO THE EXISTING AND FUTURE LAND USE MAPS OF THE COMPREHENSIVE PLAN IN RELATION TO TAX PARCEL NO. 235-16.00-50.02, 235-22.00-441.00, AND 235-22.00-442.00”.

Motion Adopted: 5 Yeas

**Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea;
Mr. Hudson, Yea; Mr. Rieley, Yea;
Mr. Vincent, Yea**

**M 464 22
Adjourn**

A Motion was made by Mr. Hudson, seconded by Mr. Schaeffer to adjourn at 3:02 p.m.

Motion Adopted: 5 Yeas

**Vote by Roll Call: Mrs. Green, Yea; Mr. Schaeffer, Yea;
Mr. Hudson, Yea; Mr. Rieley, Yea;
Mr. Vincent, Yea**

Respectfully submitted,

**Tracy N. Torbert
Clerk of the Council**

{An audio recording of this meeting is available on the County’s website.}

ENGINEERING DEPARTMENT

ADMINISTRATION (302) 855-7718
AIRPORT & INDUSTRIAL PARK (302) 855-7774
ENVIRONMENTAL SERVICES (302) 855-7730
PUBLIC WORKS (302) 855-7703
RECORDS MANAGEMENT (302) 854-5033
UTILITY ENGINEERING (302) 855-7717
UTILITY PERMITS (302) 855-7719
UTILITY PLANNING (302) 855-1299
FAX (302) 855-7799



Sussex County

DELAWARE


sussexcountyde.gov

HANS M. MEDLARZ, P.E.
COUNTY ENGINEER

JOHN J. ASHMAN
DIRECTOR OF UTILITY PLANNING

Memorandum

TO: Sussex County Council
The Honorable Michael H. Vincent, President
The Honorable Douglas B. Hudson, Vice President
The Honorable Cynthia C. Green
The Honorable John L. Rieley
The Honorable Mark G. Schaeffer

FROM: John J. Ashman 
Director of Utility Planning & Design Review

RE: *Existing Wastewater Infrastructure Use Agreement
Heritage Shores (Phase 4F)- IUA 1205
File: OM 9.01*

DATE: October 11, 2022

The Existing Wastewater Infrastructure Use Agreement is an arrangement that collects financial contributions based on development built out flows for available capacity in the existing wastewater transmission infrastructure previously funded by the County while at the same time eliminating the granting of "oversizing" credits.

The Engineering Department requests approval of an agreement for the existing wastewater infrastructure use with **Passwater Farms, LLC** for the **Heritage Shores (Phase 4F)** project in the Western Sussex Area. Such an arrangement does not modify the underlying land use decision in any form. However, it allows the wastewater originating from the approved project to be conveyed through the existing transmission system previously constructed by the County.

Under the proposed arrangement, the **Heritage Shores (Phase 4F)** project will connect to the existing County owned wastewater infrastructure. In return for utilization of said **Passwater Farms, LLC** will contribute **\$123,584.00** for the financial catch-up contribution of the existing infrastructure to serve **108.00** Equivalent Dwelling Units. Payment of the contribution will be required prior to substantial completion of on-site collection system. System Connection Charges in place at the time of building permit request will still apply.



EXISTING WASTEWATER INFRASTRUCTURE USE AGREEMENT

Heritage Shores Phase 4F – IUA 1205

THIS AGREEMENT (“Agreement”), made this 22nd day of September 2022, by and between:

SUSSEX COUNTY, a political subdivision of the State of Delaware, hereinafter called the “County,” and;

PASSWATER FARMS, LLC a Limited Liability Company and developer of a project known as **Heritage Shores Phase 4F**, hereinafter called the “Developer.”

WITNESSETH:

WHEREAS, Developer is developing a tract of land identified as Tax Map parcel 131-14.00-44.00 to be known as **Heritage Shores Phase 4F** (“Project”) and;

WHEREAS, the Project is within the boundary of the Sussex County Unified Sanitary Sewer District (Western Sussex Area) and;

WHEREAS, the Project will utilize available capacity in existing wastewater infrastructure previously funded by Sussex County.

NOW THEREFORE, in consideration of the mutual covenants and conditions contained herein, which is hereby acknowledged by both parties as sufficient consideration, the parties hereby agree as follows:

- (1) Developer is proposing to utilize County’s existing collection and transmission capacity by connecting to existing regional infrastructure used by multiple pump stations.
- (2) In exchange for permission to connect up to **108.00*** additional equivalent dwelling units to County’s existing system and to utilize the existing capacity in said system, Developer agrees to financial catch-up contribution in the amount of **\$123,584.00** for said existing facilities.

*The project had an agreement with the Town of Bridgeville which had 168 legacy connection charges, as of 8/22/22 there were (24) remaining. We have reduced the (132) total units for Phase 4F by those (24) to calculate the use agreement of (108) EDUs, reducing the cost of the agreement from \$151,047.00 to \$123,584.00.

- (3) The contribution amount in the case of multiple pump stations using an existing collection and transmission system is based on the ratio of average flow capacity utilization of said transmission facilities.

- (4) **Payment of the contribution must be submitted prior to beneficial acceptance of the on-site collection system.**
- (5) If the Project (as currently submitted) is amended and County determines in its sole discretion that such amendments materially affect this Agreement, this Agreement may be declared by County to be null and void, and any unused payments made pursuant to this Agreement shall be returned to Developer, unless the parties otherwise agree. Nothing herein shall prevent the parties from the negotiation of a new agreement with respect to the amended Project, as the parties may deem appropriate.
- (6) The contribution is to be placed in County's sewer capital fund and expended towards overall debt reduction or at such time when any transmission infrastructure in County's Unified Sanitary Sewer District requires capital improvements (See Chapter 110-96 of the Sussex County Code).
- (7) Developer shall be responsible for payment of any and all undiscounted system connection charges in accordance with and pursuant to the requirements of the *Sussex County Code* for all lots, due at such time the Developer receives the sewer connection permit.
- (8) Developer shall comply in all aspects with the *Sussex County Code* and any other local, state, county, or federal laws, regulations, or policies that may be applicable and as such may be hereinafter amended.
- (9) Prior to the commencement of construction of any sanitary sewer facilities for the Project, Developer shall obtain a project construction permit from the County in accordance with and pursuant to the requirements of the *Sussex County Code*.
- (10) In order to allow the opportunity for a County representative to be present as the County so chooses, Developer shall send written notice to County of the date upon which connection to the County regional transmission system will be made. Developer shall follow County's written or verbal instructions in making said connection to the County sanitary sewer system.
- (11) Developer may assign this Agreement in whole or in part to any entity controlled directly or indirectly by Developer or to any third party who purchases, leases or otherwise controls any portion of Developer's property without the consent of County. Developer, and any subsequent assignees or successors shall provide County at least ten (10) days' written notice of any such assignment. Any other assignments, transfers, or conveyances with respect to this Agreement are prohibited without prior written consent of County.
- (12) To the extent permitted by law, Developer shall indemnify and hold harmless County, and its appointed and elected officials, employees, licensees, and agents for

any claims, losses, liabilities, suits, or damages, including but not limited to reasonable attorneys' fees, professional engineering fees, and any other costs of litigation, arising out of Developer's negligence in connection with its performance of this Agreement, including but not limited to damage to the County's infrastructure in making connection to County's regional transmission system. The obligations of this Paragraph shall survive the termination of this Agreement.

- (13) All the terms, covenants, and conditions of this Agreement shall in all respects be governed and construed under and pursuant to the Laws of the State of Delaware without respect to its conflict of law provisions. This Agreement may only be amended, supplemented or modified by a subsequent written agreement executed by all the parties hereto.
- (14) This Agreement and exhibits constitute the final, entire and exclusive agreement between the parties with respect to the subject matter of all matters discussed in it and supersedes all prior or contemporaneous discussions, statements, representations, warranties or agreements, whether written or oral, made in connection with the Agreement described herein.
- (15) It is mutually agreed between the parties that no review, approval, acceptance, and/or payment made under this Agreement shall be conclusive evidence of the performance of the Agreement, either wholly or in part, and that no review, approval, acceptance, and/or payment shall be construed as acceptance of defective work by County, nor in any way relieve Developer of its responsibility for the adequacy of its work.
- (16) The waiver by any party hereto of a breach of any provision of this Agreement shall not operate or be construed as a waiver of any subsequent breach. Neither party shall be deemed to have waived any rights under this Agreement unless such waiver is expressly given in writing and signed by the waiving party. No delay or omission on the part of either party in exercising any right shall operate as a waiver of such right or any other right.
- (17) This Agreement shall be executed in duplicate, any copy of which shall be considered and construed as and for the original.
- (18) If any provision of this Agreement shall be deemed invalid or unenforceable for any reason whatsoever, then such invalidity or unenforceability shall not render invalid or unenforceable any of the other provisions of this Agreement which may be given effect without such invalid or unenforceable provision, and to this end, the provisions of this Agreement are hereby deemed to be severable.
- (19) Any notice required to be delivered to or by either party under this Agreement shall be sent by U.S. first class mail. For purposes of this provision, the address of the County is 2 The Circle, P.O. Box 589, Georgetown, Delaware, 19947, and the address of the Developer is **3201 Jermantown Road, Suite 150, Fairfax VA 22030.**

IN WITNESS, WHEREOF, the respective parties hereto have affixed their hands and seals the day and year aforesaid.

FOR THE COUNTY:

{Seal}


By: _____
(President - Sussex County Council)

_____ (DATE)

ATTEST:

Tracy Torbert
Clerk of the County Council

FOR PASSWATER FARMS, LLC

By:  _____ (Seal)
Neil Patel - Authorized Signatory

September 22, 2022 _____ (DATE)

WITNESS:  _____
Paula Johnson

ENGINEERING DEPARTMENT

HANS M. MEDLARZ
COUNTY ENGINEER

(302) 855-7370 T
(302) 854-5391 F

hans.medlarz@sussexcountyde.gov



Sussex County

DELAWARE
sussexcountyde.gov

Memorandum

TO: Sussex County Council
The Honorable Michael H. Vincent, President
The Honorable Douglas B. Hudson, Vice President
The Honorable Cynthia C. Green
The Honorable John L. Rieley
The Honorable Mark G. Schaeffer

FROM: Hans Medlarz, P.E., County Engineer

RE: *South Coastal WRF Treatment Process Upgrade No.3 & Rehoboth Beach WTP Capital Improvement Program, Phase 2*
A. General Construction, Project C19-11 Change Order No. 25
B. Electrical Construction, Project C19-17 Change Order No. 19

DATE: October 11, 2022

In summary, the South Coastal WRF Treatment Process Upgrade No.3 encompasses the following components and statuses:

- a. Effluent Forcemain Relocation/Replacement; Completed in fall of 2019.
- b. Influent Forcemain Consolidation; Completed in May of 2020.
- c. Drainage Network Rerouting;
This scope was not included in the base bid. After cost comparison between the General Labor & Equipment Contract versus a change order under Ronca's general construction contract; Council awarded the stand alone Change Order Request 554-001 to Ronca & Sons, Inc. in the amount of \$104,592.96 on March 10, 2020. The construction was completed in July 2020.
- d. General Construction Project C19-11; awarded on December 17, 2019, to M.F. Ronca & Sons, Inc.

On March 10, 2020, Council authorized Change Order No.1 in the net amount of \$97,294.31 for deletion of the record drawing requirement and the modification of the RBWTF influent forcemains.



On May 12, 2020, Council authorized credit Change Order No. 2 in the amount of (\$12,705.00) eliminating an explosion proof motor requirement.

On July 28, 2020, Council approved credit Change Order No. 3 in the combined amount (\$9,764.30) for use of County surplus materials.

Change Order No.4 in the amount of \$871,000.00 for the repairs of partial failures at the two City of Rehoboth's wastewater treatment plant oxidation ditch systems was also approved on July 28, 2020. M.F. Ronca & Sons, Inc. completed the scope in May of 2021 and the County increased the flow contribution to the City's plant.

On December 15, 2020, County Council approved Change Order No. 6 for steel framing repairs in the first oxidation ditch on a time & material basis up to \$10,500.00 in addition to the concrete repairs conducted per the awarded contingent unit price schedules.

The County initiated RFP-019 for interior headworks piping modifications and RFP-023 covering the addition of a cross connection between the existing 14-inch process drain header for Aeration Tank Nos. 1-4 and the new header for the Aeration Tank Nos. 5-8. On September 22, 2020, Council approved Change Order No.5 in the combined amount of \$32,991.66.

GHD issued RFP-031 for the installation of plug valves on each of the 12-inch recycle influent pipes to be connected to the existing Aeration Tank Nos. 1-4 and to the new Aeration Tank Nos. 7-8. On December 15, 2020, Change Order No. 7 was approved for said shut off valves in the amount of \$31,974.51.

The new South Coastal aeration basin had to be connected to the existing large diameter sludge return piping requiring a forward flow stoppage. Minimizing the joint risk M. F. Ronca proposed a line stop approach under Change Order No. 8. Since it also gained construction efficiency, they offered to only charge for the subcontractor work.

In the spring of 2021, the Rehoboth Beach WTP oxidation ditch rehabilitation was receiving expansive attention including:

- Contingent Unit Price Concrete Repairs, Bid Items F-19 & F-20
- Steel Repairs authorized under Change Order No. 6
- Steel Coatings authorized as part of Change Order No. 4

In addition, all of the leaking expansion joints have been repaired under a time & material approach. On March 9, 2021, County Council approved Change Order Nos. 8 and 9 in the respective amounts of \$34,765.50 and \$45,600.00.

Only one of the two headworks vertical influent pipes has a shut off valve and Environmental Services requested a second valve. In addition, two of the existing headworks slide gates were compromised in need of replacement. On

May 25, 2021, Council approved Change Order No. 10 in the aggregate amount of \$34,160.64.

The County initiated RFP-039 addressing modifications to two slide gates avoiding conflict with the new air piping. In addition, it was discovered during the rehabilitation work in the grit tanks, that the existing influent chutes to the stacked tray grit removal systems were significantly compromised. On June 22, 2021, Council approved Change Order No. 11 in the aggregate amount of \$59,557.16.

The design team initiated RFP-038 for exhaust duct modifications associated with the new turbo blowers and RFP-041 correcting the elevation difference in the headworks cross channel. On July 13, 2021, Council approved Change Order No. 12 to M.F. Ronca & Sons in the aggregate amount of \$14,700.07.

The contract as bid included concrete repairs to the City's headworks and influent splitter box. With the structures by-passed and accessible, the full extent of the damage required an alternative approach detailed in RFP-037 including full demolition of the upper level as well as the channel between it and the splitter box. GHD, the City Engineer and the County Engineer supported the approach, and the change order was within budget of the City's financing arrangements previously approved by the City and County elected officials. Therefore, Council approved Change Order No. 13 to M.F. Ronca & Sons in the amount of \$1,043,243.92 on August 10, 2021.

The City requested M.F. Ronca & Sons' assistance in the wetwell cleaning of the State Rd. pump station to allow a full evaluation in preparation of the upgrade design. In addition, the City requested to modify the air intake for B-10 Building ventilation from a roof mount to an existing window opening. On November 30, 2022, County Council approved Change Order No. 14 in the aggregate amount of \$7,380.37.

Upon exposure of the normally submerged piping at the oxidation ditches, GHD formulated an initial repair scope for the influent, return sludge & air piping including replacement of valves and fittings. It was subsequently reduced and Michael F. Ronca & Sons, Inc. proposed to perform the modified repair scope for \$324,996.81. GHD, the City Engineer and the County Engineer supported the modified approach. However, this amount is not within budget of the City's financing arrangements previously approved. The City will pay for this change order directly out of City funds. County Council approved Change Order No. 15 on January 11, 2022, subject to direct payment by the City. Since then, it was determined that the pipe support configuration for the replacement of oxidation ditch influent piping at the City's WTP required additional supports and RFP-056 was issued. Michael F. Ronca & Sons, Inc. proposed to perform the expanded repair scope for \$ \$8,992.49. County Council approved Change Order No. 17 to M.F. Ronca & Sons in the amount of \$8,992.49 on January 25, 2022.

GHD's design scope included a separate task for the hydraulic transient analysis of the South Coastal effluent force under various pumping scenarios. After County approval of the findings, GHD issued RFP-052 for replacing air valves on the effluent force main and installing additional air valves at new locations. This work scope was not known at time of base bid and hence not included. On January 11, 2022, County Council issued Change Order No. 16 to M.F. Ronca & Sons in the amount of \$88,132.23.

The South Coastal RWF's return sludge pumping station has three (3) pumps, two of which have been upgraded. The third unit recently experienced a failure, and the Environmental Services requested replacement of the pump and piping to be integrated in the project as per RFP-053. Michael F. Ronca & Sons, Inc. proposed Change Order No. 18 in the amount of \$ 31,101.61, which Council approved on January 25, 2022.

Under RFP-053 the Environmental Services staff requested replacement of two (2) compromised pumps and rail systems in the existing filtrate return pump station in the filter building. Under RFP-057 the City staff requested new fiberglass baffles and a guide bracket assembly to replace the original wooden baffle assembly located in the flow splitter box. M.F. Ronca & Sons proposed to complete the work for \$90,081.84 and \$8,132.66 respectively which Council approved on February 8, 2022, via Change Order 19.

The City requested M.F. Ronca & Sons' assistance in the installation of a lintel above the screen chute complete with control joints limiting vertical cracking. Ronca proposed to complete this work for \$7,426.59.

Starting in 2021, Environmental Services started experiencing more frequent malfunctions and alarm call outs with the influent screens at the Inland Bays RWF. In addition, a reduction in screen bar opening from ¼-inch to 3/16-inch opening will help the facilities sludge accumulation. The units were commissioned in the fall of 2010 and normally have a 15-year service life. The Engineering Department requested the assistance of Michael F. Ronca & Sons, Inc. and their investigation revealed that a full replacement could be accomplished for \$ 253,417.58, which was only 10% more expensive than a full rebuilt. Therefore, County Council approved Change Order No. 20 in the aggregate amount of \$260,844.17 on March 8, 2022 for the replacement in kind of two screens at Inland Bays and the masonry work at the City's plant.

The South Coastal facility requires alkalinity adjustments. In the past caustic soda was used however with the upgrade project the approach was switched to magnesium hydroxide. The as bid design included an innovative low energy consumption type Enviromix gas mixing system with a performance guarantee which was not met at start up. Therefore, the design approach was switched to a traditional impeller type mixing system. Michael F. Ronca & Sons, priced the modification including the full contract credits relating to the original

Enviromix system and on March 29, County Council approved Change Order No. 21 in the aggregate amount of \$45,989.72.

The FY2022 Environmental Services budget included roof repairs of the South Coastal administration building and conversion of an existing pole building to an electrical panel shop. M. F. Ronca & Sons already has subcontractors in their scope of work who perform this type of work. They priced the building modification and selectively investigated the roof conditions. The roof dating to the original construction needs full replacement and has areas of compromised decking. Due to market volatility, long lead times and anticipated incremental increases in roofing material (membrane & tapered insulation) costs, pricing includes a material escalation allowance. Upon delivery of roofing materials final costs will be incorporated in a corrective change order reflecting actual material increases. Roof decking replacement will be performed at a unit cost of \$25.00 per SF incorporated into the corrective change order. On May 10, 2022, Council approved Change Order No. 22 in the aggregate amount of \$306,692.52 for pole building enclosure and admin building roof replacement followed by a later corrective change order adjusting unit costs and material pricing.

Environmental Services initiated RFP-067 for painting of the original 1970s mechanical building pump room and M. F. Ronca & Sons proposed to perform the work for \$7,893.90. On June 7, 2022, Council approved Change Order No. 23 in the amount of \$7,893.90.

Environmental Services initiated RFPs-072 & 073. The first deals with a new isolation valve on the existing 8-inch equalization return line in the Mechanical Building Pump Room. The second one modifies the PLC control logic in motor circuit protection of the new turbo blowers and the human machine interfaces graphic displays. On August 23, 2022, Council approved Change Order No. 24 to M.F. Ronca & Sons in the aggregate amount of \$12,829.83.

The headworks at the SCRWF are covered and the ventilated air treated for odors. The contract included unit pricing repair items for the headworks. The damage discovered during the rehabilitation work in the headworks and grit tanks indicated corrosion way above the anticipated levels. Therefore, the Engineering Department initiated RFP-071 for improvements to the headworks ventilation. After value engineering by M. F. Ronca & Sons they proposed to perform the work for \$126,590.76. The Department recommends approval of Change Order No. 25 significantly extending the asset life of the headworks in the amount of \$126,590.76.

- e. **Electrical Construction Project C19-17**; awarded on December 17, 2019, to BW Electric, Inc.

On February 4, 2020, Council awarded Change Order No.1 in the credit amount of (\$759,374.80) mostly for changes to the conduit materials. A

second credit change order was approved on March 10, 2020, in the amount of (\$6,800.00) for ductbank modifications.

On April 7, 2020, Council approved Change Order No.3 in the not to exceed amount of \$235,637.33 for DP&L requested changes to the utility power service entrance location at the RBWTP.

On May 12, 2020, Council authorized Change Order No.4 in the amount of \$11,350.00 for reconstruction of the original electrical equipment in South Coastal's sludge handling building electrical room.

On July 28, 2020, Council approved Change Order No.5 in the combined amount of \$37,830.00 for the removal of an existing electrical handhole and duct bank and the modification of the duct bank between the DP&L utility switching pedestal and the transformer.

On September 22, 2020, Council approved Change Order No.6 in the amount of \$16,550.00 for the change of the sewer service for the return sludge building No. 2 from a gravity drain to a pumped approach.

On September 22, 2020, Council approved Change Order No. 7 in the not to exceed amount of \$307,300.00 for the City's oxidation ditch complete electrical equipment replacement. This change order had an allowance for sensor replacements which proved too low and required an increase of \$6,582.80. Council approved the modification to Change Order No. 7 on November 10, 2020.

On November 10, 2020, Council approved Change Order No. 8 in the aggregate amount of \$2,249.00 covering RFP-027, RFP-028, RFP-029 & RFP-030. GHD has concluded that RFP-029 can be rescinded in its entirety. Therefore, the scope of work in the Sludge Building reverts to the Drawings, as modified by Change Order No. 4 associated with RFP-016. However, on December 15, 2020, Council approved the modification reducing Change Order No. 8 by \$9,040.00 for a modified net total credit of (\$6,791.00).

On February 9, 2021, Council approved Change Order No. 9 in the aggregate amount of \$30,554.00 covering RFPs-032 & 033. The first RFP provided upsized control panels, conduit and conductors associated with the two (2) Jet Mixing Pump VFDs while the second dealt with a modified temporary electrical feeder arrangement and a redirection of the medium voltage loop.

On August 10, 2021, Council approved Change Order No. 10 in the aggregate amount of \$7,320.00 covering RFP- 035 for waterproofed convenience receptacles at the return sludge building's pump room and RPP-040 for additional site lighting in the area of the generator and blower buildings.

On October 12, 2021, Council approved Change Order No. 11 in the aggregate amount of \$47,328.70 covering the City's initiated RFPs-042 & 44. The first one replaces the deteriorated pull box at building B-10 with a stainless steel one and the second one addresses modifications to the garage feeder.

Also on October 12, 2021, Council approved Change Order No. 12 in the amount of \$4,779.38 covering RFP-045 for modification to the aeration basin lighting out of operational safety concerns.

On January 11, 2022, County Council issued Change Order No. 13 in the aggregate amount of \$20,018.56 for City initiated RFPs -043 & 049. The first one relates to the electrical control requirements for a booster pump in Building T-1. The second one addresses rewiring of the two (2) level sensors and dissolved oxygen probes at the oxidation ditches.

Also On January 11, 2022, County Council issued Change Order No. 14 in the credit amount of (\$6,485.87) for the elimination of four valve actuators.

The City's lighting in the headworks building and the panelboard in the chemical building are compromised by corrosion and City staff requested replacement as per RFP-050. The County Environmental Services and IT staff reanalyzed the facility's fiber optic cabling needs and requested inner duct modifications under RFP-059. BW Electric proposed to make the changes for \$12,018.72 and \$16,100.70 respectively and on February 8, 2022, Council issued Change Order No. 15 in the aggregate amount of \$28,119.42.

On March 29, 2022, County Council issued Change Order No. 16 in the aggregate amount of \$52,003.13 for the DP&L metering modifications at the City's plant and dedicated VFD cabinet ventilation.

The following RFPs were requested by Environmental Services over the last two months:

1. RFP-064 for float-controlled effluent pump backup control panel in the event of a failure in the digital pump control system or level transmitter in the amount of \$29,895.13.
2. RFP-065 for the demolition and replacement of the original 1970s lighting in the Headworks Pump Room, Headworks Grit Dewatering Room, Mechanical Building Pump Room, and outdoor wallpacks around perimeter of Mechanical Building in the amount of \$80,099.11.
3. RFP-066 for additional circuits and conduits associated with a conveyor warning alarm in the Cake Storage Building, and for separation of 120 VAC circuits from 24 VDC circuits originating in Cake Storage Building in the amount of \$3,090.30.
4. RFP-068 for the electrical work associated with replacing the compressed gas mixing system with a mechanical mixing system in the amount of \$83,738.84. This is the companion change order to Michael F. Ronca & Sons' Change Order No. 21 for the mechanical work.

5. RFP-069 for a change in the existing 6-way DB-5A allowing for the MH-47 to be eliminated at a credit of (\$7,500.00).

On May 10, 2022, Council approved BW Electric, Inc.'s Change Order No. 17 in the aggregate amount of \$189,323.38.

The pumps and rail systems in the existing filtrate return pump station were upgraded under Change Order No. 18 by M. F. Ronca & Sons. RFP-060 covers the electrical and control upgrades associated with that station. This work was not part of the original plant upgrade scope. BW Electric, Inc. proposed to complete the work for \$92,713.82. In order to address operator safety and access cameras, as well as network access points, proposals were requested at aeration tanks 5-8 requiring a series of additional conduits and pull boxes. BW Electric, Inc. proposed to complete the work for \$50,362.91. On June 7, 2022, Council approved Change Order No. 18 to BW Electric, Inc in the aggregate amount of \$143,076.73.

Provide a credit proposal to remove the Off-Site Manufacturer Course Training specified in the construction documents. This will be conducted as part of the start up process resulting in a credit of \$17,758.13. The Engineering Department recommends acceptance of BW Electric, Inc's proposed credit Change Order No. 19 in the amount of \$17,758.13.

- f. Mobile Belt Filter Press; awarded on January 7, 2020, Council to Kershner Environmental Technologies. The unit was deployed at the Inland Bays RWF, reducing legacy lagoon solids accumulation and at the LBPW Plant, reducing digester volumes and currently stationed at South Coastal in anticipation of the aeration basin transfer.
- g. DP&L direct expenses; on February 4, 2020, Council approved the electric utility service relocation contract with the utility.
- h. The Rehoboth Beach WTP was built on a municipal landfill and Council approved a stand-alone competitive purchase order to Melvin L. Joseph Construction Company, Inc. for material hauling & screening on July 14, 2020.

The updated expenses associated with the South Coastal WRF Treatment Process Upgrade No.3 & Rehoboth Beach WTP Capital Improvement Program; Phase 2 are summarized in the attached spreadsheet.



**SUSSEX COUNTY
CHANGE ORDER REQUEST**

A. ADMINISTRATIVE:

1. Project Name: **SCRWF Treatment Process Upgrade No. 3 & RBWTP Capital Improvement Program, Phase 2 – General Construction**
2. Sussex County Project No. C19-11
3. Change Order No. 25
4. Date Change Order Initiated - 10/7/22
5.
 - a. Original Contract Sum \$39,526,400.00
 - b. Net Change by Previous Change Orders \$3,557,145.18
 - c. Contract Sum Prior to Change Order \$43,083,545.18
 - d. Requested Change \$ 126,590.76
 - e. Net Change (No. of days) 0
 - f. New Contract Amount \$43,210,135.94
6. Contact Person: Hans Medlarz, P.E.
Telephone No. (302) 855-7718

B. REASON FOR CHANGE ORDER (CHECK ONE)

1. Differing Site Conditions
2. Errors and Omissions in Construction Drawings and Specifications
3. Changes Instituted by Regulatory Requirements
4. Design Change
5. Overrun/Underrun in Quantity

6. Factors Affecting Time of Completion

 7. Other (explain below):

C. BRIEF DESCRIPTION OF CHANGE ORDER:

Headworks ventilation rehabilitation.

D. JUSTIFICATION FOR CHANGE ORDER INCLUDED?

Yes X No

E. APPROVALS

1. M.F. Ronca & Sons, Inc., Contractor

Signature Date

Representative's Name in Block Letters

2. Sussex County Engineer

Signature Date

3. Sussex County Council President

Signature Date

Michael F.
RONCA
& Sons, Inc.

TELEPHONE 610/759-5100
FACSIMILE 610/746-0974



CONTRACTORS

179 Mikron Road, Bethlehem, PA 18020

September 26, 2022

Mr. Steven Clark, P.E.
GHD
16701 Melford Boulevard, Suite 330
Bowie, MD 20715

Re: Sussex County
SCRWF-RBWWTP CIP Phase 2 Upgrades
Proposed Change Order Request No. 554-036
SCRWF HW OC Fan-Duct Mods

Dear Mr. Clark:

Please consider this writing to be Michael F. Ronca & Sons, Inc.'s formal change order request for performance of the above referenced work, in the amount of One Hundred Twenty Six Thousand Five Hundred Ninety Dollars and 76 Cents.....(\$126,590.76).

Enclosed for your review is a corresponding breakdown of costs.

Should this change order request be acceptable as provided, please prepare the appropriate change order documentation and forward the same to our office for further processing. Until then, should you have any questions, or require additional information, please do not hesitate to contact me.

Regards,

Scott Wachinski

Project Manger

cc: HO file 554
Hans M. Medlarz, P.E. – Sussex Co.
David A. Ronca – M.F. Ronca

Sussex County - SCRWF-RBWTP CIP Phase 2 Upgrades

PCOR 554-036 SCRWF HW OC Fan-Duct Mods

9/26/2022

CHANGE ORDER SUMMARY

Item 1 Upsize of Headworks Odor Control Fan (OCF-2001) and Deletion of Original Contract FRP Duct w/Supports per RFP-071 Including Addl. Dampers, Inlet Silencer, Acoustical Jacket, Etc.

Labor	\$0.00
Materials	\$0.00
Equipment	\$0.00
Subcontract	\$29,555.40
Subtotal	\$29,555.40
Contractor Overhead & Profit @ 15%	\$0.00
Contr. Overhead & Profit on Subcontr. @ 5%	\$1,477.77
Item Total	\$31,033.17

Item 2 Furnish & Installation for SCH 40 PVC OC Duct (In Lieu of FRP Indicated in RFP) Including Alum. Supports, Accessories, Cover Penetrations, Goose Neck Vents, etc as Outlined in RFP-071.

Labor	\$19,652.44
Materials	\$56,652.00
Equipment	\$6,789.12
Subcontract	\$0.00
Subtotal	\$83,093.56
Contractor Overhead & Profit @ 15%	\$12,464.03
Contr. Overhead & Profit on Subcontr. @ 5%	\$0.00
Item Total	\$95,557.59

Change Order Total **\$126,590.76**

Sussex County - SCRWF-RBWWTP CIP Phase 2 Upgrades

PCOR 554-036 SCRWF HW OC Fan-Duct Mods

9/26/2022

<u>Item</u>	<u>Description</u>						
Item 1	Upsize of Headworks Odor Control Fan (OCF-2001) and Deletion of Original Contract FRP Duct w/Supports per RFP-071 Including Addl. Dampers, Inlet Silencer, Acoustical Jacket, Etc.						
	Labor:	<u>Qty</u>	<u>Unit</u>	<u>Unit Cost</u>	<u>Total</u>		
				\$0.00	\$0.00	Labor Total:	\$0.00
	Materials:	<u>Qty</u>	<u>Unit</u>	<u>Unit Cost</u>	<u>Total</u>		
				\$0.00	\$0.00	Material Total:	\$0.00
Equipment:	<u>Qty</u>	<u>Unit</u>	<u>Unit Cost</u>	<u>Total</u>			
			\$0.00	\$0.00	Equipment Total:	\$0.00	
Subcontract:	<u>Qty</u>	<u>Unit</u>	<u>Unit Cost</u>	<u>Total</u>			
HVAC Subcontractor	1.00	LS	\$29,555.40	\$29,555.40	Subcontract Total:	\$29,555.40	
					Item Total:	\$29,555.40	
Item 2	Furnish & Installation for SCH 40 PVC OC Duct (In Lieu of FRP Indicated in RFP) Including Alum. Supports, Accessories, Cover Penetrations, Goose Neck Vents, etc as Outlined in RFP-071.						
	Labor:	<u>Qty</u>	<u>Unit</u>	<u>Unit Cost</u>	<u>Total</u>		
	Mechanic/Fitter	120.00	MH	\$122.18	\$14,661.60		
	Operating Engineer	4.00	MH	\$106.59	\$426.36		
	Laborer	64.00	MH	\$71.32	\$4,564.48	Labor Total:	\$19,652.44
Materials:	<u>Qty</u>	<u>Unit</u>	<u>Unit Cost</u>	<u>Total</u>			
SCH 40 PVC Materials & Accessories	1.00	LS	\$36,250.00	\$36,250.00			
Aluminum Duct Supports	1.00	LS	\$18,652.00	\$18,652.00			
Misc. Anchors, Epoxy, PVC Cement, Etc.	1.00	LS	\$1,750.00	\$1,750.00	Material Total:	\$56,652.00	
Equipment:	<u>Qty</u>	<u>Unit</u>	<u>Unit Cost</u>	<u>Total</u>			
RT Backhoe AWD	4.00	HR	\$90.42	\$361.68			
Lull Mtrl. Handler	60.00	HR	\$90.42	\$5,425.20			
STS	64.00	HR	\$15.66	\$1,002.24	Equipment Total:	\$6,789.12	
Subcontract:	<u>Qty</u>	<u>Unit</u>	<u>Unit Cost</u>	<u>Total</u>			
			\$0.00	\$0.00	Subcontract Total:	\$0.00	
					Item Total:	\$83,093.56	

Notes:

- N1 Proposal Excludes Electrical for Fan and Supply of VFD
- N2 Proposal Assumes Use of SCH 40 PVC for Duct in Lieu of FRP per H. Medlarz

CHANGE ORDER NO H6



Mechanical Contractors

2043 Northwood Drive

Salisbury, Maryland 21801

Phone: 410-749-4232

Fax: 410-548-5419

Date: September 26, 2022

Submitted To: MFRonca

From: Daniel Lowe

Project: SCWRF OCF-2001

Pages: 1

HVAC

propose to modify the contract value in accordance with the following We:

Furnish Labor and Material as follows:

**Cost to furnish and install redesigned OCF-2001 and PVC duct dampers:
\$76,597.40.**

Credit received for original OCF 2001 and FRP duct install: \$47,042.00.

**FOR A TOTAL ADD SUM AMOUNT TO CONTRACT OF: \$29,555.40
TWENTY- NINE THOUSAND FIVE HUNDRED FIFTY-FIVE DOLLARS AND 40/100.**

Payment Terms: In Full As Invoiced

Authorized Signature

Daniel Lowe HVAC Manager

Acceptance of Work Proposal:

I/ we accept this work proposal as listed above,
as well as the payment schedule.

Date: _____

Signature: _____

Specialty Support Systems, Inc.
Pipe Supports & Misc. Metals Fabrication

TELEPHONE ORDER _____
SALES ORDER _____
QUOTE

QUOTE 9-23-22

JOB NAME	CUSTOMER'S ORDER NO. & DATE	ORDER TAKEN BY & DATE	CREDIT APPROV
S O L D T O	MF. RONCA SCOTT RICK	S H I P T O	SCRWF FRANKFORD, DE.

SHIP VIA	FREIGHT <input type="checkbox"/> PPD <input type="checkbox"/> PPD-CHG <input type="checkbox"/> COLL	JOB NO.	ORDERED		
SPECIAL INSTRUCTIONS	we reserve the right to review pricing at time of order and adjust to market conditions		LINE NO.	P.O. NO.	FROM
SHIP - FROM STOCK <input type="checkbox"/> DIRECT <input type="checkbox"/>					

QUANTITY	DESCRIPTION-SIZE-FIGURE NO.-ETC.			
1	REP-071-04			
2				
3	1 SUPPORT FRAMING (4" PVC) ALUMINUM			\$ 6890. ⁰⁰
4	w/ A-FRAME, W/6 CROSS BEAM,			
5	C8 DROP CHANNEL, SS U-BOLTS,			
6	SS BOLTS, NUTS & ANCHORS			
7	8 6" DETAIL A2/04 ALUMINUM	\$ 235. ⁰⁰	\$ 1880. ⁰⁰	
8	w/ SS U-BOLTS			
9	2 8" DETAIL A2/04 ALUMINUM	\$ 240. ⁰⁰	\$ 480. ⁰⁰	
10	w/ SS U-BOLTS			
11	6 WALL BRACKETS ALUMINUM	\$ 568. ⁰⁰	\$ 3408. ⁰⁰	
12	w/ 8" SS U-BOLTS & ANCHORS			
13	8 WALL BRACKETS ALUMINUM	\$ 693. ⁰⁰	\$ 5544. ⁰⁰	
14	w/ 12" SS U-BOLTS & ANCHORS			
15				
16				\$ 18,202. ⁰⁰
17	1 FREIGHT TO SITE			\$ 450. ⁰⁰
18				
19				\$ 18,652. ⁰⁰
20				



Request for Proposal

Project Title	SCRWF Upgrade No. 3 & RBWWTP CIP Upgrade Phase 2		
Owner	Sussex County, Delaware		
Contract No.	C19-11: General Construction	GHD Project No.	11121182
Contractor is requested to provide a Change Proposal for the following proposed modifications to the Work. This request alone neither directs nor approves any change to the Work nor any adjustments to the Contract Price or Contract Times. Contractor's proposal shall be submitted to Engineer for review and shall adhere to all requirements of the Contract Documents. If found acceptable to Owner and Engineer, Contractor's Change Proposal will be incorporated into the Work via Change Order.			
RFP No.	071		
RFP Subject	SCRWF Headworks Odor Control Improvements		
Issued By	S. Clark	Issue Date	Jun. 30, 2022

Description of proposed changes:

Refer to changes as shown in the attached figures.

AXIAL FAN AND POWER VENTILATOR SCHEDULE

UNIT NO.	BUILDING	ROOM NAME	EQUIPMENT TYPE	SPECIFICATION SECTION	FAN OR UNPOWERED AIRFLOW				ELECTRICAL				CONTROLLED BY (SEE GENERAL NOTE 1)	TEMPERATURE SET POINT (DEG. F)	NOTES	ROUGH OPENING	DESIGN BASIS	
					DRIVE	CFM	EXT. S.P. IN. W.G.	RPM	HP	AMPERAGE	RPM	VOLTS / PHASE / HZ					MANUFACTURER	MODEL
EF-HWK-01	HEADWORKS	PIPE GALLERY	PROPELLER SIDEWALL FAN	15865	DIRECT	500	0.25	1725	0.26	3.9	1725	120 / 1 / 60	T'STAT - TYPE 1	80	1, 5	-	GREENHECK	SE1-12-432
EF-HWK-02	HEADWORKS	ELECTRICAL ROOM	PROPELLER SIDEWALL FAN	15865	DIRECT	2000	0.5	1750	0.75	1.6	1750	460/3/60	T'STAT - TYPE 1	95	1, 5	-	GREENHECK	SE1-16-428-A
SF-HWK-01	HEADWORKS	PUMP ROOM	FRP DUCT AXIAL FAN	15865	DIRECT	750	0.5	1650	0.25	3.7	1650	115/1/60	HOA	-	2	-	HARTZEL	SERIES 29
SF-HWK-02	HEADWORKS	GRIT DEWATERING ROOM	FRP DUCT AXIAL FAN	15865	DIRECT	1200	0.5	1725	0.25	5.8	1725	115/1/60	HOA	-	2	-	HARTZEL	SERIES 29
OCF-2001	HEADWORKS	EXTERIOR	ODOR CONTROL FAN	15870	DIRECT	3800	28	3450	40	-	3600	480 / 3 / 60	VFD	-	2, 6, 7, 8	-	TWIN CITY	22/10 HPF
EF-MB-01	MECHANICAL BUILDING	ELECTRICAL ROOM NORTH	ROOF EXHAUSTER - UPBLAST UNIT	15870	DIRECT	1350	0.5	1102	0.50	6.7	1102	115/1/60	T'STAT - TYPE 1	95	5	15" x 15"	GREENHECK	CUE-141-VG
EF-MB-02	MECHANICAL BUILDING	ELECTRICAL ROOM SOUTH	ROOF EXHAUSTER - UPBLAST UNIT	15870	DIRECT	1350	0.5	1102	0.50	6.7	1102	115/1/60	T'STAT - TYPE 1	95	5	15" x 15"	GREENHECK	CUE-141-VG
EF-BB1-01	BLOWER BUILDING NO. 1	ELECTRICAL ROOM	WALL EXHAUSTER - UPBLAST UNIT	15870	DIRECT	2500	0.5	1140	0.75	1	1140	460/3/60	T'STAT - TYPE 1	95	1, 5	22.5" x 22.5"	GREENHECK	CUE-161-B
EF-BB2-01	BLOWER BUILDING NO. 2	ELECTRICAL ROOM	WALL EXHAUSTER - UPBLAST UNIT	15870	DIRECT	3850	0.5	1725	2.00	3.4	1725	460/3/60	T'STAT - TYPE 1	95	1, 5	30.5" x 30.5"	GREENHECK	CUE-180HP-A
EF-BB2-02	BLOWER BUILDING NO. 2 (TYPE A)	BLOWER ROOM (ATTIC)	PROPELLER SIDEWALL FAN	15865	DIRECT	1500	0.5	1675	0.50	6.8	1675	115/1/60	T'STAT - TYPE 1	80	1, 5	-	GREENHECK	SE1-14-436-VG
EF-BB2-03	BLOWER BUILDING NO. 2 (TYPE B)	BLOWER ROOM (ATTIC)	PROPELLER SIDEWALL FAN	15865	DIRECT	6500	0.5	1750	1.50	3	1750	460/3/60	T'STAT - TYPE 1	80	1, 5	-	GREENHECK	AER-E24C-320-A
EF-BB2-04	BLOWER BUILDING NO. 2 (TYPE B)	BLOWER ROOM (ATTIC)	PROPELLER SIDEWALL FAN	15865	DIRECT	6500	0.5	1750	1.50	3	1750	460/3/60	T'STAT - TYPE 1	80	1, 5	-	GREENHECK	AER-E24C-320-A
EF-RSB1-01	RETURN SLUDGE BUILDING NO. 1	ELECTRICAL ROOM	WALL EXHAUSTER - UPBLAST UNIT	15870	DIRECT	1800	0.5	895	0.50	6.7	895	115/1/60	T'STAT - TYPE 1	95	1, 5	22.5" x 22.5"	GREENHECK	CUE-161-VG
EF-RSB2-01	RETURN SLUDGE BUILDING NO. 2	PUMP ROOM (ATTIC)	PROPELLER SIDEWALL FAN	15865	DIRECT	1500	0.5	1675	0.50	6.8	1675	115/1/60	T'STAT - TYPE 1	80	1, 5	-	GREENHECK	SE1-14-436-VG
EF-RSB2-02	RETURN SLUDGE BUILDING NO. 2	ELECTRICAL ROOM	WALL EXHAUSTER - UPBLAST UNIT	15870	DIRECT	1500	0.5	1725	0.75	1.6	1725	460/3/60	T'STAT - TYPE 1	95	1, 5	19.5" x 19.5"	GREENHECK	CUE-131-A
EF-SHFB-01	SODIUM HYPOCHLORITE FEED BUILDING	ELECTRICAL ROOM	WALL EXHAUSTER - UPBLAST UNIT	15870	DIRECT	1000	0.5	1140	0.167	4.4	1140	115/1/60	T'STAT - TYPE 1	95	1, 5	19.5" x 19.5"	GREENHECK	CUE-131-B
EF-EPS-01	EFFLUENT PUMPING STATION ELECTRICAL BUILDING	ELECTRICAL ROOM	WALL EXHAUSTER - UPBLAST UNIT	15870	DIRECT	3000	0.5	1219	1.00	12.4	1219	115/1/60	T'STAT - TYPE 1	95	1, 5	22.5" x 22.5"	GREENHECK	CUE-161-VG
EF-LTS-01	LTS DIGESTER BUILDING	PUMP ROOM	ROOF EXHAUSTER - UPBLAST UNIT	15870	DIRECT	1350	0.5	1102	0.50	6.7	1102	115/1/60	T'STAT - TYPE 1	80	5	15" x 15"	GREENHECK	CUE-141-VG
EF-EB-01	ELECTRICAL BUILDING	ELECTRICAL ROOM	WALL EXHAUSTER - UPBLAST UNIT	15870	DIRECT	2000	0.5	1725	0.75	1.6	1725	460/3/60	T'STAT - TYPE 1	95	1, 5	19.5" x 19.5"	GREENHECK	CUE-131-A
EF-SLB-01	SLUDGE BUILDING	SLUDGE ROOM	PROPELLER SIDEWALL FAN	15865	DIRECT	5000	0.5	1750	1.00	2.1	1750	460/3/60	HOA	-	1, 3, 5	-	GREENHECK	AER-E24C-314-A
SF-SLB-01	SLUDGE BUILDING	SLUDGE ROOM	INLINE AXIAL FAN	15865	DIRECT	5000	1.0	1770	1.50	3	1770	460/3/60	ON/OFF SWITCH & T-STAT TYPE 4	40	3	-	GREENHECK	AX-54-160-0622
EF-SLB-02	SLUDGE BUILDING	ELECTRICAL ROOM	INLINE SQUARE CENTRIFUGAL FAN	15870	DIRECT	2500	0.5	1725	1.50	3	1725	460/3/60	T'STAT - TYPE 1	95	3	-	GREENHECK	SQ-140-A
EF-B01-01	RBWWTP - BUILDING B-1	ELECTRICAL ROOM	PROPELLER SIDEWALL FAN	15865	DIRECT	300	0.4	VARIABLE	-	1.0	VARIABLE	120 / 1 / 60	T'STAT - TYPE 1	95	1, 5	-	GREENHECK	CBF
EF-B10-01	RBWWTP - BUILDING B-10	ELECTRICAL ROOM	ROOF EXHAUSTER - UPBLAST UNIT	15870	DIRECT	2000	0.5	1645	0.75	10.6	1645	115/1/60	T'STAT - TYPE 1	95	5	15" x 15"	GREENHECK	CUE-131-VG
EF-T01-01	RBWWTP - BUILDING T-1	LOWER LEVEL	WALL EXHAUSTER - UPBLAST UNIT	15870	DIRECT	1800	0.6	1725	0.75	1.6	1725	460/3/60	ON/OFF SWITCH	-	1, 2, 5	19" x 19"	GREENHECK	CUE-123-A

SPLIT SYSTEM DUCTLESS HEAT PUMP UNITS SCHEDULE

UNIT NO.	BUILDING	ROOM NAME	EQUIPMENT TYPE	SPECIFICATION SECTION	NOMINAL TONS	TOTAL COOLING CAPACITY (MBH)	HEATING CAPACITY (MBH)	AIR FLOW (CFM)	FAN MOTOR (WATT)	VOLTS / PH / HZ	CONDENSING UNIT			CONTROLLED BY (SEE GENERAL NOTE 1)	TEMPERATURE SET POINT (DEG. F)	NOTES	DESIGN BASIS		
											UNIT NO.	MCA	VOLTS / PH / HZ				MANUFACTURER	INDOOR MODEL	OUTDOOR MODEL
AC-HWK-01	HEADWORKS	ELECTRICAL ROOM	WALL MOUNTED	15786	2.0	24	27	551	27	208/1/60	ACCU-HWK-01	12.5	208/1/60	T'STAT - TYPE 5	80	4	SAMSUNG	AC024MNADCH/AA	AC024JXADCH/AA
AC-MB-01	MECHANICAL BUILDING	ELECTRICAL ROOM NORTH	WALL MOUNTED	15786	1.5	18	20	406	27	208/1/60	ACCU-MB-01	10.0	208/1/60	T'STAT - TYPE 5	80	4	SAMSUNG	AC018MNADCH/AA	AC018JXADCH/AA
AC-BB2-01	BLOWER BUILDING NO. 2	ELECTRICAL ROOM	CEILING SUSPENDED	15786	4.0	48	53	1300	97	208/1/60	ACCU-BB2-01	25.5	208/1/60	T'STAT - TYPE 5	80	4	SAMSUNG	AC048JN4DCH/AA	AC048JXADCH/AA
AC-RSB2-01	RETURN SLUDGE BUILDING NO. 2	ELECTRICAL ROOM	CEILING SUSPENDED	15786	1.5	18	20	600	65	208/1/60	ACCU-RSB2-01	8.6	208/1/60	T'STAT - TYPE 5	80	4	SAMSUNG	AC018JN4DCH/AA	AC018JXADCH/AA
AC-EPS-01	EPS ELECTRICAL BUILDING	ELECTRICAL ROOM	WALL MOUNTED	15786	3.0	36	40	830	58	208/1/60	ACCU-EPS-01	23.2	208/1/60	T'STAT - TYPE 5	80	4	SAMSUNG	AC036MNTDCH/AA	AC036JXADCH/AA
AC-EB-01	ELECTRICAL BUILDING	ELECTRICAL ROOM	WALL MOUNTED	15786	2.0	24	27	551	27	208/1/60	ACCU-EB-01	12.5	208/1/60	T'STAT - TYPE 5	80	4	SAMSUNG	AC024MNADCH/AA	AC024JXADCH/AA
AC-SLB-01	SLUDGE BUILDING	ELECTRICAL ROOM	WALL MOUNTED	15786	3.0	36	40	830	58	208/1/60	ACCU-EPS-01	23.2	208/1/60	T'STAT - TYPE 5	80	4	SAMSUNG	AC036MNTDCH/AA	AC036JXADCH/AA
AC-B01-01	RBWWTP - BUILDING B-1	ELECTRICAL ROOM	WALL MOUNTED	15786	1.5	18	20	406	27	208/1/60	ACCU-B01-01	10.0	208/1/60	T'STAT - TYPE 5	80	4	SAMSUNG	AC018MNADCH/AA	AC018JXADCH/AA
AC-B10-01	RBWWTP - BUILDING B-10	ELECTRICAL ROOM	CEILING SUSPENDED	15786	1.5	18	20	600	65	208/1/60	ACCU-B10-01	8.6	208/1/60	T'STAT - TYPE 5	80	4	SAMSUNG	AC018JN4DCH/AA	AC018JXADCH/AA

TERMINAL HEAT TRANSFER UNITS SCHEDULE

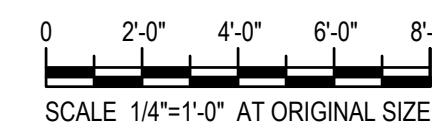
UNIT NO.	BUILDING	ROOM NAME	EQUIPMENT TYPE	SPECIFICATION SECTION	COIL DATA				MOTOR / ELECTRICAL DATA					CONTROLLED BY (SEE GENERAL NOTE 1)	TEMPERATURE SET POINT (DEG. F)	NOTES	DESIGN BASIS	
					KW	CFM	EAT (F)	LAT (F)	HP	RPM	VOLTS / PH / HZ	CONTROL VOLTAGE	MOCP (AMPS)				MANUFACTURER	MODEL
EUH-HWK-01	HEADWORKS	PIPE GALLERY	STANDARD ELECTRIC UNIT HEATER	15835	5	400	50	76	1/35	1550	480/3/60	24	15	T'STAT - TYPE 1	50	-	TRANE	UHEC-053DACA
EUH-HWK-02	HEADWORKS	PUMP ROOM	EXPLOSION PROOF ELECTRIC UNIT HEATER	15835	25	3110	50	76	1/35	1725	480/3/60	24	40	T'STAT - TYPE 3	50	2	INDEECO	233-FB-0206U
EUH-BB2-01	BLOWER BUILDING NO. 2	BLOWER ROOM	STANDARD ELECTRIC UNIT HEATER	15835	7.5	700	50	95	1/35	1550	480/3/60	24	15	T'STAT - TYPE 1	50	-	TRANE	UHEC-073DACA
EUH-RSB2-01	RETURN SLUDGE BUILDING NO. 2	PUMP ROOM	STANDARD ELECTRIC UNIT HEATER	15835	10	700	50	95	1/35	1550	480/3/60	24	20	T'STAT - TYPE 1	50	-	TRANE	UHEC-103DACA
EUH-SLB-01	SLUDGE BUILDING	SLUDGE ROOM	CORROSION-RESISTANT ELECTRIC UNIT HEATER	15835	10	700	50	95	1/35	1550	480/3/60	24	20	T'STAT - TYPE 2	50	3	TRANE	UHRA-103DA
EUH-SLB-02	SLUDGE BUILDING	SLUDGE ROOM	CORROSION-RESISTANT ELECTRIC UNIT HEATER	15835	10	700	50	95	1/35	1550	480/3/60	24	20	T'STAT - TYPE 2	50	3	TRANE	UHRA-103DA
DHC-SLB-01	SLUDGE BUILDING	SLUDGE ROOM	ELECTRIC DUCT COIL	15835	60	5000	10	50	-	-	480/3/60	24	100	T-STAT - MFR STD	50	3	GREENHECK	IDHE
EUH-T01-01	RBWWTP - BUILDING T-1	LOWER LEVEL	EXPLOSION PROOF ELECTRIC UNIT HEATER	15835	20	1800	50	85	1/35	1725	480/3/60	24	35	T'STAT - TYPE 6	50	2	INDEECO	233-FB-0206U
EUH-T01-02	RBWWTP - BUILDING T-1	LOWER LEVEL	EXPLOSION PROOF ELECTRIC UNIT HEATER	15835	20	1800	50	85	1/35	1725	480/3/60	24	35	T'STAT - TYPE 6	50	2	INDEECO	233-FB-0206U

GENERAL NOTES:

- HVAC MOTOR STARTER CONTROL PANELS, HOA SWITCHES, ON/OFF SWITCHES, PRESSURE SWITCHES AND ALL CONDUIT AND WIRING TO BE PROVIDED BY THE ELECTRICAL CONTRACTOR.
- ALL THERMOSTATS SHALL BE FURNISHED BY THE GENERAL CONTRACTOR. SOME THERMOSTATS SHALL BE INSTALLED BY THE GENERAL CONTRACTOR AND SOME BY THE ELECTRICAL CONTRACTOR. REFER TO THE HVAC PLANS AND THE ELECTRICAL DRAWINGS FOR THERMOSTATS TO BE INSTALLED BY THE ELECTRICAL CONTRACTOR.
- COORDINATE DEMOLITION AND ARCHITECTURAL WORK WITH FINAL LOUVER, DAMPER AND HVAC EQUIPMENT LOCATIONS.
- HVAC PLANS INDICATE WHERE EQUIPMENT AND SUPPORTS ARE REQUIRED TO BE ABOVE A MINIMUM ELEVATION. IN THESE CASES THE SCHEDULED ELEVATION IS PROVIDED AS A GUIDE ONLY. NOTIFY ENGINEER OF ANY CONFLICTS.
- WHERE THERE IS NO SCHEDULED ELEVATION OR ELEVATION NOTED ON THE CORRESPONDING PLAN, INSTALL UNITS A MINIMUM OF 8' AFF.

SCHEDULE NOTES:

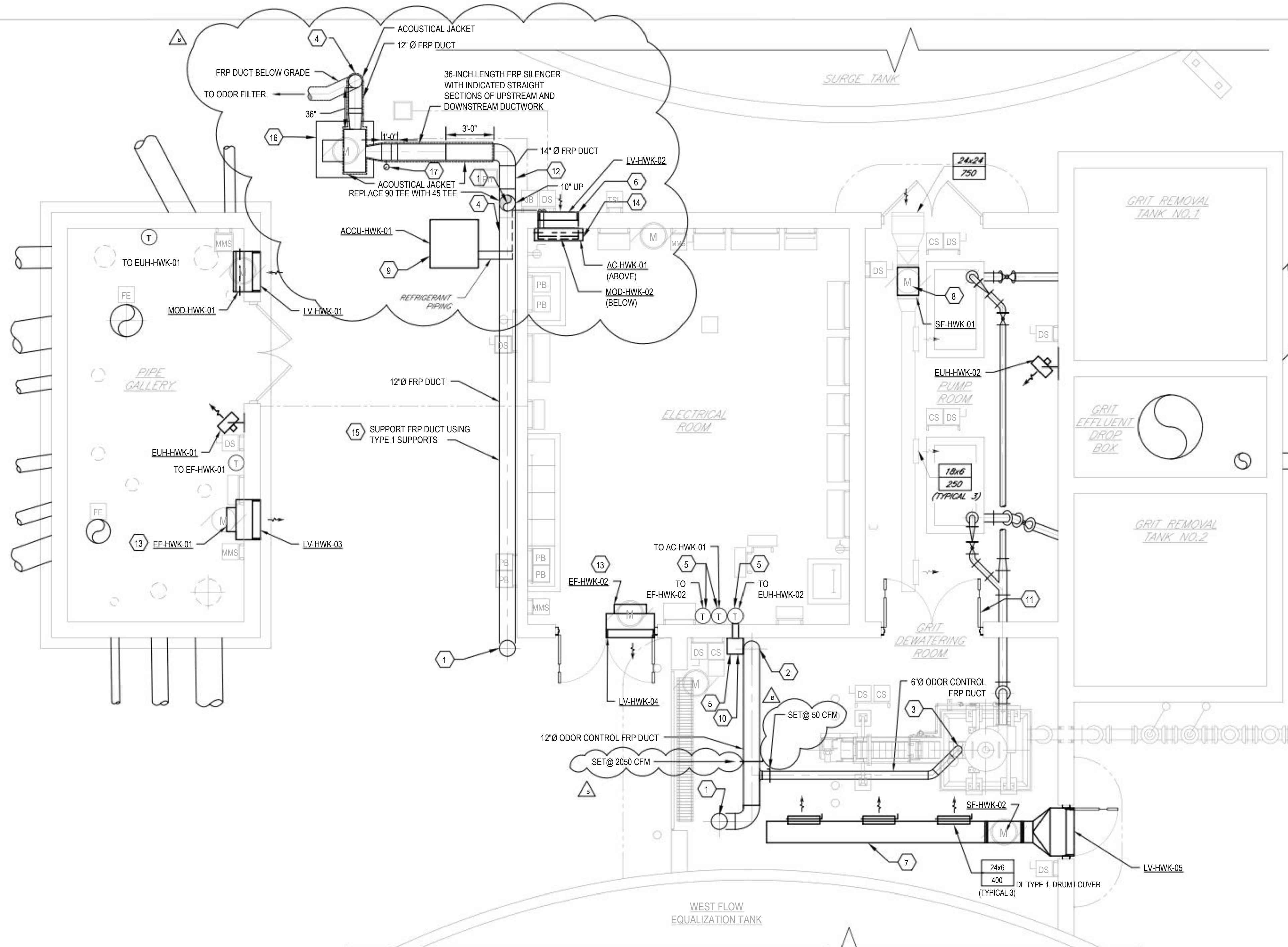
- PROVIDED OSHA MOTOR GUARD. PROVIDE WALL COLLAR AS NEEDED TO INSTALL UNIT IN WALL.
- PROVIDE CORROSION RESISTANT CONSTRUCTION SUITABLE FOR EXPOSURE TO WET AND CORROSIVE ENVIRONMENT. UNIT AND CONTROLS TO BE EXPLOSION PROOF, RATED FOR N.E.C. CLASS I, DIVISION I, GROUP D AREAS.
- PROVIDE CORROSION RESISTANT CONSTRUCTION SUITABLE FOR EXPOSURE TO WET AND CORROSIVE ENVIRONMENT.
- ROUTE CONDENSATE DRAIN TO EXTERIOR OF THE BUILDING. DRAIN TO EXTEND 12" ABOVE GRADE AND SHALL DISCHARGE TO SIDEWALK OR OTHER IMPERVIOUS SURFACE. ACCEPTABLE ALTERNATIVE ROUTE WOULD BE TO NEAREST SANITARY WITH TRAP OR STORM DRAIN. IF CONDENSATE ROUTE REQUIRES CONDENSATE DRAIN TO SLOPE UPHILL, PROVIDE INTEGRAL CONDENSATE DRAIN PUMP.
- UNIT SHALL HAVE 120 VAC INTEGRAL MOTOR OPERATED DAMPER WITH SEPARATE POWER SUPPLY.
- AIR FLOW BASED ON 20 F.
- MOTOR SHALL BE VFD-COMPATIBLE AND EXPLOSION PROOF. FAN ARRANGEMENT SHALL BE #8, CCW ROTATION, TOP HORIZONTAL DISCHARGE.
- FAN PROVIDED WITH EASILY REMOVABLE, SIDE-VENTILATED, 2 COAT EPOXY PAINT-COATED STEEL WEATHER COVER FOR SHAFT, BEARINGS, AND MOTOR.



SUSSEX COUNTY, DELAWARE
SCRFW NO.3 AND RBWWTP CIP PHASE 2
UPGRADES
FIGURE RFP-071-01
HEADWORKS HVAC MODIFICATION
PLAN

Project No. 11121182
 Report No. RFP-071
 Date 5/17/2022

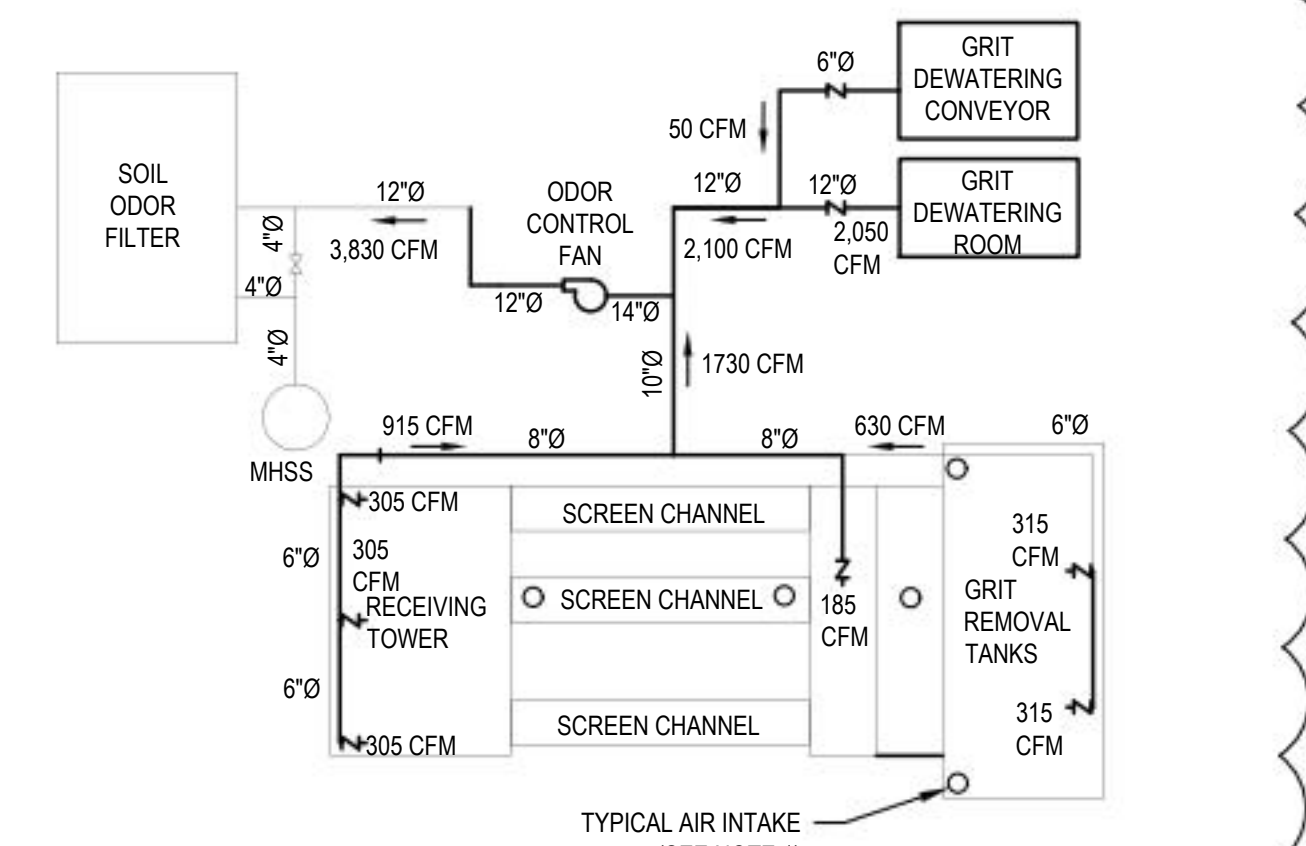
RFP-071-01



ODOR CONTROL DESIGN CRITERIA - AIR VOLUMES (CFM)

Category	Value
* UNDER COVERS (UPSTREAM):	400
* UNDER COVERS (DOWNSTREAM):	365
** GRIT DEWATERING ROOM:	1982
** GRIT DEWATERING CONVEYOR:	3

* AIR VOLUME BASED ON 6 ACH
** AIR VOLUME BASED ON 12 ACH



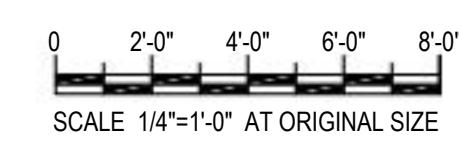
A HEADWORKS ODOR SCHEMATIC
SCALE: NONE

- SCHEMATIC NOTES**
- SEE PLANS FOR LOCATION AND QUANTITY OF AIR INTAKES.
 - PROVIDE PRESSURE SWITCH ON ODOR CONTROL FAN DISCHARGE TO SHUT DOWN FAN ON HIGH DISCHARGE PRESSURE (OWNER ADJUSTABLE).
 - PROVIDE PRESSURE GAUGES ON THE SUCTION AND DISCHARGE SIDES OF ODOR CONTROL FAN FOR MONITORING AND COMPARISON.

- MODIFICATION NOTES**
- 10" ODOR CONTROL EXHAUST DUCTING TO UPPER LEVEL. REPLACE EXISTING 90° TEE FITTING WITH NEW 45° TEE FITTING. SEE DRAWING H0102A FOR CONTINUATION.
 - ODOR CONTROL EXHAUST DUCTING DOWN TO 24" AFF. PROVIDE TYPE 316 STAINLESS STEEL BIRSCREEN MESH AT DUCT INLET.
 - ODOR CONTROL EXHAUST DUCTING DOWN TO AND CONNECTING TO NEW ODOR CONTROL COVER ON GRIT DEWATERING CONVEYOR.
 - CONNECT TO EXISTING FRP DUCT. PROVIDE MATCHING-SIZED FLANGE ON EXISTING AND NEW DUCTS. PROVIDE FLEXIBLE CONNECTION BETWEEN FLANGES.
 - THERMOSTAT FURNISHED BY GENERAL CONTRACTOR FOR INSTALLATION BY ELECTRICAL CONTRACTOR.
 - MOD-HWK-02 AND LV-HWK-01 TO BE MOUNTED BELOW AC-HWK-01.
 - 16" DIA SUPPLY AIR DUCTWORK WITH 1/4" OF DUCT AT 15'-0" AFF. DUCTWORK IN GRIT DEWATERING ROOM TO BE TYPE 316 STAINLESS STEEL. MOUNT DRUM LOUVERS 45 DEGREES DOWN FROM HORIZONTAL.
 - PROVIDE FLEXIBLE DUCT CONNECTIONS WHERE SF-HWK-01 TO BE CONNECTED TO EXISTING 10" DIA DUCTWORK.
 - EXTERIOR EQUIPMENT PAD, REFER TO STRUCTURAL DRAWINGS.
 - REMOTE TEMPERATURE SENSING BULB FOR EUH-HWK-02 THERMOSTAT.
 - NEW LOUVERED DOOR. REFER TO MECHANICAL AND ARCHITECTURAL DRAWINGS FOR DETAILS.
 - PROVIDE 1/2" FEMALE NPT INSERT FOR PRESSURE TRANSMITTER TO BE PROVIDED BY ELECTRICAL CONTRACTOR.
 - REFERENCE THE "WALL MOUNTED EXHAUST FAN DETAILS" ON CONTRACT DRAWING SC-A0408 FOR SIMILAR CURB INSTALLATION DETAILS. CUT OPENING IN CONCRETE WALL. SIZE AS REQUIRED TO INSTALL NEW CURB AND SEALANT JOINT ALL AROUND. REFER TO GENERAL STRUCTURAL NOTES, SECTION 8, FOR TREATMENT OF SAWCUT EDGES.
 - ROUTE UNIT CONDENSATE PIPING ALONG REFRIGERANT PIPING PATHWAY. TERMINATE CONDENSATE PIPING 12" ABOVE EXTERIOR GRADE AND ANGLE 45 DEGREES AWAY FROM BUILDING. PROVIDE INTEGRAL CONDENSATE PUMP IF CONDENSATE PIPING IS SLOPED UPWARDS AT ANY POINT.
 - PROVIDE NON-ABRASIVE SURFACE BETWEEN PIPING AND SUPPORT. NON-ABRASIVE SURFACE SHALL BE TEFLON TAPE, FRP SHIELD OR EQUAL. EPOXY NON-ABRASIVE SURFACE TO SUPPORT FACE.
 - FAN BOLTED DIRECTLY TO NEW CONCRETE SLAB. MINIMUM SLAB SIZE SHALL 5' BY 4' AND 18 INCHES THICK EXTENDING A MINIMUM OF 6 INCHES BEYOND FAN ON EACH SIDE AND 4 INCHES ABOVE GRADE.
 - OCF INLET PRESSURE GAUGE MOUNTED IN DUCT

1 HEADWORKS HVAC MODIFICATION LOWER PLAN
SCALE: 1/4" = 1'-0"

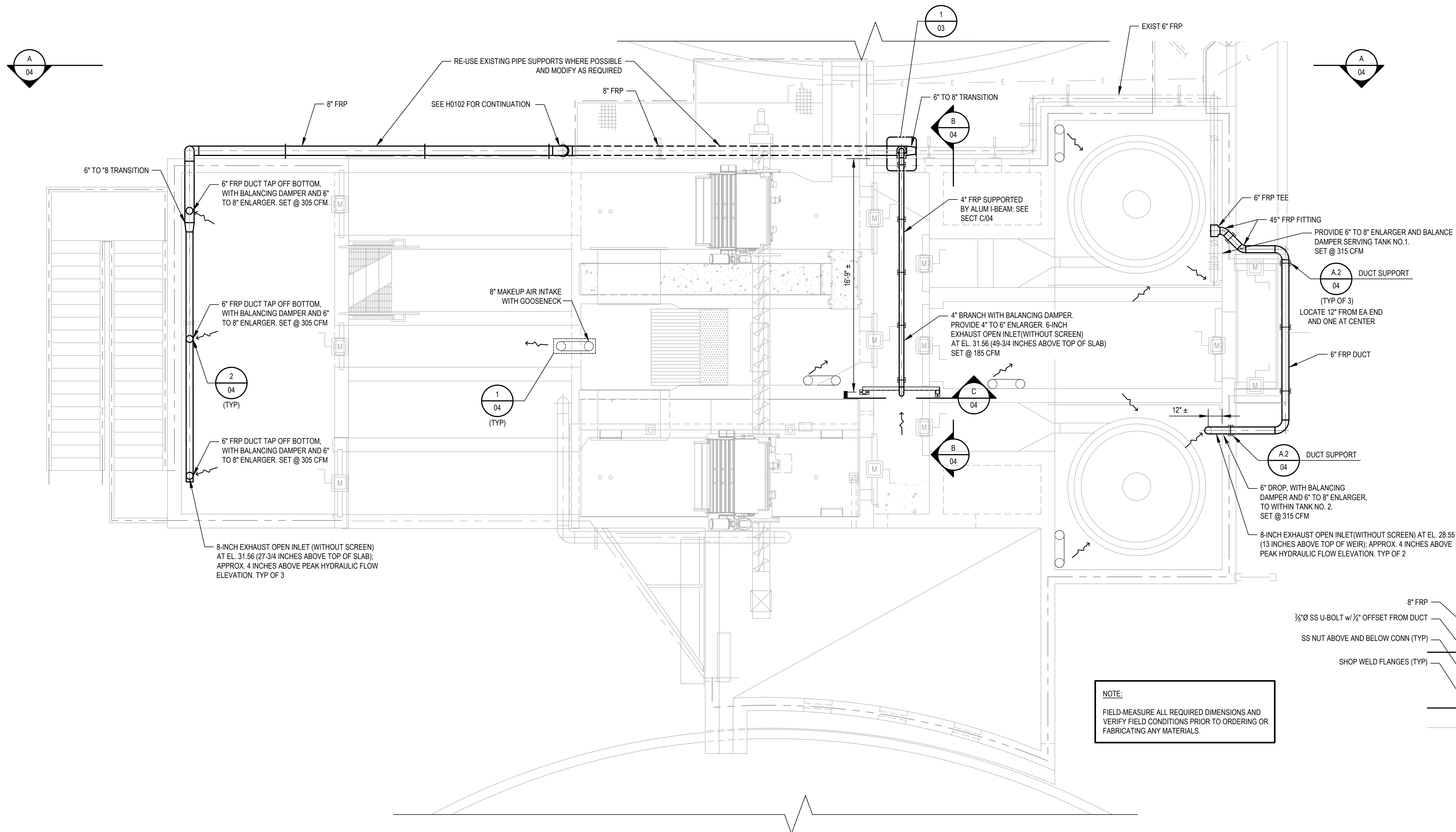
- GENERAL NOTES**
- COMPLETE WORK IN ACCORDANCE WITH MISCELLANEOUS DETAILS ON H6002.
 - REFER TO THE STRUCTURAL AND ARCHITECTURAL DRAWINGS FOR EQUIPMENT INSTALLATION REQUIREMENTS AND DETAILS OF STRUCTURAL AND ARCHITECTURAL FINISHES.
 - PROVIDE PIPE SUPPORTS FOR THE FRP DUCT IN ACCORDANCE WITH THE SPECIFICATION SECTION 15140 AND THE MECHANICAL DRAWINGS.
 - ALL EQUIPMENT AND COMPONENTS INSTALLED IN THE PUMP ROOM, GRIT DEWATERING ROOM, AND AS PART OF THE ODOR CONTROL SYSTEM SHALL BE SUITABLE FOR INSTALLATION IN CLASS 1 DIV 1 GROUP D AREAS.



SUSSEX COUNTY, DELAWARE
SCRFW NO.3 AND RBWWTP CIP PHASE 2
UPGRADES
FIGURE RFP-071-02
HEADWORKS HVAC MODIFICATION
PLAN

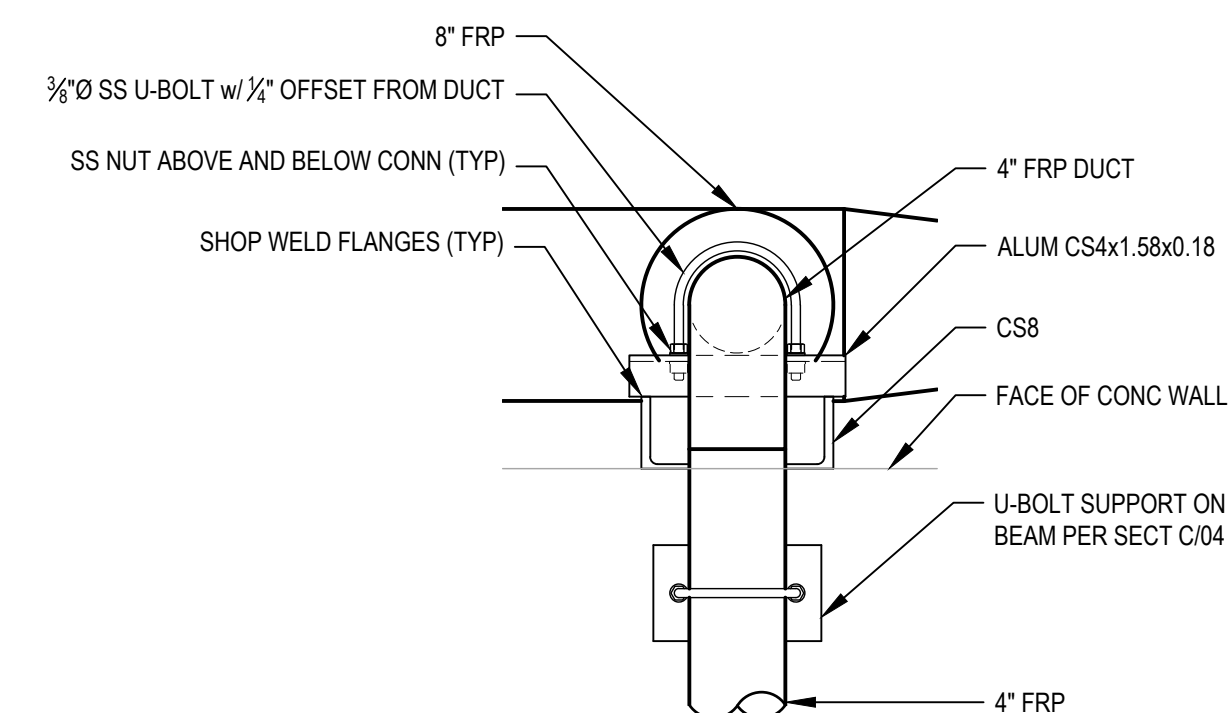
Project No. 11121182
Report No. RFP-071
Date 5/17/2022

RFP-071-02



1 HEADWORKS HVAC MODIFICATION UPPER PLAN
SCALE: 1/4" = 1'-0"

1 ENLARGED DUCT SUPPORT DETAIL
SCALE: 1 1/2" = 1'-0"



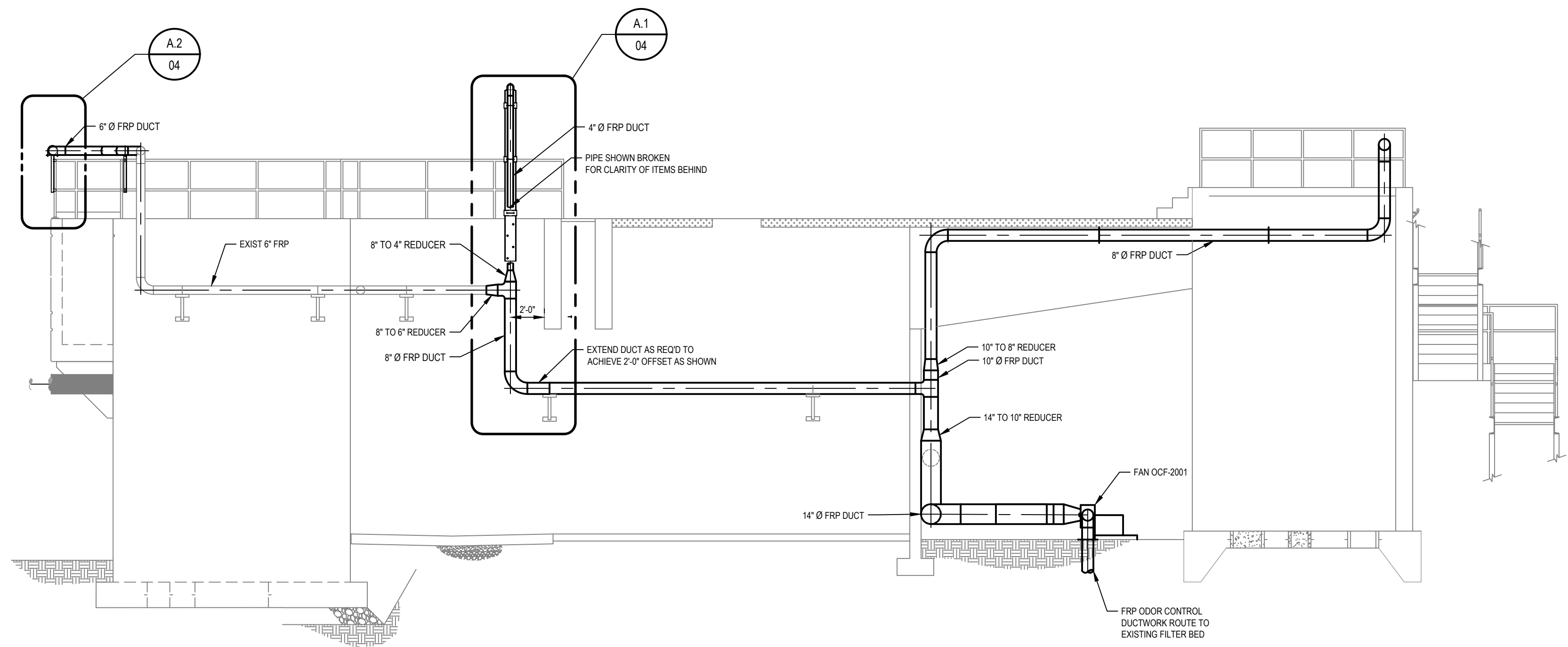
0 2'-0" 4'-0" 6'-0" 8'-0"
SCALE 1/4"=1'-0" AT ORIGINAL SIZE



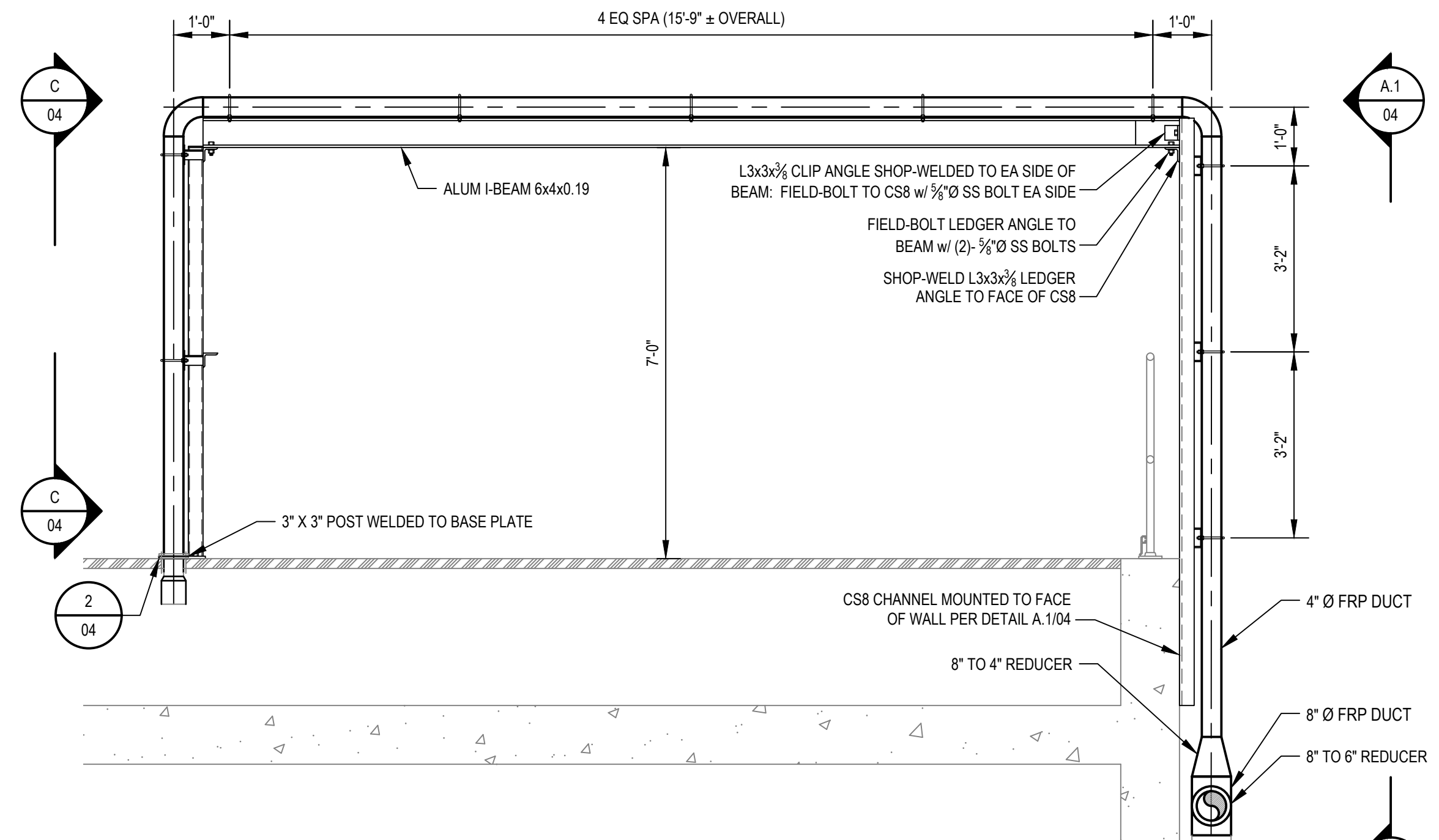
SUSSEX COUNTY, DELAWARE
SCWRP NO.3 AND RBWWTP CIP PHASE 2
UPGRADES
FIGURE RFP-071-03
HEADWORKS ODOR CONTROL
UPGRADES UPPER PLAN

Project No. 11121182
Report No. RFP-071
Date 5/17/2022

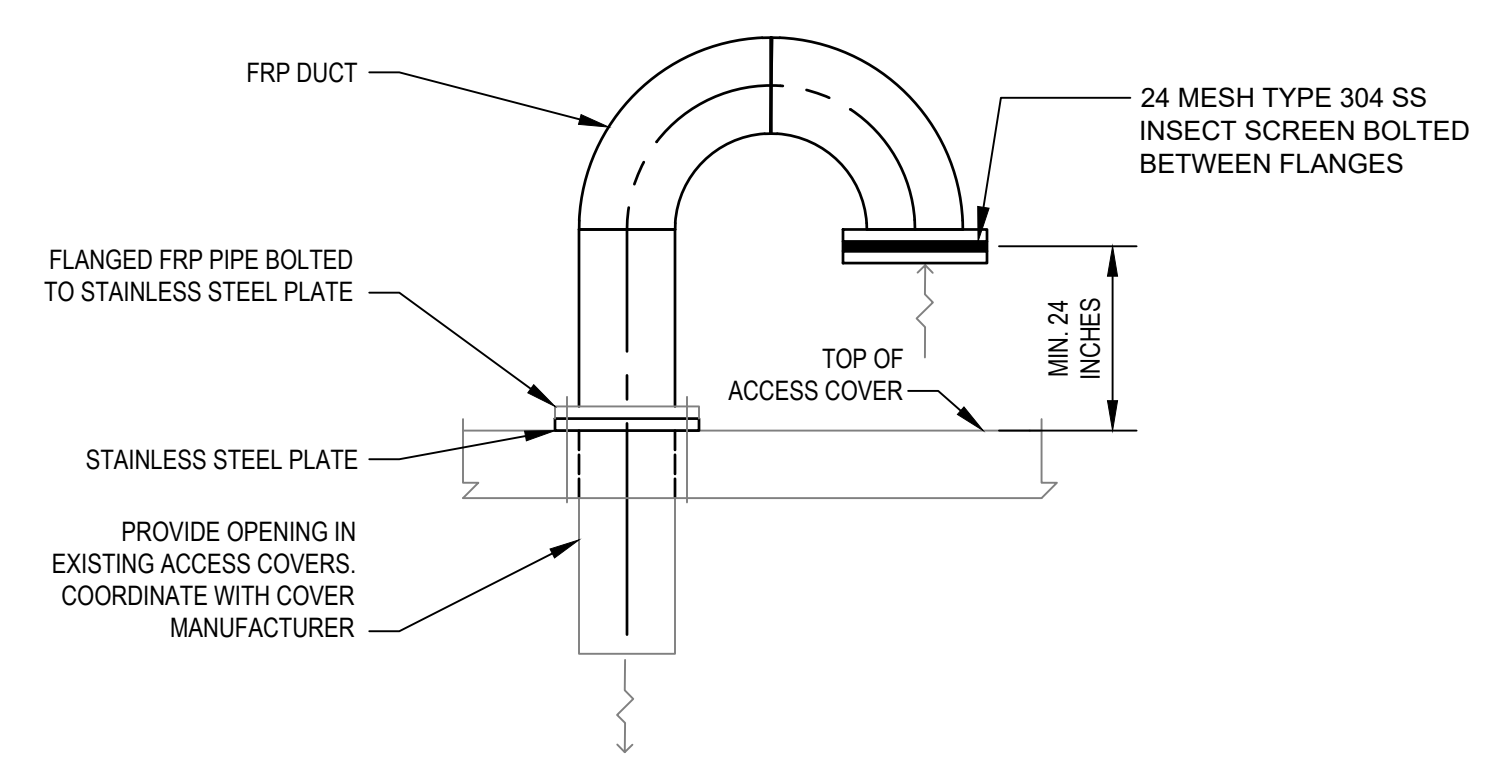
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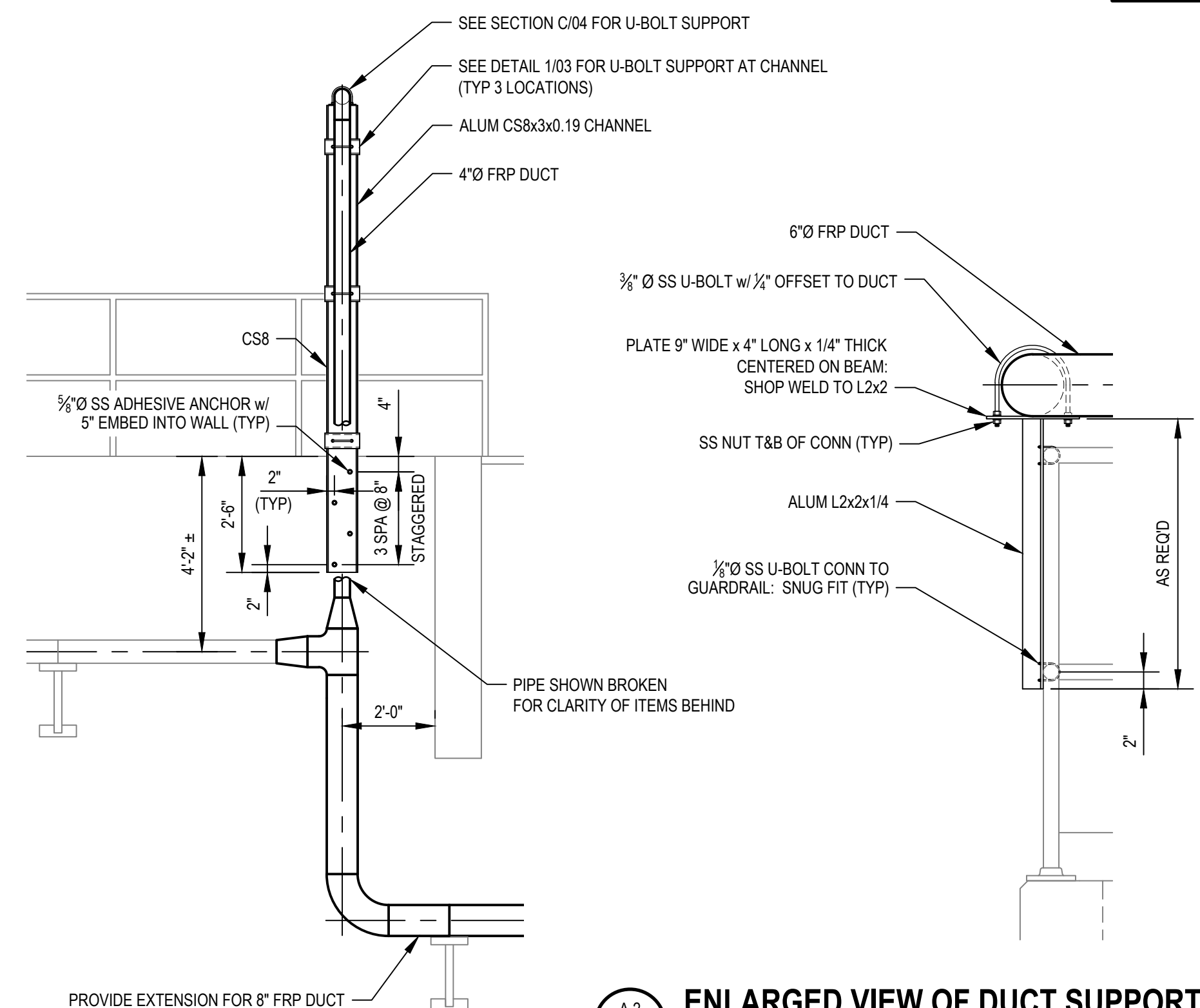
A HEADWORKS LONGITUDINAL SECTION
SCALE: 3/16" = 1'-0"



B HEADWORKS TRANSVERSE SECTION
SCALE: 1/2" = 1'-0"

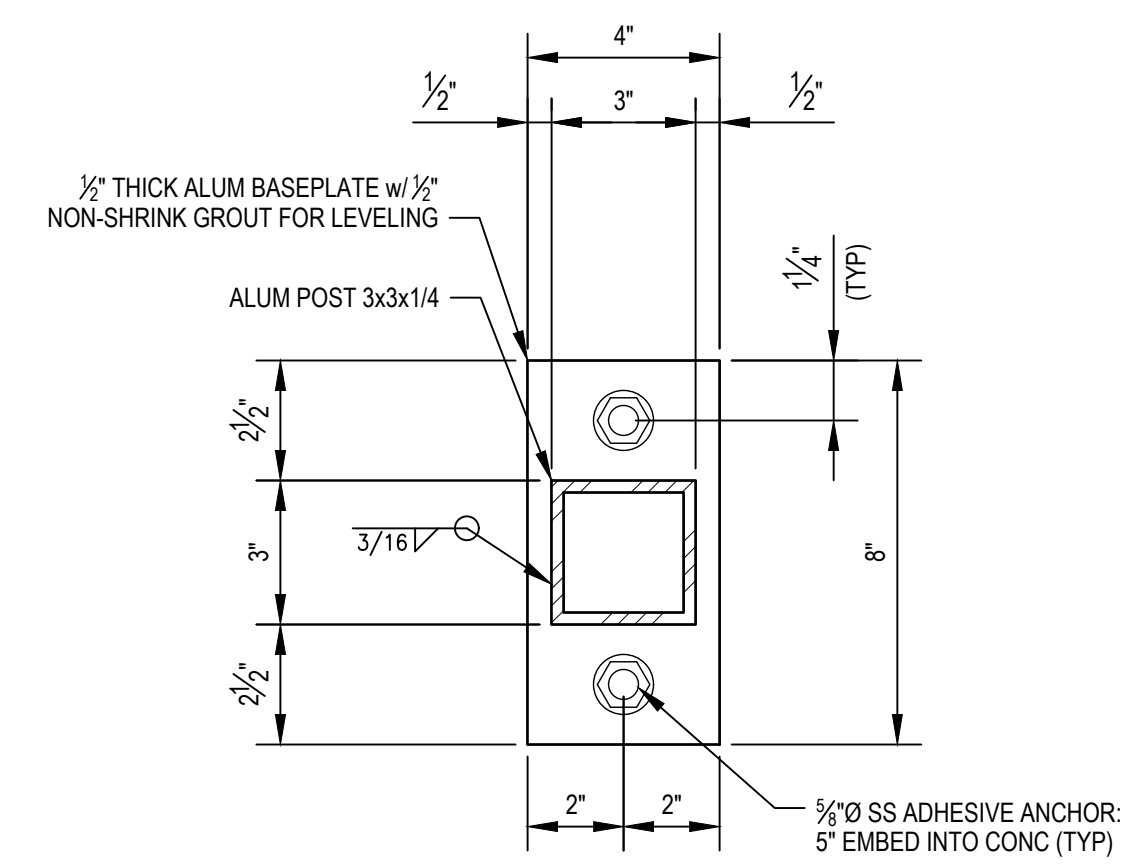


1 DETAIL - ODOR CONTROL MAKEUP AIR INTAKE GOOSENECK
SCALE: NTS

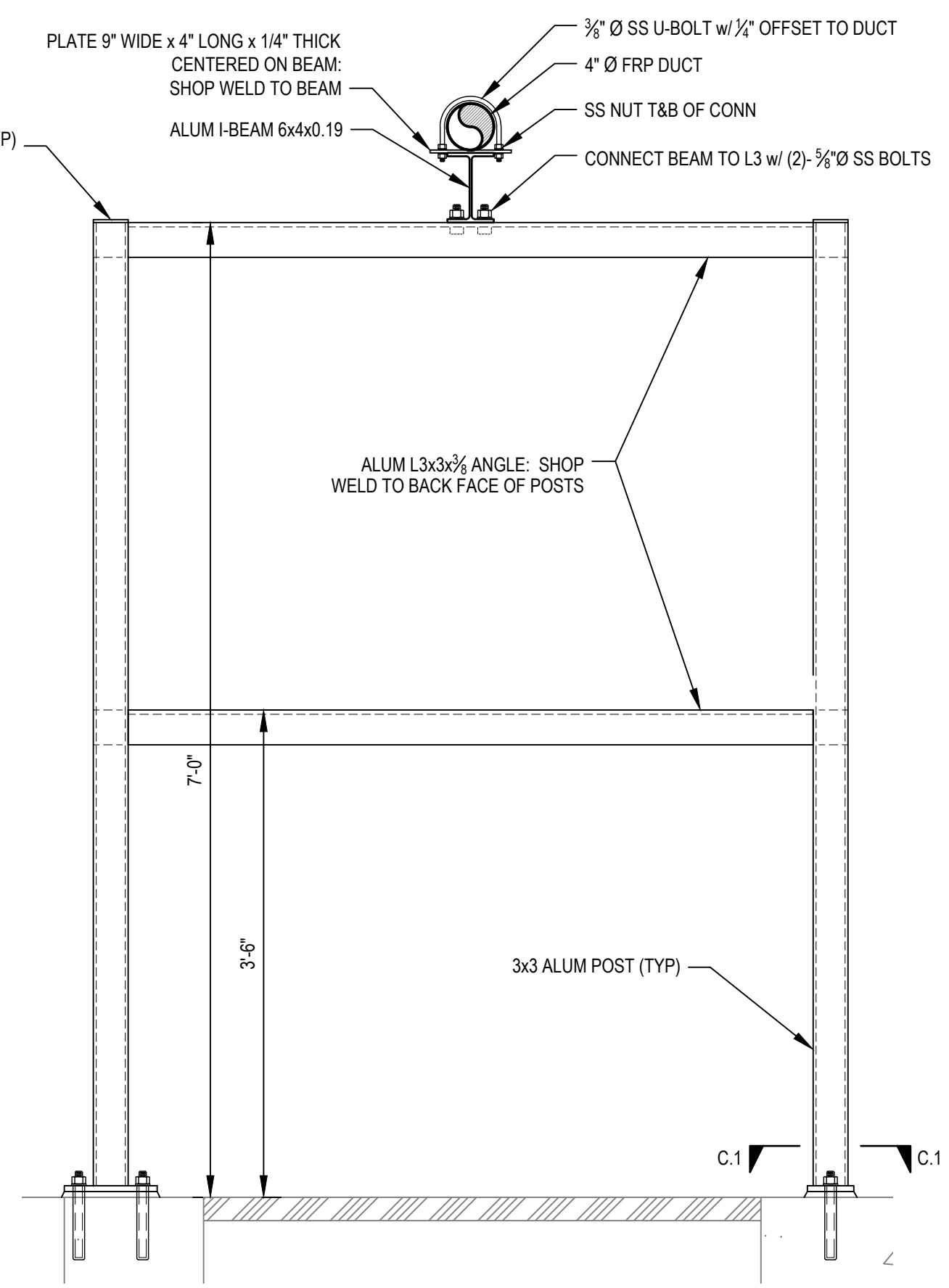


A.2 ENLARGED VIEW OF DUCT SUPPORT
SCALE: 1" = 1'-0"

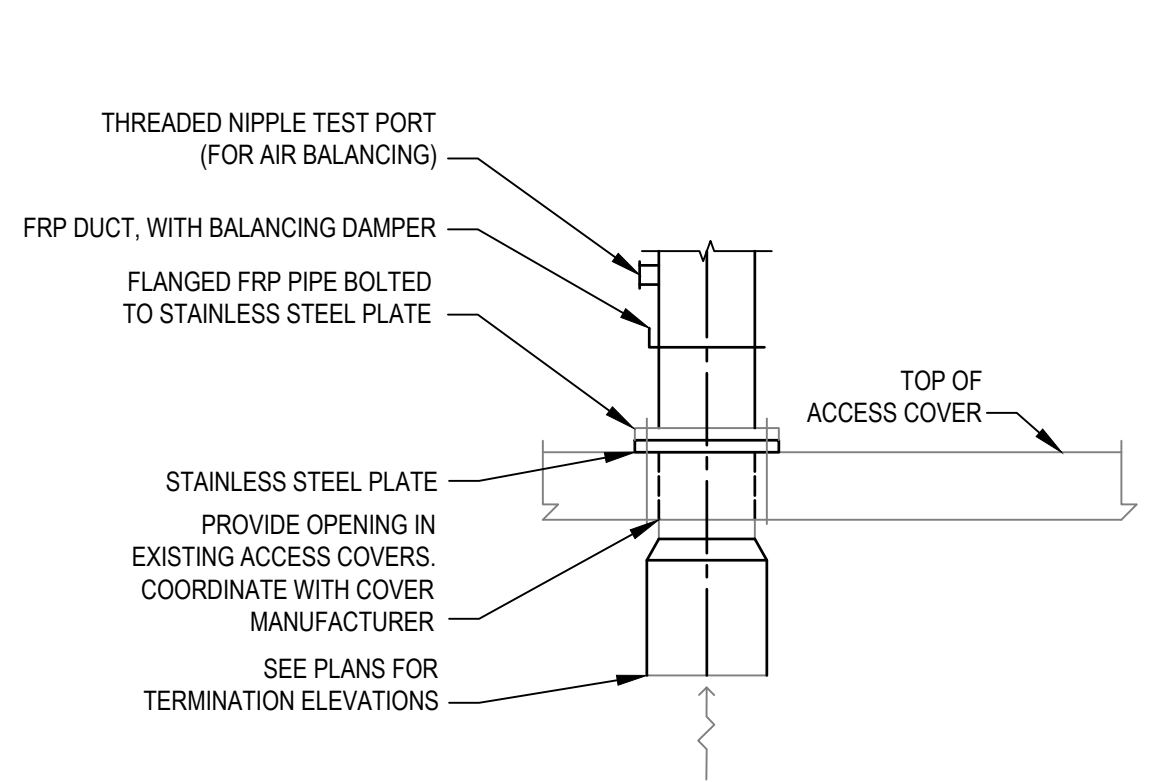
NOTE:
FIELD-MEASURE ALL REQUIRED DIMENSIONS AND VERIFY FIELD CONDITIONS PRIOR TO ORDERING OR FABRICATING ANY MATERIALS.



C.1 A-FRAME BASE PLATE DETAIL
SCALE: 3" = 1'-0"

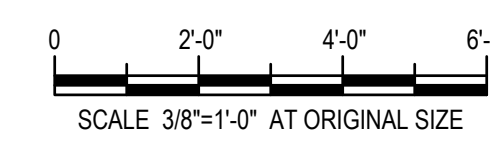
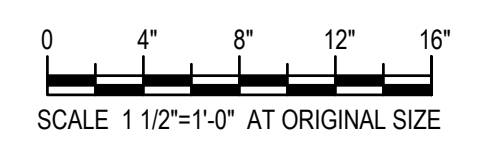
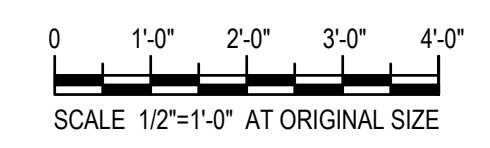
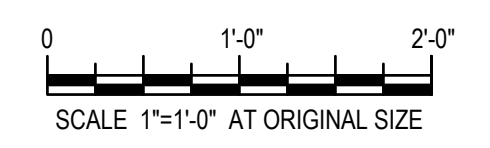
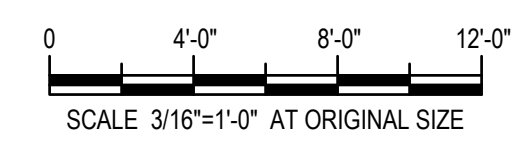


C A-FRAME SECTION
SCALE: 1" = 1'-0"



2 DETAIL - ODOR CONTROL EXHAUST AIR INLET
SCALE: NTS

A.1 ENLARGED VIEW OF DUCT SUPPORT
SCALE: 3/8" = 1'-0"



SUSSEX COUNTY, DELAWARE
SCWRP NO.3 AND RBWTP CIP PHASE 2
UPGRADES
FIGURE RFP-071-04
HEADWORKS ODOR CONTROL
UPGRADES SECTIONS AND DETAILS

Project No. 11121182
Report No. RFP-071
Date 5/17/2022

RFP-071-04

AXIAL FAN AND POWER VENTILATOR SCHEDULE

UNIT NO.	BUILDING	ROOM NAME	EQUIPMENT TYPE	SPECIFICATION SECTION	FAN OR UNPOWERED AIRFLOW				ELECTRICAL				CONTROLLED BY (SEE GENERAL NOTE 1)	TEMPERATURE SET POINT (DEG. F)	NOTES	ROUGH OPENING	DESIGN BASIS	
					DRIVE	CFM	EXT. S.P. IN. W.G.	RPM	HP	AMPERAGE	RPM	VOLTS / PHASE / HZ					MANUFACTURER	MODEL
EF-HWK-01	HEADWORKS	PIPE GALLERY	PROPELLER SIDEWALL FAN	15865	DIRECT	500	0.25	1725	0.26	3.9	1725	120 / 1 / 60	T'STAT - TYPE 1	80	1, 5	-	GREENHECK	SE1-12-432
EF-HWK-02	HEADWORKS	ELECTRICAL ROOM	PROPELLER SIDEWALL FAN	15865	DIRECT	2000	0.5	1750	0.75	1.6	1750	460/3/60	T'STAT - TYPE 1	95	1, 5	-	GREENHECK	SE1-16-428-A
SF-HWK-01	HEADWORKS	PUMP ROOM	FRP DUCT AXIAL FAN	15865	DIRECT	750	0.5	1650	0.25	3.7	1650	115/1/60	HOA	-	2	-	HARTZEL	SERIES 29
SF-HWK-02	HEADWORKS	GRIT DEWATERING ROOM	FRP DUCT AXIAL FAN	15865	DIRECT	1200	0.5	1725	0.25	5.8	1725	115/1/60	HOA	-	2	-	HARTZEL	SERIES 29
OCF-2001	HEADWORKS	EXTERIOR	ODOR CONTROL FAN	15870	DIRECT	3800	28	3450	40	-	3600	480 / 3 / 60	VFD	-	2, 6, 7, 8	-	TWIN CITY	22/10 HPF
EF-MB-01	MECHANICAL BUILDING	ELECTRICAL ROOM NORTH	ROOF EXHAUSTER - UPBLAST UNIT	15870	DIRECT	1350	0.5	1102	0.50	6.7	1102	115/1/60	T'STAT - TYPE 1	95	5	15" x 15"	GREENHECK	CUE-141-VG
EF-MB-02	MECHANICAL BUILDING	ELECTRICAL ROOM SOUTH	ROOF EXHAUSTER - UPBLAST UNIT	15870	DIRECT	1350	0.5	1102	0.50	6.7	1102	115/1/60	T'STAT - TYPE 1	95	5	15" x 15"	GREENHECK	CUE-141-VG
EF-BB1-01	BLOWER BUILDING NO. 1	ELECTRICAL ROOM	WALL EXHAUSTER - UPBLAST UNIT	15870	DIRECT	2500	0.5	1140	0.75	1	1140	460/3/60	T'STAT - TYPE 1	95	1, 5	22.5" x 22.5"	GREENHECK	CUE-161-B
EF-BB2-01	BLOWER BUILDING NO. 2	ELECTRICAL ROOM	WALL EXHAUSTER - UPBLAST UNIT	15870	DIRECT	3850	0.5	1725	2.00	3.4	1725	460/3/60	T'STAT - TYPE 1	95	1, 5	30.5" x 30.5"	GREENHECK	CUE-180HP-A
EF-BB2-02	BLOWER BUILDING NO. 2 (TYPE A)	BLOWER ROOM (ATTIC)	PROPELLER SIDEWALL FAN	15865	DIRECT	1500	0.5	1675	0.50	6.8	1675	115/1/60	T'STAT - TYPE 1	80	1, 5	-	GREENHECK	SE1-14-436-VG
EF-BB2-03	BLOWER BUILDING NO. 2 (TYPE B)	BLOWER ROOM (ATTIC)	PROPELLER SIDEWALL FAN	15865	DIRECT	6500	0.5	1750	1.50	3	1750	460/3/60	T'STAT - TYPE 1	80	1, 5	-	GREENHECK	AER-E24C-320-A
EF-BB2-04	BLOWER BUILDING NO. 2 (TYPE B)	BLOWER ROOM (ATTIC)	PROPELLER SIDEWALL FAN	15865	DIRECT	6500	0.5	1750	1.50	3	1750	460/3/60	T'STAT - TYPE 1	80	1, 5	-	GREENHECK	AER-E24C-320-A
EF-RSB1-01	RETURN SLUDGE BUILDING NO. 1	ELECTRICAL ROOM	WALL EXHAUSTER - UPBLAST UNIT	15870	DIRECT	1800	0.5	895	0.50	6.7	895	115/1/60	T'STAT - TYPE 1	95	1, 5	22.5" x 22.5"	GREENHECK	CUE-161-VG
EF-RSB2-01	RETURN SLUDGE BUILDING NO. 2	PUMP ROOM (ATTIC)	PROPELLER SIDEWALL FAN	15865	DIRECT	1500	0.5	1675	0.50	6.8	1675	115/1/60	T'STAT - TYPE 1	80	1, 5	-	GREENHECK	SE1-14-436-VG
EF-RSB2-02	RETURN SLUDGE BUILDING NO. 2	ELECTRICAL ROOM	WALL EXHAUSTER - UPBLAST UNIT	15870	DIRECT	1500	0.5	1725	0.75	1.6	1725	460/3/60	T'STAT - TYPE 1	95	1, 5	19.5" x 19.5"	GREENHECK	CUE-131-A
EF-SHFB-01	SODIUM HYPOCHLORITE FEED BUILDING	ELECTRICAL ROOM	WALL EXHAUSTER - UPBLAST UNIT	15870	DIRECT	1000	0.5	1140	0.167	4.4	1140	115/1/60	T'STAT - TYPE 1	95	1, 5	19.5" x 19.5"	GREENHECK	CUE-131-B
EF-EPS-01	EFFLUENT PUMPING STATION ELECTRICAL BUILDING	ELECTRICAL ROOM	WALL EXHAUSTER - UPBLAST UNIT	15870	DIRECT	3000	0.5	1219	1.00	12.4	1219	115/1/60	T'STAT - TYPE 1	95	1, 5	22.5" x 22.5"	GREENHECK	CUE-161-VG
EF-LTS-01	LTS DIGESTER BUILDING	PUMP ROOM	ROOF EXHAUSTER - UPBLAST UNIT	15870	DIRECT	1350	0.5	1102	0.50	6.7	1102	115/1/60	T'STAT - TYPE 1	80	5	15" x 15"	GREENHECK	CUE-141-VG
EF-EB-01	ELECTRICAL BUILDING	ELECTRICAL ROOM	WALL EXHAUSTER - UPBLAST UNIT	15870	DIRECT	2000	0.5	1725	0.75	1.6	1725	460/3/60	T'STAT - TYPE 1	95	1, 5	19.5" x 19.5"	GREENHECK	CUE-131-A
EF-SLB-01	SLUDGE BUILDING	SLUDGE ROOM	PROPELLER SIDEWALL FAN	15865	DIRECT	5000	0.5	1750	1.00	2.1	1750	460/3/60	HOA	-	1, 3, 5	-	GREENHECK	AER-E24C-314-A
SF-SLB-01	SLUDGE BUILDING	SLUDGE ROOM	INLINE AXIAL FAN	15865	DIRECT	5000	1.0	1770	1.50	3	1770	460/3/60	ON/OFF SWITCH & T-STAT TYPE 4	40	3	-	GREENHECK	AX-54-160-0622
EF-SLB-02	SLUDGE BUILDING	ELECTRICAL ROOM	INLINE SQUARE CENTRIFUGAL FAN	15870	DIRECT	2500	0.5	1725	1.50	3	1725	460/3/60	T'STAT - TYPE 1	95	3	-	GREENHECK	SQ-140-A
EF-B01-01	RBWWTP - BUILDING B-1	ELECTRICAL ROOM	PROPELLER SIDEWALL FAN	15865	DIRECT	300	0.4	VARIABLE	-	1.0	VARIABLE	120 / 1 / 60	T'STAT - TYPE 1	95	1, 5	-	GREENHECK	CBF
EF-B10-01	RBWWTP - BUILDING B-10	ELECTRICAL ROOM	ROOF EXHAUSTER - UPBLAST UNIT	15870	DIRECT	2000	0.5	1645	0.75	10.6	1645	115/1/60	T'STAT - TYPE 1	95	5	15" x 15"	GREENHECK	CUE-131-VG
EF-T01-01	RBWWTP - BUILDING T-1	LOWER LEVEL	WALL EXHAUSTER - UPBLAST UNIT	15870	DIRECT	1800	0.6	1725	0.75	1.6	1725	460/3/60	ON/OFF SWITCH	-	1, 2, 5	19" x 19"	GREENHECK	CUE-123-A

SPLIT SYSTEM DUCTLESS HEAT PUMP UNITS SCHEDULE

UNIT NO.	BUILDING	ROOM NAME	EQUIPMENT TYPE	SPECIFICATION SECTION	NOMINAL TONS	TOTAL COOLING CAPACITY (MBH)	HEATING CAPACITY (MBH)	AIR FLOW (CFM)	FAN MOTOR (WATT)	VOLTS / PH / HZ	CONDENSING UNIT			CONTROLLED BY (SEE GENERAL NOTE 1)	TEMPERATURE SET POINT (DEG. F)	NOTES	DESIGN BASIS		
											UNIT NO.	MCA	VOLTS / PH / HZ				MANUFACTURER	INDOOR MODEL	OUTDOOR MODEL
AC-HWK-01	HEADWORKS	ELECTRICAL ROOM	WALL MOUNTED	15786	2.0	24	27	551	27	208/1/60	ACCU-HWK-01	12.5	208/1/60	T'STAT - TYPE 5	80	4	SAMSUNG	AC024MNADCH/AA	AC024JXADCH/AA
AC-MB-01	MECHANICAL BUILDING	ELECTRICAL ROOM NORTH	WALL MOUNTED	15786	1.5	18	20	406	27	208/1/60	ACCU-MB-01	10.0	208/1/60	T'STAT - TYPE 5	80	4	SAMSUNG	AC018MNADCH/AA	AC018JXADCH/AA
AC-BB2-01	BLOWER BUILDING NO. 2	ELECTRICAL ROOM	CEILING SUSPENDED	15786	4.0	48	53	1300	97	208/1/60	ACCU-BB2-01	25.5	208/1/60	T'STAT - TYPE 5	80	4	SAMSUNG	AC048JN4DCH/AA	AC048JXADCH/AA
AC-RSB2-01	RETURN SLUDGE BUILDING NO. 2	ELECTRICAL ROOM	CEILING SUSPENDED	15786	1.5	18	20	600	65	208/1/60	ACCU-RSB2-01	8.6	208/1/60	T'STAT - TYPE 5	80	4	SAMSUNG	AC018JN4DCH/AA	AC018JXADCH/AA
AC-EPS-01	EPS ELECTRICAL BUILDING	ELECTRICAL ROOM	WALL MOUNTED	15786	3.0	36	40	830	58	208/1/60	ACCU-EPS-01	23.2	208/1/60	T'STAT - TYPE 5	80	4	SAMSUNG	AC036MNTDCH/AA	AC036JXADCH/AA
AC-EB-01	ELECTRICAL BUILDING	ELECTRICAL ROOM	WALL MOUNTED	15786	2.0	24	27	551	27	208/1/60	ACCU-EB-01	12.5	208/1/60	T'STAT - TYPE 5	80	4	SAMSUNG	AC024MNADCH/AA	AC024JXADCH/AA
AC-SLB-01	SLUDGE BUILDING	ELECTRICAL ROOM	WALL MOUNTED	15786	3.0	36	40	830	58	208/1/60	ACCU-EPS-01	23.2	208/1/60	T'STAT - TYPE 5	80	4	SAMSUNG	AC036MNTDCH/AA	AC036JXADCH/AA
AC-B01-01	RBWWTP - BUILDING B-1	ELECTRICAL ROOM	WALL MOUNTED	15786	1.5	18	20	406	27	208/1/60	ACCU-B01-01	10.0	208/1/60	T'STAT - TYPE 5	80	4	SAMSUNG	AC018MNADCH/AA	AC018JXADCH/AA
AC-B10-01	RBWWTP - BUILDING B-10	ELECTRICAL ROOM	CEILING SUSPENDED	15786	1.5	18	20	600	65	208/1/60	ACCU-B10-01	8.6	208/1/60	T'STAT - TYPE 5	80	4	SAMSUNG	AC018JN4DCH/AA	AC018JXADCH/AA

TERMINAL HEAT TRANSFER UNITS SCHEDULE

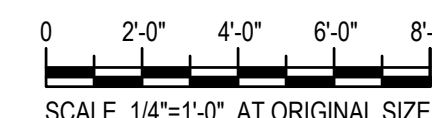
UNIT NO.	BUILDING	ROOM NAME	EQUIPMENT TYPE	SPECIFICATION SECTION	COIL DATA				MOTOR / ELECTRICAL DATA					CONTROLLED BY (SEE GENERAL NOTE 1)	TEMPERATURE SET POINT (DEG. F)	NOTES	DESIGN BASIS	
					KW	CFM	EAT (F)	LAT (F)	HP	RPM	VOLTS / PH / HZ	CONTROL VOLTAGE	MOCP (AMPS)				MANUFACTURER	MODEL
EUH-HWK-01	HEADWORKS	PIPE GALLERY	STANDARD ELECTRIC UNIT HEATER	15835	5	400	50	76	1/35	1550	480/3/60	24	15	T'STAT - TYPE 1	50	-	TRANE	UHEC-053DACA
EUH-HWK-02	HEADWORKS	PUMP ROOM	EXPLOSION PROOF ELECTRIC UNIT HEATER	15835	25	3110	50	76	1/35	1725	480/3/60	24	40	T'STAT - TYPE 3	50	2	INDEECO	233-FB-0206U
EUH-BB2-01	BLOWER BUILDING NO. 2	BLOWER ROOM	STANDARD ELECTRIC UNIT HEATER	15835	7.5	700	50	95	1/35	1550	480/3/60	24	15	T'STAT - TYPE 1	50	-	TRANE	UHEC-073DACA
EUH-RSB2-01	RETURN SLUDGE BUILDING NO. 2	PUMP ROOM	STANDARD ELECTRIC UNIT HEATER	15835	10	700	50	95	1/35	1550	480/3/60	24	20	T'STAT - TYPE 1	50	-	TRANE	UHEC-103DACA
EUH-SLB-01	SLUDGE BUILDING	SLUDGE ROOM	CORROSION-RESISTANT ELECTRIC UNIT HEATER	15835	10	700	50	95	1/35	1550	480/3/60	24	20	T'STAT - TYPE 2	50	3	TRANE	UHRA-103DA
EUH-SLB-02	SLUDGE BUILDING	SLUDGE ROOM	CORROSION-RESISTANT ELECTRIC UNIT HEATER	15835	10	700	50	95	1/35	1550	480/3/60	24	20	T'STAT - TYPE 2	50	3	TRANE	UHRA-103DA
DHC-SLB-01	SLUDGE BUILDING	SLUDGE ROOM	ELECTRIC DUCT COIL	15835	60	5000	10	50	-	-	480/3/60	24	100	T-STAT - MFR STD	50	3	GREENHECK	IDHE
EUH-T01-01	RBWWTP - BUILDING T-1	LOWER LEVEL	EXPLOSION PROOF ELECTRIC UNIT HEATER	15835	20	1800	50	85	1/35	1725	480/3/60	24	35	T'STAT - TYPE 6	50	2	INDEECO	233-FB-0206U
EUH-T01-02	RBWWTP - BUILDING T-1	LOWER LEVEL	EXPLOSION PROOF ELECTRIC UNIT HEATER	15835	20	1800	50	85	1/35	1725	480/3/60	24	35	T'STAT - TYPE 6	50	2	INDEECO	233-FB-0206U

GENERAL NOTES:

- HVAC MOTOR STARTER CONTROL PANELS, HOA SWITCHES, ON/OFF SWITCHES, PRESSURE SWITCHES AND ALL CONDUIT AND WIRING TO BE PROVIDED BY THE ELECTRICAL CONTRACTOR.
- ALL THERMOSTATS SHALL BE FURNISHED BY THE GENERAL CONTRACTOR. SOME THERMOSTATS SHALL BE INSTALLED BY THE GENERAL CONTRACTOR AND SOME BY THE ELECTRICAL CONTRACTOR. REFER TO THE HVAC PLANS AND THE ELECTRICAL DRAWINGS FOR THERMOSTATS TO BE INSTALLED BY THE ELECTRICAL CONTRACTOR.
- COORDINATE DEMOLITION AND ARCHITECTURAL WORK WITH FINAL LOUVER, DAMPER AND HVAC EQUIPMENT LOCATIONS.
- HVAC PLANS INDICATE WHERE EQUIPMENT AND SUPPORTS ARE REQUIRED TO BE ABOVE A MINIMUM ELEVATION. IN THESE CASES THE SCHEDULED ELEVATION IS PROVIDED AS A GUIDE ONLY. NOTIFY ENGINEER OF ANY CONFLICTS.
- WHERE THERE IS NO SCHEDULED ELEVATION OR ELEVATION NOTED ON THE CORRESPONDING PLAN, INSTALL UNITS A MINIMUM OF 8' AFF.

SCHEDULE NOTES:

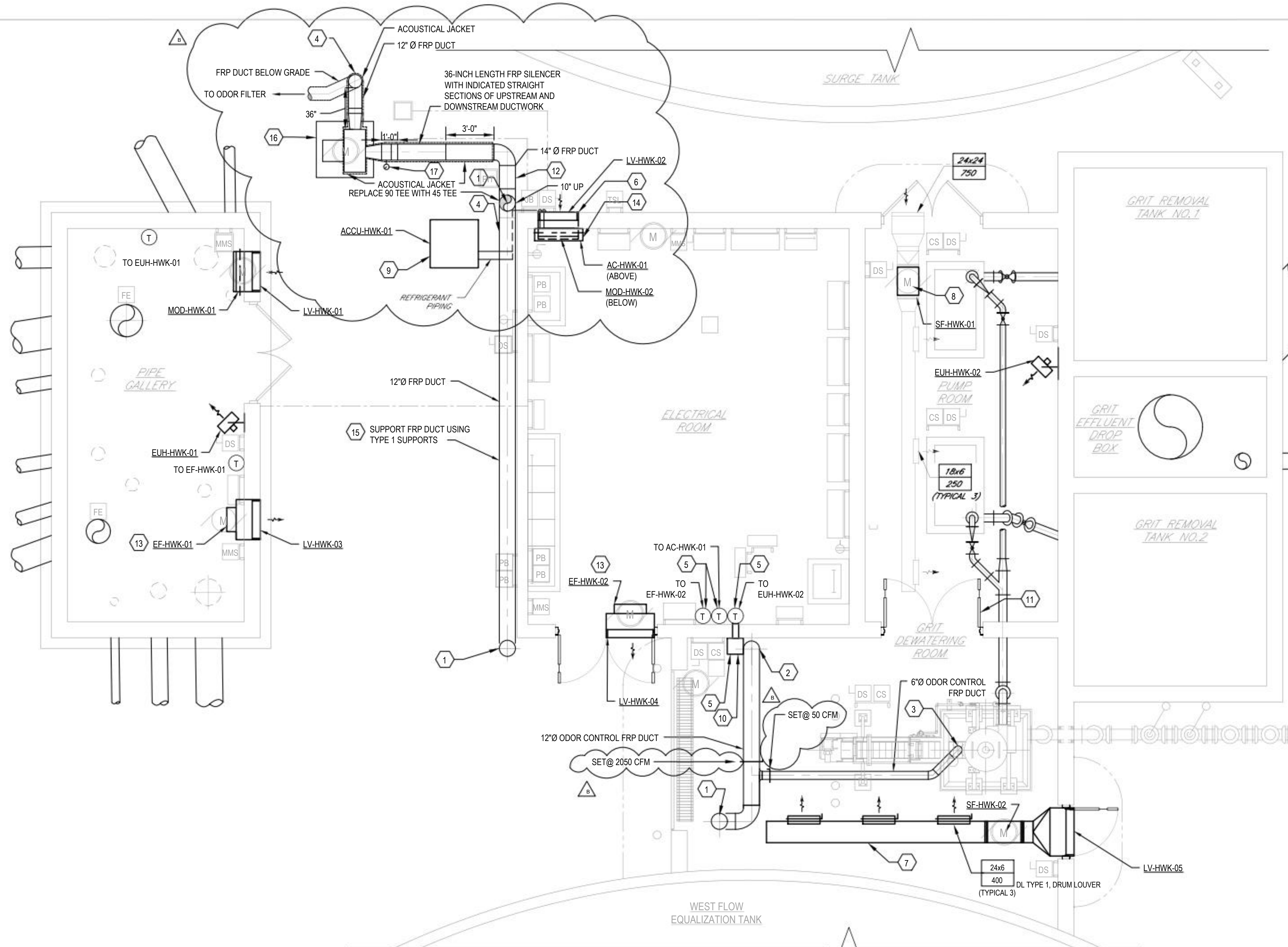
- PROVIDED OSHA MOTOR GUARD. PROVIDE WALL COLLAR AS NEEDED TO INSTALL UNIT IN WALL.
- PROVIDE CORROSION RESISTANT CONSTRUCTION SUITABLE FOR EXPOSURE TO WET AND CORROSIVE ENVIRONMENT. UNIT AND CONTROLS TO BE EXPLOSION PROOF, RATED FOR N.E.C. CLASS I, DIVISION I, GROUP D AREAS.
- PROVIDE CORROSION RESISTANT CONSTRUCTION SUITABLE FOR EXPOSURE TO WET AND CORROSIVE ENVIRONMENT.
- ROUTE CONDENSATE DRAIN TO EXTERIOR OF THE BUILDING. DRAIN TO EXTEND 12" ABOVE GRADE AND SHALL DISCHARGE TO SIDEWALK OR OTHER IMPERVIOUS SURFACE. ACCEPTABLE ALTERNATIVE ROUTE WOULD BE TO NEAREST SANITARY WITH TRAP OR STORM DRAIN. IF CONDENSATE ROUTE REQUIRES CONDENSATE DRAIN TO SLOPE UPHILL, PROVIDE INTEGRAL CONDENSATE DRAIN PUMP.
- UNIT SHALL HAVE 120 VAC INTEGRAL MOTOR OPERATED DAMPER WITH SEPARATE POWER SUPPLY.
- AIR FLOW BASED ON 20 F.
- MOTOR SHALL BE VFD-COMPATIBLE AND EXPLOSION PROOF. FAN ARRANGEMENT SHALL BE #8, CCW ROTATION, TOP HORIZONTAL DISCHARGE.
- FAN PROVIDED WITH EASILY REMOVABLE, SIDE-VENTILATED, 2 COAT EPOXY PAINT-COATED STEEL WEATHER COVER FOR SHAFT, BEARINGS, AND MOTOR.



SUSSEX COUNTY, DELAWARE
SCWRV NO.3 AND RBWWTP CIP PHASE 2
UPGRADES
FIGURE RFP-071-01
HEADWORKS HVAC MODIFICATION
PLAN

Project No. 11121182
 Report No. RFP-071
 Date 5/17/2022

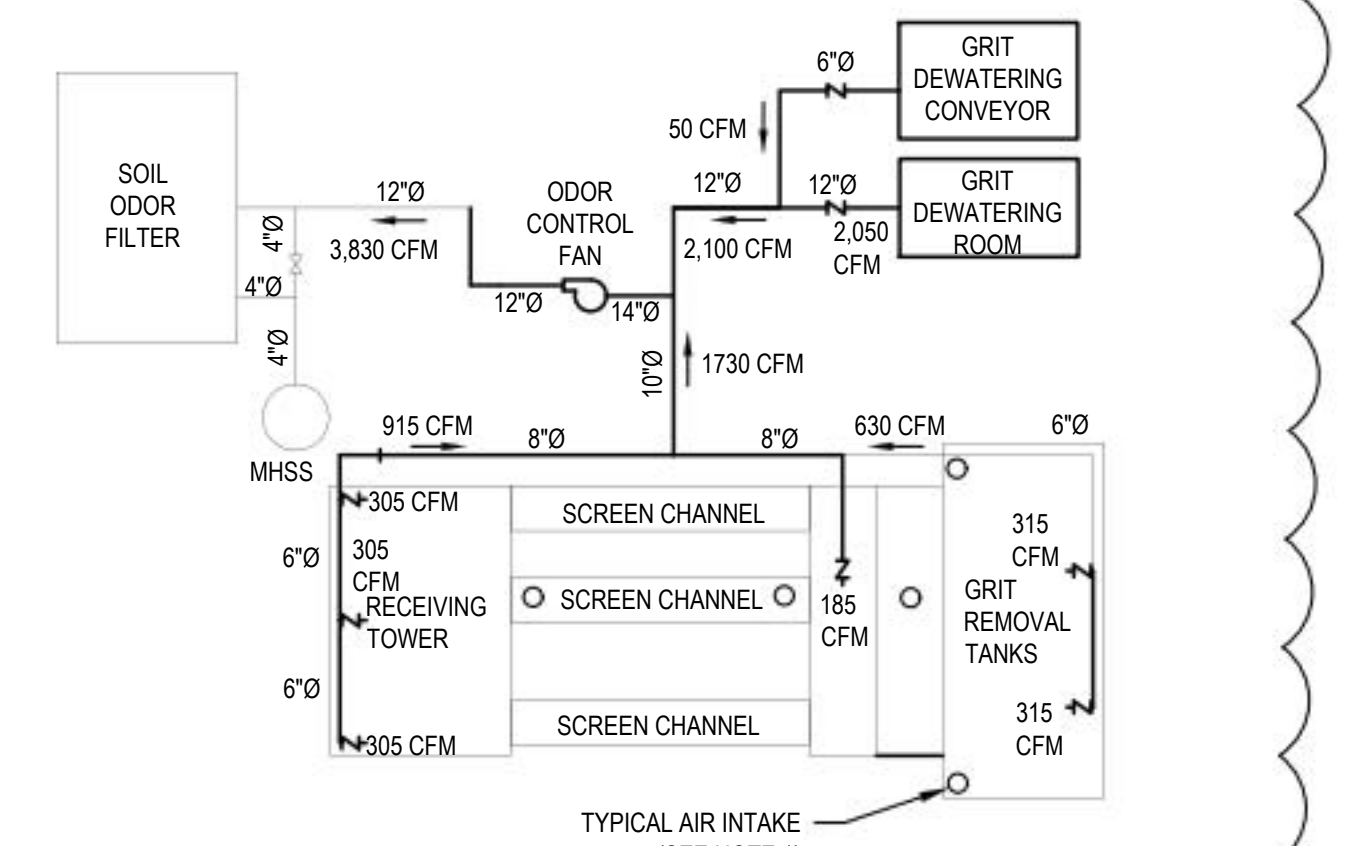
RFP-071-01



ODOR CONTROL DESIGN CRITERIA - AIR VOLUMES (CFM)

Item	Volume (CFM)
* UNDER COVERS (UPSTREAM):	400
* UNDER COVERS (DOWNSTREAM):	365
** GRIT DEWATERING ROOM:	1982
** GRIT DEWATERING CONVEYOR:	3

* AIR VOLUME BASED ON 6 ACH
** AIR VOLUME BASED ON 12 ACH



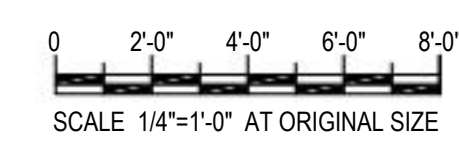
A HEADWORKS ODOR SCHEMATIC
SCALE: NONE

- SCHEMATIC NOTES**
- SEE PLANS FOR LOCATION AND QUANTITY OF AIR INTAKES.
 - PROVIDE PRESSURE SWITCH ON ODOR CONTROL FAN DISCHARGE TO SHUT DOWN FAN ON HIGH DISCHARGE PRESSURE (OWNER ADJUSTABLE).
 - PROVIDE PRESSURE GAUGES ON THE SUCTION AND DISCHARGE SIDES OF ODOR CONTROL FAN FOR MONITORING AND COMPARISON.

- MODIFICATION NOTES:**
- 10" ODOR CONTROL EXHAUST DUCTING TO UPPER LEVEL. REPLACE EXISTING 90° TEE FITTING WITH NEW 45° TEE FITTING. SEE DRAWING H0102A FOR CONTINUATION.
 - ODOR CONTROL EXHAUST DUCTING DOWN TO 24" AFF. PROVIDE TYPE 316 STAINLESS STEEL BIRSCREEN MESH AT DUCT INLET.
 - ODOR CONTROL EXHAUST DUCTING DOWN TO AND CONNECTING TO NEW ODOR CONTROL COVER ON GRIT DEWATERING CONVEYOR.
 - CONNECT TO EXISTING FRP DUCT. PROVIDE MATCHING-SIZED FLANGE ON EXISTING AND NEW DUCTS. PROVIDE FLEXIBLE CONNECTION BETWEEN FLANGES.
 - THERMOSTAT FURNISHED BY GENERAL CONTRACTOR FOR INSTALLATION BY ELECTRICAL CONTRACTOR.
 - MOD-HWK-02 AND LV-HWK-01 TO BE MOUNTED BELOW AC-HWK-01.
 - 16" DIA SUPPLY AIR DUCTWORK WITH 1/4" OF DUCT AT 15'-0" AFF. DUCTWORK IN GRIT DEWATERING ROOM TO BE TYPE 316 STAINLESS STEEL. MOUNT DRUM LOUVERS 45 DEGREES DOWN FROM HORIZONTAL.
 - PROVIDE FLEXIBLE DUCT CONNECTIONS WHERE SF-HWK-01 TO BE CONNECTED TO EXISTING 10" DIA DUCTWORK.
 - EXTERIOR EQUIPMENT PAD, REFER TO STRUCTURAL DRAWINGS.
 - REMOTE TEMPERATURE SENSING BULB FOR EUH-HWK-02 THERMOSTAT.
 - NEW LOUVERED DOOR. REFER TO MECHANICAL AND ARCHITECTURAL DRAWINGS FOR DETAILS.
 - PROVIDE 1/2" FEMALE NPT INSERT FOR PRESSURE TRANSMITTER TO BE PROVIDED BY ELECTRICAL CONTRACTOR.
 - REFERENCE THE "WALL MOUNTED EXHAUST FAN DETAILS" ON CONTRACT DRAWING SC-A0408 FOR SIMILAR CURB INSTALLATION DETAILS. CUT OPENING IN CONCRETE WALL. SIZE AS REQUIRED TO INSTALL NEW CURB AND SEALANT JOINT ALL AROUND. REFER TO GENERAL STRUCTURAL NOTES, SECTION 8, FOR TREATMENT OF SAWCUT EDGES.
 - ROUTE UNIT CONDENSATE PIPING ALONG REFRIGERANT PIPING PATHWAY. TERMINATE CONDENSATE PIPING 12" ABOVE EXTERIOR GRADE AND ANGLE 45 DEGREES AWAY FROM BUILDING. PROVIDE INTEGRAL CONDENSATE PUMP IF CONDENSATE PIPING IS SLOPED UPWARDS AT ANY POINT.
 - PROVIDE NON-ABRASIVE SURFACE BETWEEN PIPING AND SUPPORT. NON-ABRASIVE SURFACE SHALL BE TEFLON TAPE, FRP SHIELD OR EQUAL. EPOXY NON-ABRASIVE SURFACE TO SUPPORT FACE.
 - FAN BOLTED DIRECTLY TO NEW CONCRETE SLAB. MINIMUM SLAB SIZE SHALL 5' BY 4' AND 18 INCHES THICK. EXTENDING A MINIMUM OF 6 INCHES BEYOND FAN ON EACH SIDE AND 4 INCHES ABOVE GRADE.
 - OCF INLET PRESSURE GAUGE MOUNTED IN DUCT

1 HEADWORKS HVAC MODIFICATION LOWER PLAN
SCALE: 1/4" = 1'-0"

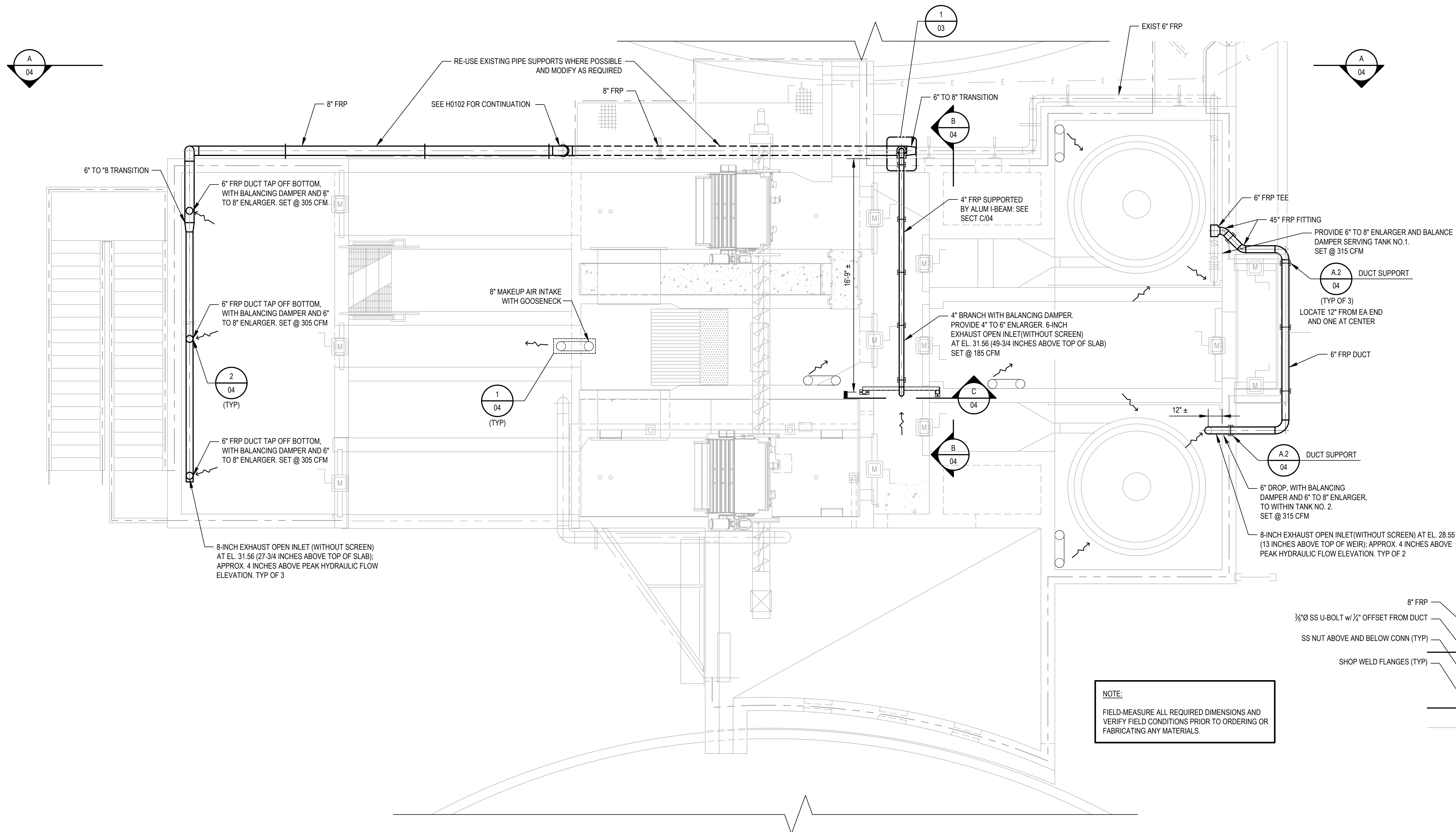
- GENERAL NOTES:**
- COMPLETE WORK IN ACCORDANCE WITH MISCELLANEOUS DETAILS ON H6002.
 - REFER TO THE STRUCTURAL AND ARCHITECTURAL DRAWINGS FOR EQUIPMENT INSTALLATION REQUIREMENTS AND DETAILS OF STRUCTURAL AND ARCHITECTURAL FINISHES.
 - PROVIDE PIPE SUPPORTS FOR THE FRP DUCT IN ACCORDANCE WITH THE SPECIFICATION SECTION 15140 AND THE MECHANICAL DRAWINGS.
 - ALL EQUIPMENT AND COMPONENTS INSTALLED IN THE PUMP ROOM, GRIT DEWATERING ROOM, AND AS PART OF THE ODOR CONTROL SYSTEM SHALL BE SUITABLE FOR INSTALLATION IN CLASS 1 DIV 1 GROUP D AREAS.



SUSSEX COUNTY, DELAWARE
SCRFW NO.3 AND RBWWTP CIP PHASE 2
UPGRADES
FIGURE RFP-071-02
HEADWORKS HVAC MODIFICATION
PLAN

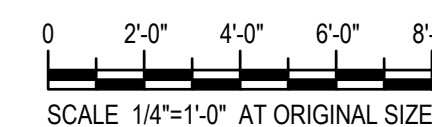
Project No. 11121182
Report No. RFP-071
Date 5/17/2022

RFP-071-02



1 HEADWORKS HVAC MODIFICATION UPPER PLAN
SCALE: 1/4" = 1'-0"

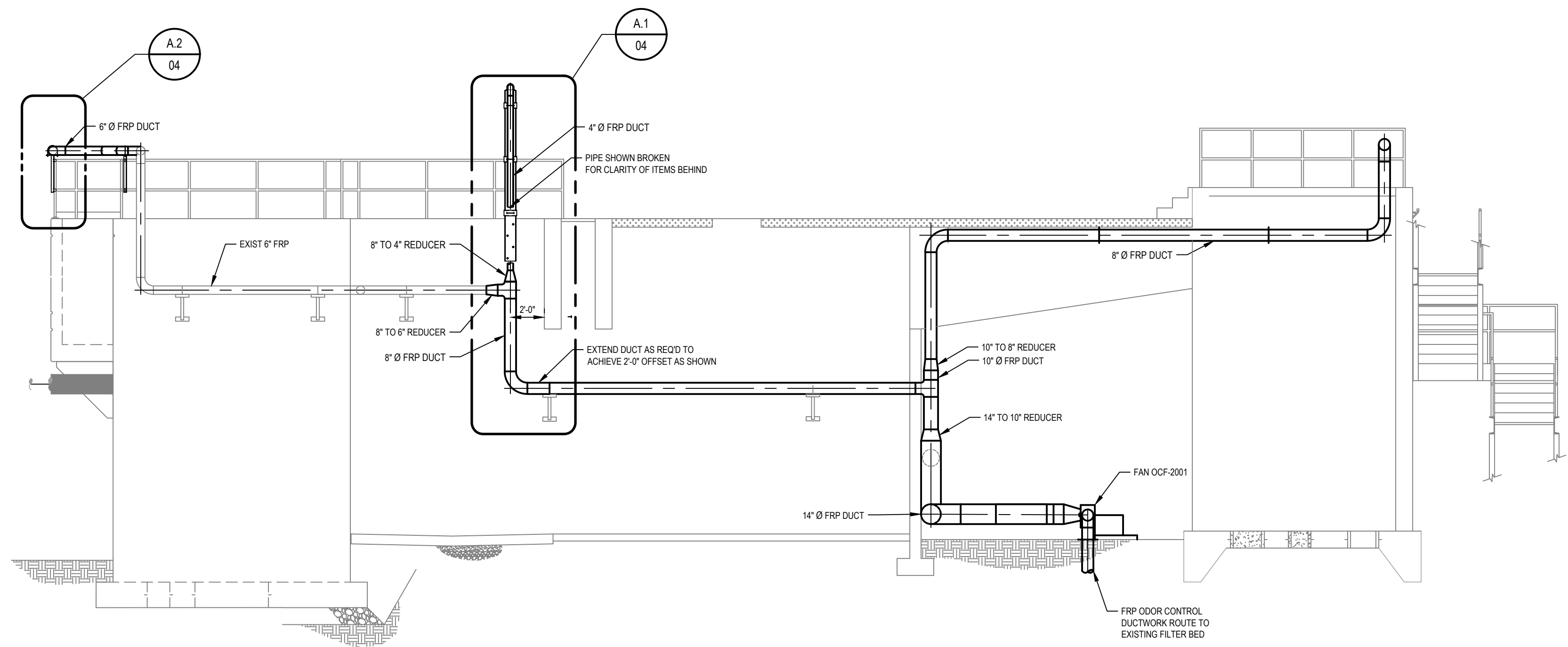
1 ENLARGED DUCT SUPPORT DETAIL
SCALE: 1 1/2" = 1'-0"



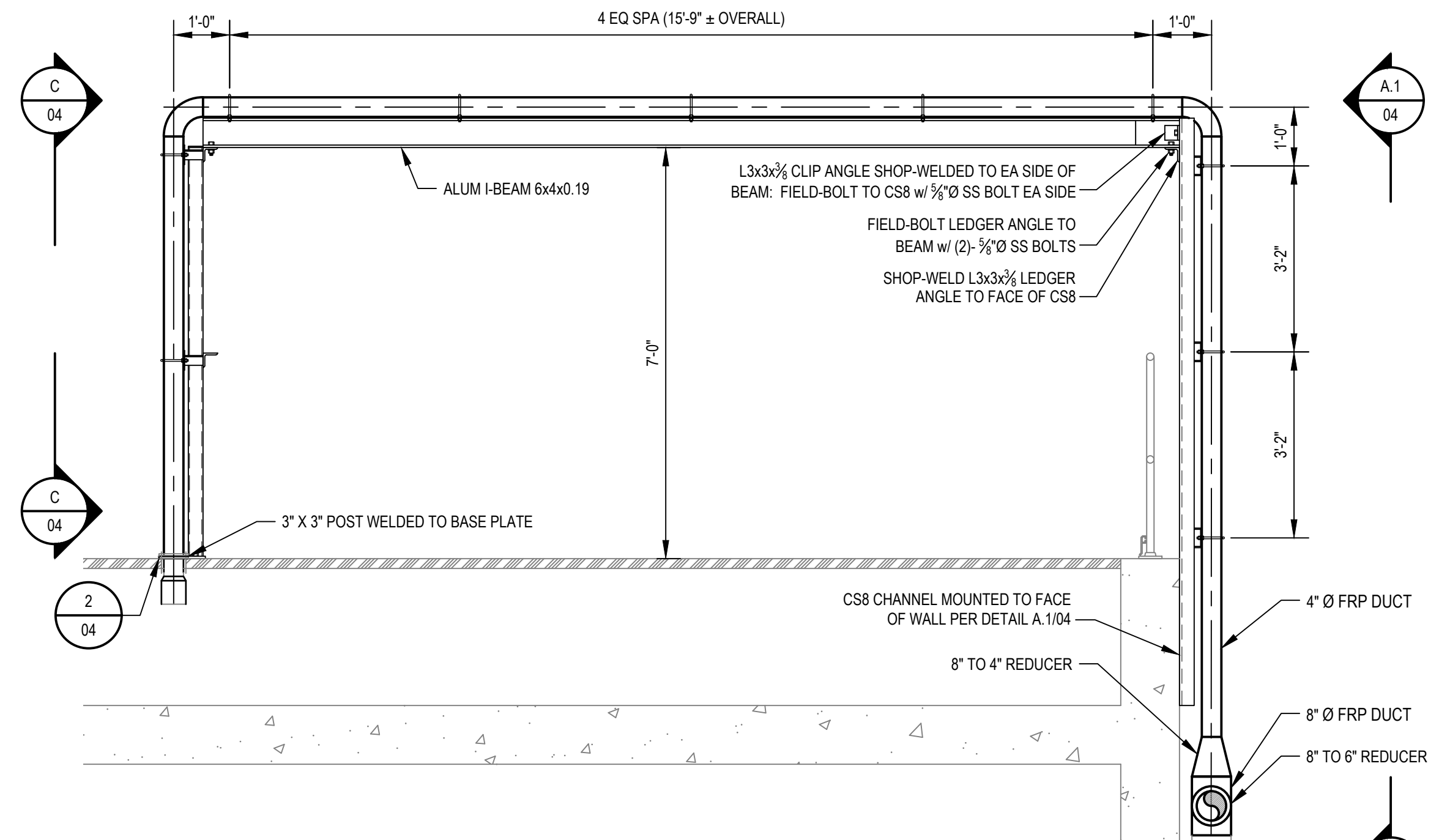
SUSSEX COUNTY, DELAWARE
SCWRP NO.3 AND RBWWTP CIP PHASE 2
UPGRADES
FIGURE RFP-071-03
HEADWORKS ODOR CONTROL
UPGRADES UPPER PLAN

Project No. 11121182
Report No. RFP-071
Date 5/17/2022

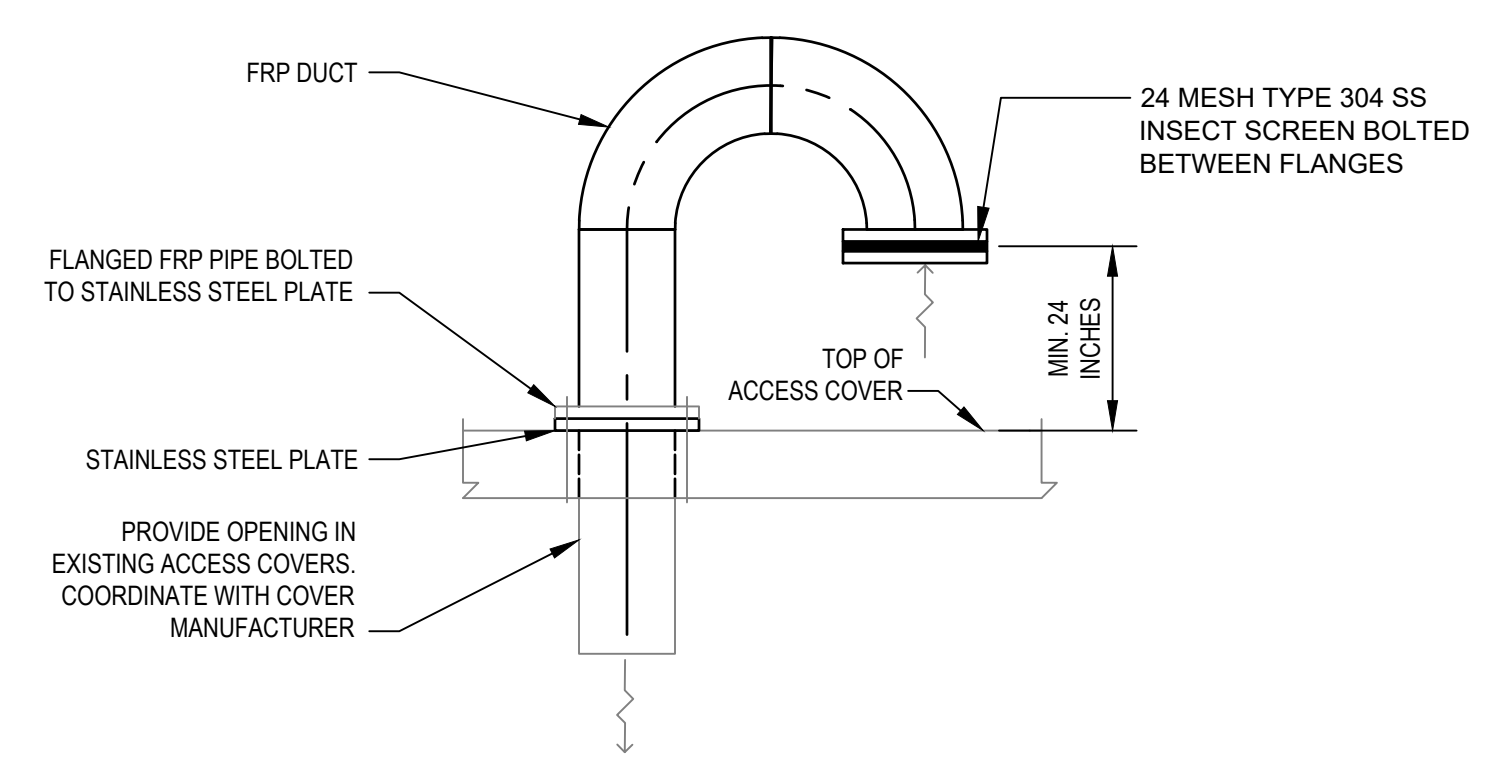
RFP-071-03



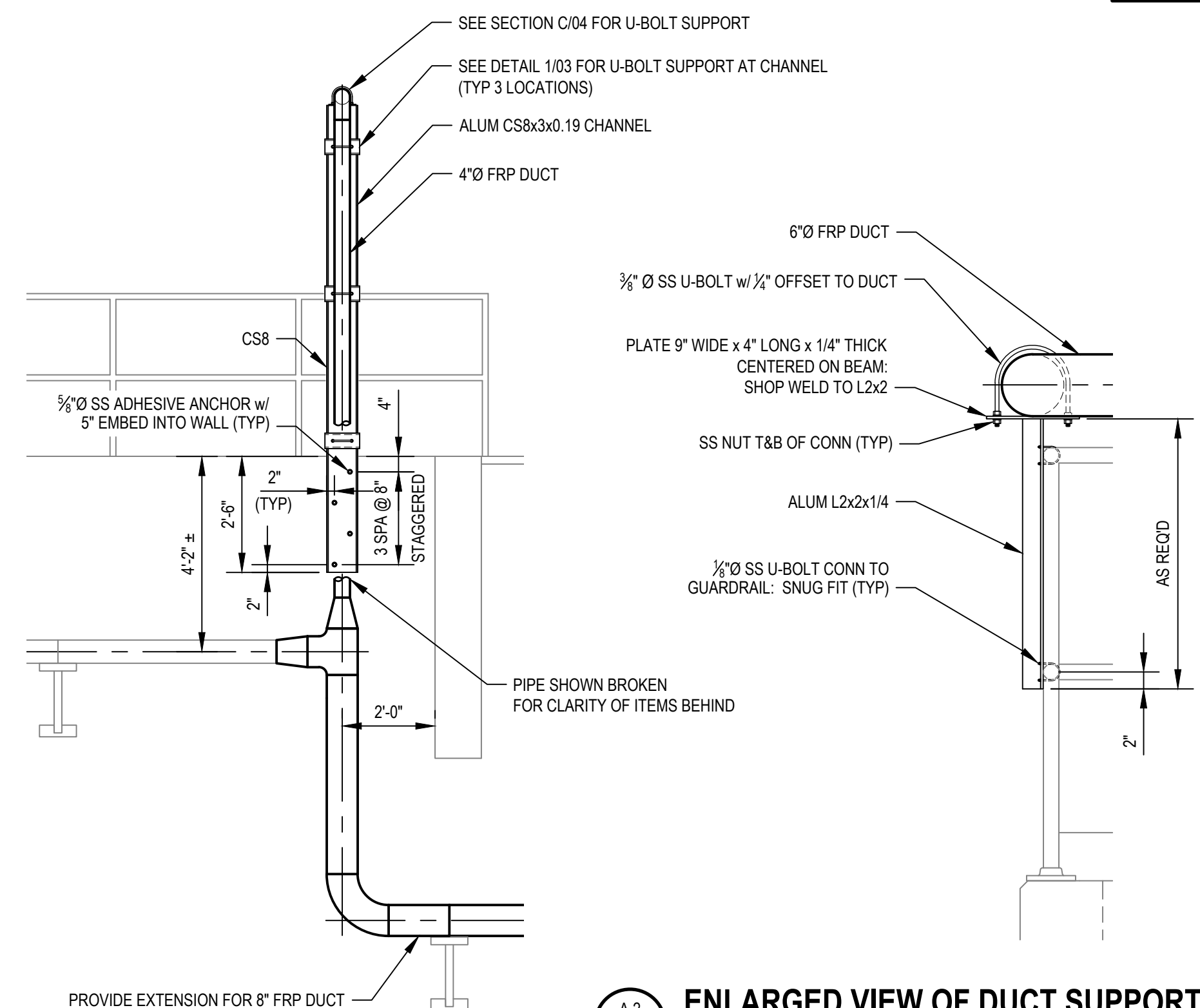
A HEADWORKS LONGITUDINAL SECTION
SCALE: 3/16" = 1'-0"



B HEADWORKS TRANSVERSE SECTION
SCALE: 1/2" = 1'-0"

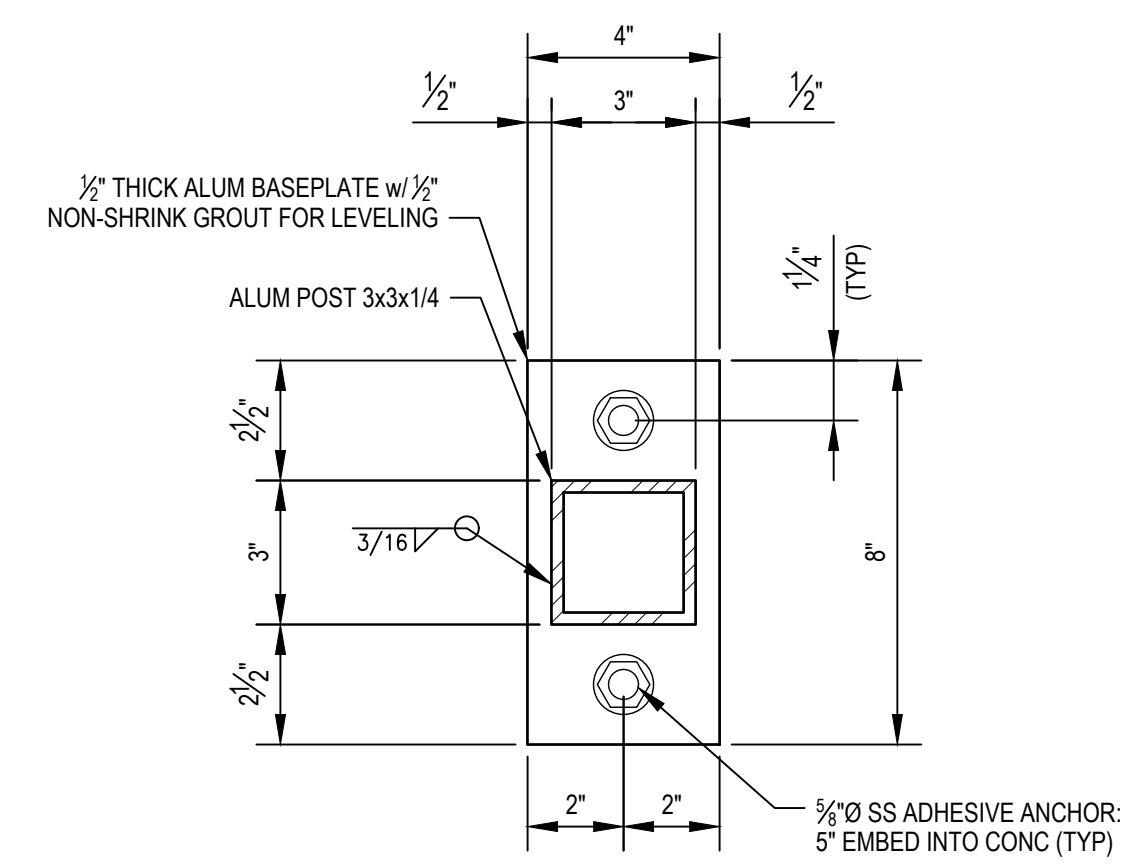


1 DETAIL - ODOR CONTROL MAKEUP AIR INTAKE GOOSENECK
SCALE: NTS

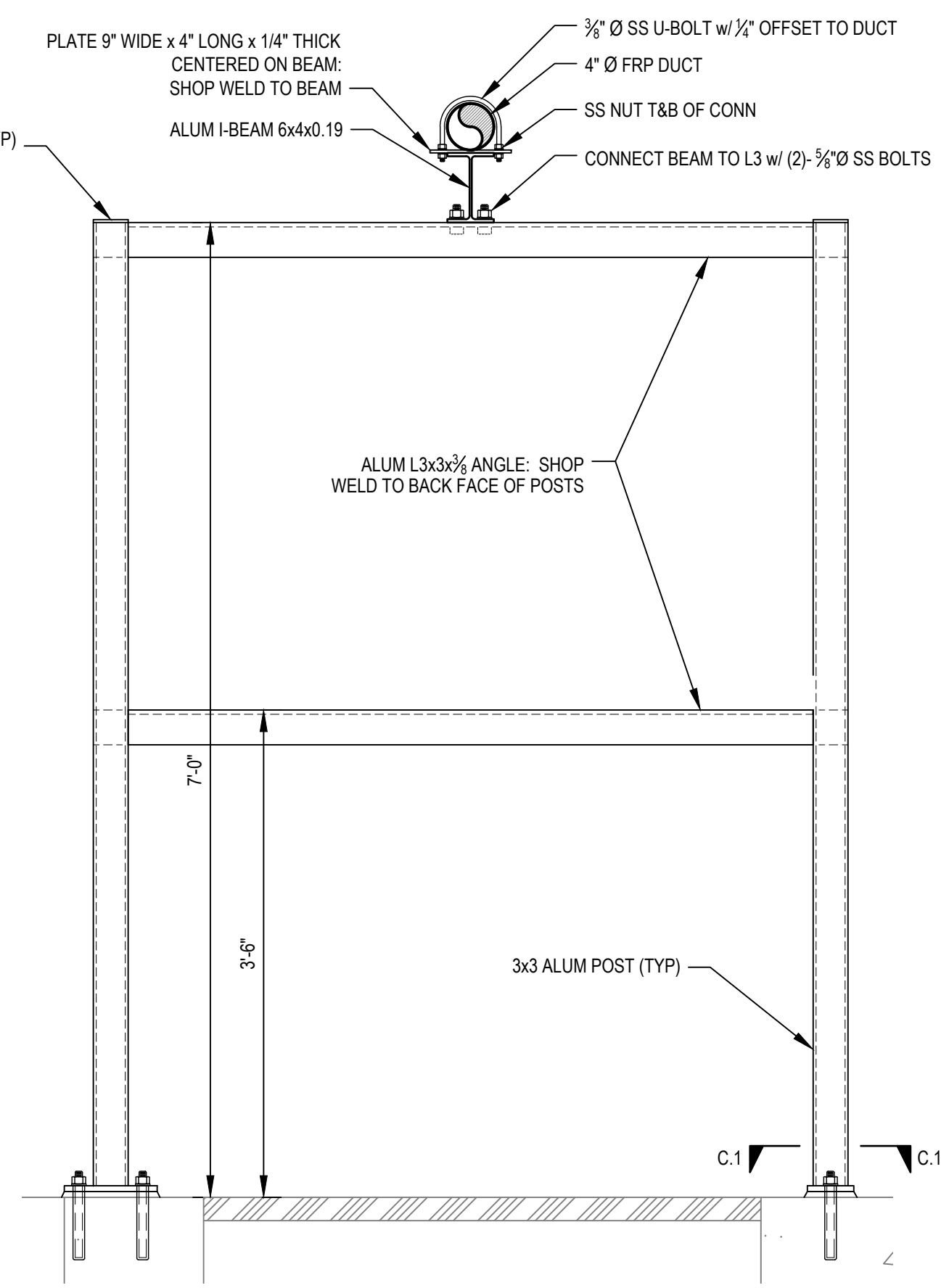


A.2 ENLARGED VIEW OF DUCT SUPPORT
SCALE: 1" = 1'-0"

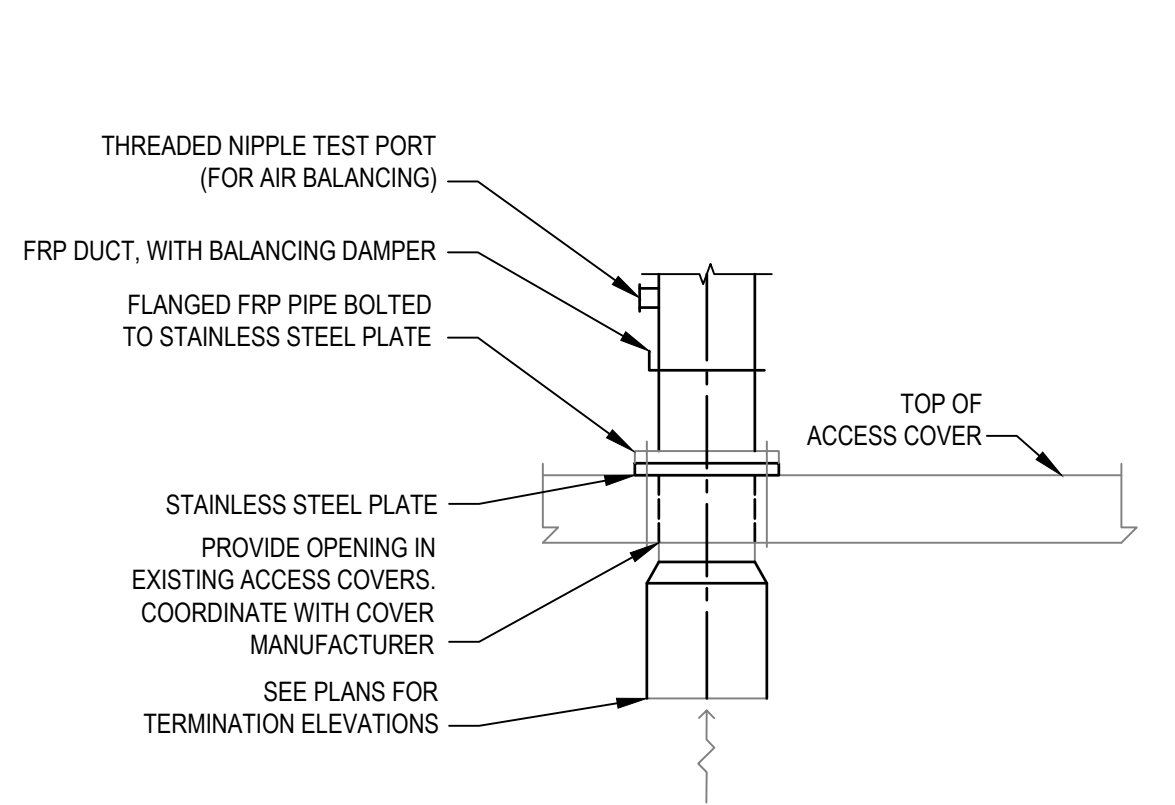
NOTE:
FIELD-MEASURE ALL REQUIRED DIMENSIONS AND VERIFY FIELD CONDITIONS PRIOR TO ORDERING OR FABRICATING ANY MATERIALS.



C.1 A-FRAME BASE PLATE DETAIL
SCALE: 3" = 1'-0"

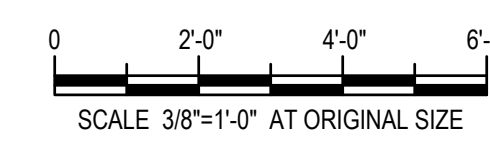
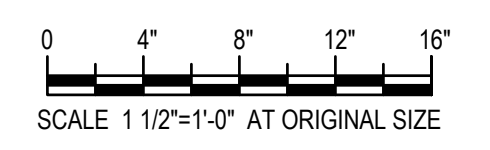
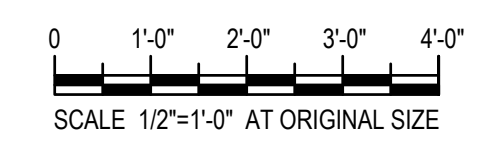
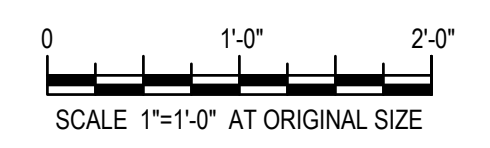
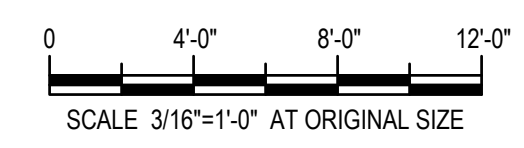


C A-FRAME SECTION
SCALE: 1" = 1'-0"



2 DETAIL - ODOR CONTROL EXHAUST AIR INLET
SCALE: NTS

A.1 ENLARGED VIEW OF DUCT SUPPORT
SCALE: 3/8" = 1'-0"



SUSSEX COUNTY, DELAWARE
SCWRP NO.3 AND RBWWTP CIP PHASE 2
UPGRADES
FIGURE RFP-071-04
HEADWORKS ODOR CONTROL
UPGRADES SECTIONS AND DETAILS

Project No. 11121182
Report No. RFP-071
Date 5/17/2022

RFP-071-04

6. Factors Affecting Time of Completion

7. Other (explain below):

C. BRIEF DESCRIPTION OF CHANGE ORDER:

Removal of off-site manufacturer course training in construction documents.

D. JUSTIFICATION FOR CHANGE ORDER INCLUDED?

Yes No

E. APPROVALS

1. B.W. Electric, Inc., Contractor

Signature Date

Representative's Name in Block Letters

2. Sussex County Engineer

Signature Date

3. Sussex County Council President

Signature Date



Field Order

Project Title	SCRWF Upgrade No. 3 & RBWWTP CIP Upgrade Phase 2		
Owner	Sussex County, Delaware		
Contract No.	C19-17: Electrical Construction	GHD Project No.	11121182
In accordance with Paragraph 11.01.A.3 of the General Conditions, Contractor is hereby notified of the following interpretations and/or clarifications of the Contract Documents and is directed to perform any associated minor variations to the Work as described herein.			
FO No.	038		
FO Subject	SCRWF PCS IO Dispersion Changes		
Issued By	D. Murray	Issue Date	May 4, 2022

Description of proposed changes:

Change PCS drawings as follows, wire I/O accordingly:

1. PCS-HW: Move Mechanical Screen No.3 Fault and High Level alarm points to Rack 1, Slot 6 so they are on a different input module than same alarms for Screen No.1.
2. PCS-BB1: Install a spare DO module in PCS-BB1. Move Aeration Blower Nos. 3 and 4 SSRV Isolation Contactor Close to different DO module from Blower Nos. 1, 2, and 3.
3. PCS-RSB2: Move SC-604 start/stop to Rack 1, Slot 8 so it is on a different output module than SC-603 start/stop.
4. PCS-RSB1 (5B): Add tag numbers to 4 floats on DI-01. Identify them all as High level floats.
5. PCS-RSC1 (5B) Change description on Rack 1 Slot 8 for FIT-1120 to match description on Rack 2, Slot 4 (There is no WAS Pump).



Request for Proposal

Project Title	SCRWF Upgrade No. 3 & RBWWTP CIP Upgrade Phase 2		
Owner	Sussex County, Delaware		
Contract No.	C19-17: Electrical Construction	GHD Project No.	11121182
Contractor is requested to provide a Change Proposal for the following proposed modifications to the Work. This request alone neither directs nor approves any change to the Work nor any adjustments to the Contract Price or Contract Times. Contractor's proposal shall be submitted to Engineer for review and shall adhere to all requirements of the Contract Documents. If found acceptable to Owner and Engineer, Contractor's Change Proposal will be incorporated into the Work via Change Order.			
RFP No.	074		
RFP Subject	PLC Training		
Issued By	S. Clark	Issue Date	Jul. 26, 2022

Description of proposed changes:

Provide a credit proposal to remove from scope the Off-Site Manufacturer Course Training specified in Section 17100-3.12-D.



15342 S. DuPont Hwy
Harrington DE 19952

Office: 302.566.6248
Fax: 302.566.6251

Bryon Warren
President
302-270-5719

Email(s):
office@bwelectricinc.com
estimates@bwelectricinc.com

September 26, 2022

Subject: SCRWF Upgrade No. 3 & RBWWTP CIP Upgrade Phase 2 RFP No. 74

Dear Mr. Medlarz,

Our price to perform the electrical work associated with the above project is based on RFP No. 74. Our price does not include the use of Prevailing Wages. Our price is a **credit of \$17,758.13** and includes the following:

Description of proposed changes:

Provide a credit proposal to remove from scope the Off-Site Manufacturer Course Training specified in Section 17100-3.12-D.

Exclusions

1. No permit fees.
2. No cutting.
3. No patching or painting.
4. No liquidated damages.

This price is good for thirty (30) days only.

Sincerely,

Jason R. Walters
B. W. Electric, Inc.
Superintendent
JRW/



Micro-Tech Designs, Inc.

4312 Black Rock Rd., Suite 1
Hampstead, MD 21074-2641
Phone (410) 239-2885
Fax (410) 239-3736

Credit

We're In Control

July 26, 2022

Mr. Jason Walters
BW Electric, Inc.
15342 S. DuPont Highway
Harrington, DE 19952
(302) 566-6248
fax:

Re.: SCRWF Upgrade No.3 & RBWWTP Beach

Dear Mr. Walters,

We are pleased to provide a credit on the following scope of work for the above project:

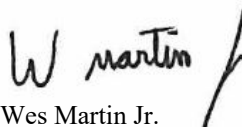
Off-Site PLC Training

Lot Credit \$15,000.00+ tax if applicable

The above quotation is valid for 30 days

If there are any questions concerning the above, please contact me. I look forward to working with you and your staff on this and future projects.

Sincerely,
Micro-Tech Designs, Inc.


Wes Martin Jr.

South Coastal RWF & Rehoboth Beach WTF Upgrade

10/7/2022

Vendor/Contract	Description	Contract Value
Michael F. Ronca & Sons, Inc.	SCRWF/RBWWTP General Construction	43,210,135.94
BW Electric Inc.	SCRWF/RBWWTP Electrical Construction	22,272,783.31
BW Electric Inc. CO#3	DP&L Service Entrance Modification Conduit System	235,637.33
BW P.O.	Soil Screening @ Rehoboth Plant	4,504.50
City of Rehoboth	Direct Payment for repairs to piping in oxidation ditches	324,996.81
GHD	Amd 11 - SCRWF Expansion to 10mgd - Planning & Concept	241,938.68
	Amd 12 - SCRWF Expansion Construction Docs	2,240,280.73
	Amd 13 - Value Engineering	95,080.15
	Amd 14 - Rehoboth WTP Capital Improvement Program Upgrade Phase 2/Joint Project with SCRWF Expansion	398,410.63
	Amd 16 - Ocean Outfall Discharge Modeling & Wetlands Delineation for SCRWF and Add'l Design Services for Rehoboth WTP Capital Improvement Program	181,089.72
	Amd 18 - RBWTP CIP Upgrade Phase 2 - Add'l Design	172,153.01
	Amd 19 - SCRWF Upgrade 3 Add'l Design	108,073.71
	Amd 20 - SCRWF Upgrade 3/RBWTP Upgrade Phase 2 Construction Engineering	6,589,558.49
Core & Main	Influent FM Consolidation Materials	339,944.59
Core & Main	Effluent FM Pipeline Materials	227,603.39
Delmarva Power	Improve service entrances for both projects. Payment not distributed.	175,000.00
G&L	FM Consolidation & Influent Consolidation Phase II	973,229.04
G&L Work- Effluent Relocation		316,635.20
G&L Work - RB Treatment Plant	Parking Lot Repavement	
Kershner Environmental Technologies	Belt Press	295,000.00
Melvin Joseph	Material Screening	80,000.00
DSWA	Loading, Hauling & Disposal of Debris	33,000.00
	Hauling of Rehoboth Oxidation Ditch Remnants	39,663.15
Totals		78,554,718.38

Green
9.26 yes

Council Grant Form

Legal Name of Agency/Organization	Milton Arts Guild Inc. ✓
Project Name	expansion project
Federal Tax ID	47-1347841 ✓
Non-Profit	Yes
Does your organization or its parent organization have a religious affiliation? (If yes, fill out Section 3B.)	No
Organization's Mission	<p>Our Mission</p> <p>Milton Arts Guild, located in historic downtown Milton, Delaware, celebrates creativity in all forms of visual arts by engaging the community through an array of educational opportunities, events, exhibits and benevolent programs. Fueled by its volunteer members and supported by a large and diverse community locally and beyond, Milton Arts Guild welcomes everyone to explore the power of art and to inspire them in their own creativity.</p> <p>Our Purpose</p> <p>To promote and support fine arts for all ages through exhibits, workshops, lectures and networking.</p> <p>To encourage collaboration and outreach with other arts organizations and local and surrounding communities.</p> <p>To ensure our programs and exhibits are accessible to all.</p>
Address	107 Federal St.

Address 2

City Milton

State Delaware

Zip Code 19968

Contact Person Sue Dutton

Contact Title

Contact Phone Number 302-745-0260

Contact Email Address miltonartsguild310@gmail.com

Total Funding Request 5000

Has your organization received other grant funds from Sussex County Government in the last year? No

If YES, how much was received in the last 12 months? N/A

Are you seeking other sources of funding other than Sussex County Council? Yes

If YES, approximately what percentage of the project's funding does the Council grant represent?

5

Program Category (choose all that apply)

Cultural, Educational

Program Category Other

Primary Beneficiary Category

Elderly Persons (62 +)

Beneficiary Category Other

Approximately the total number of Sussex County Beneficiaries served, or expected to be served, annually by this program

400

Scope

Milton Arts Guild is trying to expand and to take on the storefront next to our current location to meet the need for classroom space. This will result in an increase in funding needed for rent, utilities, and move-in expenses which will include some construction in the space to make it work for our needs. Currently our members and the community have to shuffle to another location for classes This is very confusing and difficult for some of our more elderly participants as our primary location is on Federal Street in Milton. We also hope to be able to provide some meeting

space for some of the other non-profits in the town. We are seeking funding to help with the rent and configuration of the space as we look to make this move. We are seeking financial aid that will help us to supplement the income we anticipate from the classes to be held in the new space. While we have asked for \$5000. we would welcome any consideration of our project. Thanking you in advance...

**Religious
Components**

**Please enter the
current support your
organization receives
for this project (not
entire organization
revenue if not
applicable to request)** 0.00

Description operating costs - rent, utilities, insurance, equipment

Amount 26,000.00

Description construction on new space (door, plumbing, cabinets)

Amount 8,000.00

Description

Amount 0.00

Description

Amount 0.00

Description

Amount

Description

Amount

Description

Amount

Description

Amount

TOTAL EXPENDITURES 34,000.00

**TOTAL DEFICIT FOR
PROJECT OR
ORGANIZATION** -34,000.00

Name of Organization Milton Arts Guild Inc.

**Applicant/Authorized
Official** Sue Dutton

Date 09/21/2022

Affidavit Yes

Acknowledgement

If you feel this is not a valid submission please log into D3Forms to update this submissions status.
Please feel free to email clientservices@d3corp.com with any questions.

Green.
9.26 yes.

Council Grant Form

**Legal Name of
Agency/Organization**

Milton Historical Society ✓

Project Name

Financial System Upgrade to Cloud-Based Clover POS
System

Federal Tax ID

23-7158119 ✓

Non-Profit

Yes

**Does your
organization or its
parent organization
have a religious
affiliation? (If yes, fill
out Section 3B.)**

No

Organization's Mission

The Milton Historical Society is a nonprofit cultural and educational organization dedicated to increasing public understanding and appreciation of the history of Milton and the Broadkill Hundred. The Society collects, preserves, and interprets stories, artifacts and documents related to Milton and the Broadkill Hundred for study and education. We welcome the participation of people of all ages in sharing informative and engaging experiences that will encourage them to discover and appreciate their heritage.

Address

210 Union St.

Address 2

City

Milton

State

DE

Zip Code	19968
Contact Person	Kimberley Ann Kardelis
Contact Title	Executive Director
Contact Phone Number	3026841010
Contact Email Address	director@historicmilton.org
Total Funding Request	\$2,000.00
Has your organization received other grant funds from Sussex County Government in the last year?	No
If YES, how much was received in the last 12 months?	N/A
Are you seeking other sources of funding other than Sussex County Council?	No
If YES, approximately what percentage of the project's funding does the Council grant represent?	N/A
Program Category (choose all that apply)	Cultural, Educational

Program Category
Other

Primary Beneficiary Category Other

Beneficiary Category All Milton Community Members
Other

Approximately the total number of Sussex County Beneficiaries served, or expected to be served, annually by this program 2000

Scope

The Milton Historical Society, like many other historical societies in the region, is always looking for revenue streams that help to make us self-sustaining. After COVID-19, we, like many 501(c)(3)'s, found ourselves in a position of having to reorganize and rebuild. We embraced the challenge in 2022. One of the ways we met the challenge of rebuilding resources is to redesign our gift shop, housed in our museum, the Lydia B. Cannon Museum. We have purchased and received donated inventory, developed new inventory procedures, brought on a new volunteer gift shop manager, a new part-time Program Director with a great deal of brick-and-mortar and online retail experience, and instituted cloud-based financial practices.

To date, our sales procedures have been recorded and calculated the good old fashioned way of keeping a written sales log and use of a digital cash register. We would then reconcile sales with the log, the credit card report and the register receipt. It worked, but as we have moved to re-imagine our gift shop with the goal of a new image and branding,

increased community presence, an increased and diversified offering of gifts for members, volunteers and visitors alike, we need to update our retail systems, including our register system. Our board finance committee has updated policies and procedures and we are now ready for the final phase of updating our register system. We would like to purchase a Clover® Station Duo. We chose Clover because our local branch of M & T Bank supports the use of Clover.

Clover is a retail POS system that is cloud-based. It is an all-in-one retail system with tools to manage both our physical and online stores and syncs directly with our bank. Clover® Station Duo is a customizable and powerful point-of-sale (POS) and business management system with a fixed, 14-inch, high-resolution merchant-facing screen, a merchant receipt printer, and a dedicated 7-inch customer-facing display. It includes access to all of Clover's software. Through its customer-facing display screen, Clover Station Duo features fully-integrated payment acceptance capabilities, including debit cards, credit cards, EMV chip cards, and NFC contactless payment options. This version provides connectivity through wi-fi or ethernet only (no LTE). The Clover Station Duo bundle includes a receipt printer, a starter kit, and a cash drawer.

The Clover Station Duo system would provide us with the tools we need to offer our customers a pleasant and easy buying experience as they help support the Milton Historical Society and our museum. We will be able to manage our inventory and create reports that give us insights on item sales and cost to better serve our members, visitors and the community at large. Increased sales provides our members, visitors and the community at large with a place to purchase beautiful, unique gifts that we offer directly or through consignment with local merchants as well as historical offerings that are uniquely Milton. Increased sales also helps us increase other program offerings to our community as well as partner with other community organizations in Milton. Obtaining the Clover

system will help us to strengthen the viability of our historical society, which in turn sustains the viability of the museum and preserving the history of our beautiful town.

Religious Components

Please enter the current support your organization receives for this project (not entire organization revenue if not applicable to request) 0.00

Description Station Duo - 14" merchant-facing POS with 7" customer screen

Amount 1,800.00

Description Director Salary for 5.7 hrs. of Training Staff & Volunteers @ \$35.00/hr.

Amount 200.00

Description

Amount

Description

Amount

Description

Amount

Description

Amount

Description

Amount

Description

Amount

TOTAL EXPENDITURES 2,000.00

TOTAL DEFICIT FOR PROJECT OR ORGANIZATION -2,000.00

Name of Organization Milton Historical Society

Applicant/Authorized Official Kimberley Ann Kardelis

Date 09/20/2022

Affidavit Yes

Acknowledgement

If you feel this is not a valid submission please log into D3Forms to update this submissions status.
Please feel free to email clientservices@d3corp.com with any questions.

Schaeffer
Yes. 9.21.

Council Grant Form

Legal Name of Agency/Organization	Clear Space Theatre Company ✓
Project Name	Clear Space 2023 Spring Productions
Federal Tax ID	20-1712916 ✓
Non-Profit	Yes
Does your organization or its parent organization have a religious affiliation? (If yes, fill out Section 3B.)	No
Organization's Mission	Our Mission: To inspire audiences, artists, and students by providing high-quality performances and educational experiences.
Address	20 Baltimore Ave
Address 2	
City	Rehoboth Beach
State	DE
Zip Code	19971
Contact Person	Stephanie Hudson Whitcomb
Contact Title	Director of Development and Outreach

Contact Phone Number 302.227.2270

Contact Email Address Stephanie@ClearSpaceTheatre.org

Total Funding Request \$2,500

Has your organization received other grant funds from Sussex County Government in the last year? No

If YES, how much was received in the last 12 months? N/A

Are you seeking other sources of funding other than Sussex County Council? Yes

If YES, approximately what percentage of the project's funding does the Council grant represent? 1

Program Category (choose all that apply) Cultural

Program Category Other

Primary Beneficiary Category Other

Beneficiary Category
Other

Approximately the total number of Sussex County Beneficiaries served, or expected to be served, annually by this program 5000

Scope We are requesting \$2,500 to help with production costs of the 13 productions in the 2023 Season. Production costs include license fees, artists fees, sets, costumes, light and sound design, and more. The \$2,500 would specifically cover the costs of costumes for the spring play and two musicals. Providing high quality live theatre is needed to have a a thriving community. One small way to have a great theatre is to make sure the productions are well received, and costumes make a large impact on the patrons.

Religious Components

Please enter the current support your organization receives for this project (not entire organization revenue if not applicable to request) 192.00

Description Costume Supplies

Amount 14,150.00

Description

Amount

Description

Amount

Description

Amount

Description

Amount

Description

Amount

Description

Amount

Description

Amount

TOTAL EXPENDITURES 14,150.00

**TOTAL DEFICIT FOR
PROJECT OR
ORGANIZATION** -13,958.00

Name of Organization Clear Space Theatre Company

Applicant/Authorized Official Stephanie Whitcomb

Date 09/19/2022

Affidavit Yes

Acknowledgement

If you feel this is not a valid submission please log into D3Forms to update this submissions status.
Please feel free to email clientservices@d3corp.com with any questions.

Schaeffer
Yes. 10/3

Council Grant Form

Legal Name of Agency/Organization	Children's Beach House, Inc. ✓
Project Name	Youth Development Program ✓
Federal Tax ID	51-0070966
Non-Profit	Yes
Does your organization or its parent organization have a religious affiliation? (If yes, fill out Section 3B.)	No
Organization's Mission	The mission of Children's Beach House is to improve the lives of children, youth, families, and communities by helping them to identify, understand, and utilize their own strengths, talents, and resources.
Address	1800 Bay Ave
Address 2	
City	Lewes
State	DE
Zip Code	19958
Contact Person	Barry Goodinson
Contact Title	Director of Strategic Planning & External Relations

Contact Phone Number 7036064948

Contact Email Address bgoodinson@cbhinc.org

Total Funding Request 10,000

Has your organization received other grant funds from Sussex County Government in the last year? Yes

If YES, how much was received in the last 12 months? 2000

Are you seeking other sources of funding other than Sussex County Council? Yes

If YES, approximately what percentage of the project's funding does the Council grant represent? 7

Program Category (choose all that apply) Educational, Health and Human Services

Program Category Other

Primary Beneficiary Category Youth

Beneficiary Category Other

Approximately the total number of Sussex County Beneficiaries served, or expected to be served, annually by this program 130

Scope

CBH's Youth Development Program (YDP) serves children, ages 7-18, with cognitive, academic, social, and interpersonal challenges that are caused by speech or language delays and auditory processing issues. It is generally felt that environmental conditions, such as poverty, limited parental education and parental history of speech, language, and/or learning problems account for most speech and language impairments (SLIs) with no known underlying biological cause. As a result, higher concentrations of SLIs can be found among poorer populations. Because of the higher rate of SLIs among poorer children, CBH gives preference to children living in poverty. As such, all (100%) of the children enrolled in the Youth Development Program are considered poor (i.e., receive free or reduced school lunches).

CBH's Youth Development Program is a three-pronged integrated program, designed to support the cognitive, academic, social, and interpersonal development of children with speech or language delays and auditory processing issues. The program consists of: 1) year-round case management, 2) summer camp programs, and 3) school-year weekend enrichment programs.

Each child admitted to CBH for services is assigned a Family Engagement Coordinator (FEC) who is responsible for identifying unmet needs, accessing and coordinating services, advocating on their behalf, and accompanying the child and/or family at important meetings with other care providers and educators. The objective is to create a nexus around which CBH develops a resource-rich constellation of services and relationships that meet each child's social, developmental, emotional, academic and other needs. Toward that end, FECs reach out to each family minimally two times each month. At least one of these meetings is held in-person. This two-meeting-per-month requirement is established to create a starting point and a framework upon which to build more substantive and frequent support and interactions. During their interaction with children and their families, and depending upon the family circumstances and changing needs, FECs may be called upon to:

- Secure financial support to restore utility service, or prevent its termination
- Arrange or provide transportation to needed services
- Provide groceries and clothing
- Secure Holiday food baskets and gifts
- Provide school supplies and personal hygiene products

The ability to successfully meet these needs is critical to the immediate health, safety and security of these children and families; it is also an important tool to help establish and strengthen trust between the children and Family Engagement Coordinators, which will make it easier for the children to trust their suggestions when discussing more long-term strategies toward life stabilization.

Religious Components

Please enter the current support your organization receives for this project (not entire organization revenue if not applicable to request) 1,306,967.00

Description Salaries

Amount 725,655.00

Description Benefits

Amount 134,651.00

Description Professional Fees & Services

Amount 59,525.00

Description Program Food/Supplies, Telephone, Postage

Amount 125,650.00

Description Occupancy/Maintenance

Amount 124,200.00

Description Other Supplies, telephone, postage

Amount 34,946.00

Description Equipment rental

Amount 6,090.00

Description	Transportation
Amount	96,250.00
TOTAL EXPENDITURES	1,306,967.00
TOTAL DEFICIT FOR PROJECT OR ORGANIZATION	0.00
Name of Organization	Children's Beach House, Inc.
Applicant/Authorized Official	Barry Goodinson
Date	09/28/2022
Affidavit Acknowledgement	Yes

If you feel this is not a valid submission please log into D3Forms to update this submissions status.
Please feel free to email clientservices@d3corp.com with any questions.

Schaeffer
Yes. 10/3.

Pub 78
PC
501(c)3

From: notifications=d3forms.com@mg.d3forms.com on behalf of Sussex County DE
To: Bobbi Albright
Subject: Form submission from: Council Grant Form
Date: Thursday, September 29, 2022 10:39:26 AM

No returns

CAUTION: This email originated from outside of the organization. Do not click links, open attachments, or reply unless you recognize the sender and know the content is safe. Contact the IT Helpdesk if you need assistance.

Council Grant Form

No previous grants

Legal Name of Agency/Organization Family Promise of Southern Delaware ✓

Project Name Eviction Prevention

Federal Tax ID 84-3797847 ✓

Non-Profit Yes

Does your organization or its parent organization have a religious affiliation? (If yes, fill out Section 3B.) No

Organization's Mission Our mission is to help families experiencing homelessness and low-income families achieve sustainable independence through a community-based response.

Address 133 Kings Highway

Address
2

City	Lewes
State	Delaware
Zip Code	19958
Contact Person	Carolyn Kelly
Contact Title	Executive Director
Contact Phone Number	302-703-9266
Contact Email Address	carolyn.kelly@familypromisesouthernde.org
Total Funding Request	\$20,000
Has your organization received other grant funds from Sussex County Government in the last year?	No
If YES, how much was received in the	N/A

last 12 months?

Are you seeking other sources of funding other than Sussex County Council?

Yes

If YES, approximately what percentage of the project's funding does the Council grant represent?

9

Program Category (choose all that apply)

Fair Housing, Health and Human Services, Other

Program Category Other

Homeless Services and Eviction Prevention

Primary Beneficiary Category

Homeless

Beneficiary Category Other

**Approximately
the total
number of
Sussex
County
Beneficiaries
served, or
expected to
be served,
annually by
this program**

125

Scope

Family Promise of Southern Delaware (FPSDE) provides financial assistance and support to families in Sussex County in housing distress. The number of families entering homelessness in Delaware has risen exponentially. The Point in Time count for 2022 indicated there are 389 families who were homeless, representing a 300% increase since 2020. Further, it is estimated that for the 21-22 school year, there are 859 homeless children enrolled in Sussex County schools alone. This represents an increase of 180 children in just one year. (Education for Homeless Children and Youth, 2022). This number does not account for children not yet in school, or children who are not currently enrolled. FPSDE recognizes that the lack of affordable housing in the County, coupled with the devastating effects of homelessness necessitates that we assist families before they become homeless. Through our Eviction Prevention program, we are able to assist families BEFORE they enter homelessness. FPSDE helps to address their immediate need for financial assistance to stop the eviction proceedings, followed by providing the supports of a case manager to address any issues or concerns that lead to the eviction in the first place. FPSDE utilizes curriculum developments by the National

Family Promise for budgeting and being a good tenant as needed and appropriate. Funds granted would be utilized to support the salary of a Case Manager who will act as the advocate, and support for families while assessing needed resources and making connections to keep families safely housed.

Religious Components

Please enter the current support your organization receives for this project (not entire organization revenue if not applicable to request)

194,700.00

Description

Personnel

Amount

150,000.00

Description

Contract Services

Amount

10,920.00

Description

Other Expenses (insurance, bank fees, advertising, staff dev. travel)

Amount

8,900.00

Description

Direct Program Services (Eviction Prevention)

Amount 50,000.00

Description

Amount

Description

Amount

Description

Amount

Description

Amount

TOTAL 219,820.00
EXPENDITURES

TOTAL DEFICIT -25,120.00
FOR PROJECT
OR
ORGANIZATION

Name of Family Promise of Southern Delaware
Organization

Applicant/Authorized Carolyn Kelly
Official

Date 09/29/2022

Affidavit Yes
Acknowledgement

If you feel this is not a valid submission please log into D3Forms to update this submissions status.
Please feel free to email clientservices@d3corp.com with any questions.

To Be Introduced: 10/11/22

Council District 3: Mr. Schaeffer

Tax I.D. Nos.: 234-24.00-38.00 (portion of) (F.K.A 234-24.00-39.02 & 39.06)

911 Address: 25491 Dogwood Lane, Millsboro

ORDINANCE NO. ____

AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR AN AMENDMENT OF CONDITION “N” OF THE CONDITIONS OF APPROVAL IN ORDINANCE NO. 2766 (CONDITIONAL USE NO. 2201) RELATING TO THE SALE OF CAMPSITES WITHIN A CAMPGROUND/RV PARK TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN INDIAN RIVER HUNDRED, SUSSEX COUNTY, CONTAINING 8.0 ACRES, MORE OR LESS.

WHEREAS, on the 22nd day of November 2021, a conditional use application, denominated Conditional Use No. 2326 was filed on behalf of Sun Leisure Point Resort, LLC; and

WHEREAS, on the ____ day of _____ 2022, a public hearing was held, after notice, before the Planning and Zoning Commission of Sussex County and said Planning and Zoning Commission recommended that Conditional Use No. 2326 be _____; and

WHEREAS, on the ____ day of _____ 2022, a public hearing was held, after notice, before the County Council of Sussex County and the County Council of Sussex County determined, based on the findings of facts, that said conditional use is in accordance with the Comprehensive Development Plan and promotes the health, safety, morals, convenience, order, prosperity and welfare of the present and future inhabitants of Sussex County, and that the conditional use is for the general convenience and welfare of the inhabitants of Sussex County.

NOW, THEREFORE, THE COUNTY OF SUSSEX HEREBY ORDAINS:

Section 1. That Chapter 115, Article IV, Subsection 115-22, Code of Sussex County, be amended by adding the designation of Conditional Use No. 2326 as it applies to the property hereinafter described.

Section 2. The subject property is described as follows:

ALL that certain tract, piece or parcel of land, lying and being situate in Indian River Hundred, Sussex County, Delaware, and lying on south side of Dogwood Lane, approximately 305 feet south of Radie Kay Lane, approximately 0.29 mile northeast of Long Neck Road (Rt. 23) and being more particularly described in the attached legal description prepared by Morris, Nichols, Arsht & Tunnell LLP, said parcel containing 8.0 acres, more or less.

This Ordinance shall take effect immediately upon its adoption by majority vote of all members of the County Council of Sussex County, Delaware.

To Be Reintroduced: 10/11/22

Council District 3: Mr. Schaeffer
Tax I.D. No.: 234-6.00-6.02 (part of)
911 Address: 19464 Beaver Dam Road, Lewes

ORDINANCE NO. ____

AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR MULTI-FAMILY (2 UNITS) TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN INDIAN RIVER HUNDRED, SUSSEX COUNTY, CONTAINING 4.79 ACRES, MORE OR LESS

WHEREAS, on the 11th day of February 2022, a conditional use application, denominated Conditional Use No. 2350 was filed on behalf of Beaver Dam Enterprises, LLC; and

WHEREAS, on the ____ day of _____ 2022, a public hearing was held, after notice, before the Planning and Zoning Commission of Sussex County and said Planning and Zoning Commission recommended that Conditional Use No. 2350 be _____; and

WHEREAS, on the ____ day of _____ 2022, a public hearing was held, after notice, before the County Council of Sussex County and the County Council of Sussex County determined, based on the findings of facts, that said conditional use is in accordance with the Comprehensive Development Plan and promotes the health, safety, morals, convenience, order, prosperity and welfare of the present and future inhabitants of Sussex County, and that the conditional use is for the general convenience and welfare of the inhabitants of Sussex County.

NOW, THEREFORE, THE COUNTY OF SUSSEX HEREBY ORDAINS:

Section 1. That Chapter 115, Article IV, Subsection 115-22, Code of Sussex County, be amended by adding the designation of Conditional Use No. 2350 as it applies to the property hereinafter described.

Section 2. The subject property is described as follows:

ALL that certain tract, piece or parcel of land, lying and being situate in Indian River Hundred, Sussex County, Delaware, and lying on west side of Beaver Dam Road (Rt. 23), approximately 0.50 mile north of Hopkins Road (S.C.R. 286), and being more particularly described in the attached legal description prepared by Hudson, Jones, Jaywork & Fisher, said parcel containing 4.79 acres, more or less.

This Ordinance shall take effect immediately upon its adoption by majority vote of all members of the County Council of Sussex County, Delaware.

To Be Reintroduced: 10/11/22

Council District 2: Mrs. Green
Tax I.D. No.: 230-26.00-39.00 (p/o)
911 Address: 18019 Beach Highway, Milton

ORDINANCE NO. ____

AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT AND A C-1 GENERAL COMMERCIAL DISTRICT FOR A SOLAR FARM TO BE LOCATED ON A PORTION OF A CERTAIN PARCEL OF LAND LYING AND BEING IN CEDAR CREEK HUNDRED, SUSSEX COUNTY, CONTAINING 25.327 ACRES, MORE OR LESS

WHEREAS, on the 11th day of January 2022, a conditional use application, denominated Conditional Use No. 2337 was filed on behalf of Community Power Group, LLC; and

WHEREAS, on the ____ day of _____ 2022, a public hearing was held, after notice, before the Planning and Zoning Commission of Sussex County and said Planning and Zoning Commission recommended that Conditional Use No. 2337 be _____; and

WHEREAS, on the ____ day of _____ 2022, a public hearing was held, after notice, before the County Council of Sussex County and the County Council of Sussex County determined, based on the findings of facts, that said conditional use is in accordance with the Comprehensive Development Plan and promotes the health, safety, morals, convenience, order, prosperity and welfare of the present and future inhabitants of Sussex County, and that the conditional use is for the general convenience and welfare of the inhabitants of Sussex County.

NOW, THEREFORE, THE COUNTY OF SUSSEX HEREBY ORDAINS:

Section 1. That Chapter 115, Article IV, Subsection 115-22, Code of Sussex County, be amended by adding the designation of Conditional Use No. 2337 as it applies to the property hereinafter described.

Section 2. The subject property is described as follows:

A PORTION OF that certain tract, piece or parcel of land, lying and being situate in Cedar Creek Hundred, Sussex County, Delaware, and lying on the north side of Beach Highway (Route 16), approximately 0.20 mile east of Dupont Boulevard (Route 113), and being more particularly described in the attached legal description prepared by Steven M. Adkins Land Surveying, LLC, said parcel containing 25.327 acres, more or less.

This Ordinance shall take effect immediately upon its adoption by majority vote of all members of the County Council of Sussex County, Delaware.

To Be Reintroduced: 10/11/22

Council District 1: Mr. Vincent
Tax I.D. No.: 232-5.00-11.03 (p/o)
911 Address: N/A

ORDINANCE NO. ____

AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR A SOLAR FARM TO BE LOCATED ON A PORTION OF A CERTAIN PARCEL OF LAND LYING AND BEING IN BROAD CREEK HUNDRED, SUSSEX COUNTY, CONTAINING 25.012 ACRES, MORE OR LESS

WHEREAS, on the 11th eleventh day of January 2022, a conditional use application, denominated Conditional Use No. 2336 was filed on behalf of Community Power Group LLC; and

WHEREAS, on the ____ day of _____ 2022, a public hearing was held, after notice, before the Planning and Zoning Commission of Sussex County and said Planning and Zoning Commission recommended that Conditional Use No. _____ be _____; and

WHEREAS, on the ____ day of _____ 2022, a public hearing was held, after notice, before the County Council of Sussex County and the County Council of Sussex County determined, based on the findings of facts, that said conditional use is in accordance with the Comprehensive Development Plan and promotes the health, safety, morals, convenience, order, prosperity and welfare of the present and future inhabitants of Sussex County, and that the conditional use is for the general convenience and welfare of the inhabitants of Sussex County.

NOW, THEREFORE, THE COUNTY OF SUSSEX HEREBY ORDAINS:

Section 1. That Chapter 115, Article IV, Subsection 115-22, Code of Sussex County, be amended by adding the designation of Conditional Use No. 2336 as it applies to the property hereinafter described.

Section 2. The subject property is described as follows:

A PORTION OF that certain tract, piece or parcel of land, lying and being situate in Broad Creek Hundred, Sussex County, Delaware, and lying on the north side of Woodland Ferry Road (SCR 78) 0.15 miles east of the intersection of Woodland Ferry Road (SCR 78) and Bethel Road (SCR 493) and on the east side of Bethel Road (SCR 493) 0.2 miles north of the intersection of Woodland Ferry Road (SCR 78) and Bethel Road (SCR 493) being more particularly described in the attached legal description prepared by Steven M. Adkins Land Surveying, LLC, said parcel containing 25.012 acres, more or less.

This Ordinance shall take effect immediately upon its adoption by majority vote of all members of the County Council of Sussex County, Delaware.

To Be Reintroduced: 10/11/22

Council District 2: Mrs. Green
Tax I.D. No.: 230-13.00-121.00
911 Address: N/A

ORDINANCE NO. ____

AN ORDINANCE TO GRANT A CONDITIONAL USE OF LAND IN AN AR-1 AGRICULTURAL RESIDENTIAL DISTRICT FOR A 5.8 MEGAWATT GROUND MOUNTED SOLAR FARM TO BE LOCATED ON A CERTAIN PARCEL OF LAND LYING AND BEING IN CEDAR CREEK HUNDRED, SUSSEX COUNTY, CONTAINING 32.90 ACRES, MORE OR LESS

WHEREAS, on the 24th day of November 2021, a conditional use application, denominated Conditional Use No. 2328 was filed on behalf of Sunrise Solar; and

WHEREAS, on the ____ day of _____ 2022, a public hearing was held, after notice, before the Planning and Zoning Commission of Sussex County and said Planning and Zoning Commission recommended that Conditional Use No. 2328 be _____; and

WHEREAS, on the ____ day of _____ 2022, a public hearing was held, after notice, before the County Council of Sussex County and the County Council of Sussex County determined, based on the findings of facts, that said conditional use is in accordance with the Comprehensive Development Plan and promotes the health, safety, morals, convenience, order, prosperity and welfare of the present and future inhabitants of Sussex County, and that the conditional use is for the general convenience and welfare of the inhabitants of Sussex County.

NOW, THEREFORE, THE COUNTY OF SUSSEX HEREBY ORDAINS:

Section 1. That Chapter 115, Article IV, Subsection 115-22, Code of Sussex County, be amended by adding the designation of Conditional Use No. 2328 as it applies to the property hereinafter described.

Section 2. The subject property is described as follows:

ALL that certain tract, piece or parcel of land, lying and being situate in Cedar Creek Hundred, Sussex County, Delaware, and lying on the north side of Fleatown Road (S.C.R. 224) and on the west side of Clendaniel Pond Road (S.C.R. 38), approximately 0.50 mile east of Greentop Road (S.C.R. 225) and being more particularly described in the attached legal description prepared by The Pelsa Company, said parcel containing 32.90 acres, more or less.

This Ordinance shall take effect immediately upon its adoption by majority vote of all members of the County Council of Sussex County, Delaware.